



Project	CMHA Meadows RAD Renovations	Addendum Number	2
Project Number	18076.04	Date	09/12/2025
To	All Bidders		

This addendum contains changes to the requirements of the bidding Documents, Project Manual and Construction Drawings which have been issued to date. Such changes are to be incorporated into the Construction Documents and shall apply to the work in the same meaning and force as if they had been included in the original documents. Wherever this Addendum modifies a portion of a paragraph of the Project Manual or a portion of any Drawing, the remainder of the paragraph or Drawing shall remain in force.

General	<p>Clarifications:</p> <ol style="list-style-type: none"> <i>Bid Form: See attached revised bid form showing line item for permit fee included.</i> <i>Do the gas lines in the laundry room need to be removed? Is the furnace the only gas fed item within the unit?</i> Response: Gas lines are stubbed into the laundry area for future use of a gas appliance. No work is to be done on the gas lines in the laundry room as a part of this renovation. <i>How should the curb be addressed where the sidewalk on the accessible route widens?</i> Response: See Civil drawings updates as a part of this Addendum. <i>Do you have the specs or pictures of the new playground equipment, or should it match the existing?</i> Response: The contractor is to include an allowance of \$60,000 in the bid for playground equipment. The final design of the playground and equipment will be provided to the awarded Contractor.
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Specifications	None
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General	<p>Sheet G006 – AREA PLANS – GROSS</p> <ol style="list-style-type: none"> REVISED Plan 13 and Area Schedule at Community Center per scope updates. <p>Sheet G007 – AREA PLANS – NET</p> <ol style="list-style-type: none"> REVISED Plan 13 and Area Schedule at Community Center per scope updates.
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Civil	<p>Sheet C101 – FINAL SITE COMPLIANCE PLAN</p> <ol style="list-style-type: none"> REVISED handicapped ramp and sign callouts. ADDED hatch for full depth asphalt pavement replacement. REVISED roof leader note. ADDED note for additional 100sf of full depth asphalt replacement. ADDED Coded Note 16. <p>Sheet C102 – FINAL SITE COMPLIANCE PLAN</p> <ol style="list-style-type: none"> ADDED hatch for full depth asphalt pavement replacement. REVISED roof leader note. ADDED note for additional 100sf of full depth asphalt replacement. ADDED Coded Note 16.
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 Sheet C301 – DETAILS

1. REVISED walk detail to include sawcut at curbline.
2. ADDED full depth pavement section.

Sheet C302 – DETAILS

1. ADDED sheet.
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Architectural

Sheet A101 – OVERALL FLOOR PLANS - TYPE I & II

1. ADDED Demolition Note 'Q' to clarify removal of existing carpet in units. Note applies to all Overall Floor Plan sheets (A101 through A103).

Sheet A105 – OVERALL PLAN - COMMUNITY CENTER

1. DELETED Vestibule from scope of work in Plan 1.
2. DELETED interior partition and Storage Room as clouded in Plan 1.
3. REVISED Coded Note #12.
4. REVISED note 'G' in 'General Notes - Demolition'.
5. ADDED note 'K' in 'General Notes - Demolition'.
6. REVISED 'Elevation Legend' & 'General Notes- Exterior Elevations' to not overlap.

Sheet A701 – DOOR & WINDOW SCHEDULES

1. ADDED note 'I' in 'General Notes - Door Schedule'.
2. ADDED remark for Door 'B' in 'Typical Residential Door Schedule'.

Sheet A810 – ENLARGED PLANS - UNIT TYPE 2-A, 2-B (ANSI-A) & 3-A

1. ADDED note 'Q' in 'General Notes - Demolition' notes. Note applies to all Enlarged Unit Plan sheets (A810 through A811).
2. REVISED notes 'G' and 'PP' in 'General Notes - Unit Plans' notes. Note applies to all Enlarged Unit Plan sheets (A810 through A811).
3. REVISED note #3 in 'Coded Notes - Unit Plans' notes. Note applies to all Enlarged Unit Plan sheets (A810 through A811).

Sheet A900 – FINISH LEGEND & FF&E

1. DELETED finish scope in Vestibule.
 2. DELETED (1) D1R Desk in Open Office.
 3. ADDED (1) T1 Table.
 4. ADDED (2) C2 Side chairs – total of 6.
 5. ADDED (1) D2L Desk.
 6. DELETED finishes designated for Storage area adjacent to Open Office. Finishes reflected in Open Office.
 7. RELOCATED Tackboard and Markerboard locations.
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MEP

Sheet H103 – COMMUNITY CENTER MECHANICAL PLANS

1. Wall was removed, no ductwork rework, removed ductwork.
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Sheet H201 – ENLARGED UNITS HVAC PLANS

1. ADDED WB-1 washer box replacement in Unit 2-A first floor, Unit 2-B first floor, and Unit 3-A second floor.
2. ADDED Coded Note #15.

Sheet H202 – ENLARGED UNITS HVAC PLANS

1. ADDED WB-1 washer box replacement in Unit 3-B second floor and Unit 4-A second floor.
2. ADDED Coded Note #14.

Sheet H900 – HVAC SCHEDULES AND DETAILS

1. ADDED WB-1 washer box to ‘Plumbing Fixture Schedule’.
2. REVISED expansion tank note on the ‘EWH-1: Electric Water Heater Diagram’.

Sheet E100 – ELECTRICAL SITE PLAN

1. REVISED connections to heaters from hardwire to receptacle.
2. ADDED new conduit pathway for data connection to fire alarm control panel in community building.
3. ADDED duct bank detail.

Sheet E103 – COMMUNITY CENTER ELECTRICAL PLANS

1. ADDED fire alarm control panel.
2. REVISED lighting control for reconfigured room.

Attachments**Drawings-****General:** G006, G007**Civil:** C101, C102, C301, C302**Architectural:** A101, A105, A701, A810, A900**MEP:** H103, H201, H202, H900, E100, E103**Other-**

Bid Form

14 PLAN MAINTENANCE BUILDING - GROSS AREA
1/16" = 1'-0"

13 PLAN COMMUNITY CENTER - GROSS AREA
1/16" = 1'-0"

12 PLAN BUILDING TYPE IV - SECOND FLOOR - GROSS AREA
1/16" = 1'-0"

11 PLAN BUILDING TYPE IV - FIRST FLOOR - GROSS AREA
1/16" = 1'-0"

10 PLAN BUILDING TYPE IV - SECOND FLOOR - GROSS AREA
1/16" = 1'-0"

9 PLAN BUILDING TYPE IV - FIRST FLOOR - GROSS AREA
1/16" = 1'-0"

8 PLAN BUILDING TYPE IV - SECOND FLOOR - GROSS AREA
1/16" = 1'-0"

7 PLAN BUILDING TYPE IV - FIRST FLOOR - GROSS AREA
1/16" = 1'-0"

6 PLAN BUILDING TYPE II - SECOND FLOOR - GROSS AREA
1/16" = 1'-0"

5 PLAN BUILDING TYPE II - FIRST FLOOR - GROSS AREA
1/16" = 1'-0"

4 PLAN BUILDING TYPE II - SECOND FLOOR - GROSS AREA
1/16" = 1'-0"

3 PLAN BUILDING TYPE II - FIRST FLOOR - GROSS AREA
1/16" = 1'-0"

2 PLAN BUILDING TYPE II - SECOND FLOOR - GROSS AREA
1/16" = 1'-0"

1 PLAN BUILDING TYPE II - FIRST FLOOR - GROSS AREA
1/16" = 1'-0"

GENERAL NOTES - AREA PLANS

A. REFER TO SHEETS 101 THROUGH 104 FOR DIMENSIONS OF BUILDING TYPE AND INFORMATION.

B. REFER TO SHEETS 101 THROUGH 104 FOR DIMENSIONS OF BUILDING TYPE AND INFORMATION.

DEPARTMENT	NAME	NO. OF	TOTAL
		LEaves	LEaves
ARCHITECTURE	PAID	541.9	2,643.9
MECHANICAL	PAID	1,000.0	1,000.0
ELECTRICAL	PAID	2,352.9	10,029.9
PLUMBING	PAID	1,000.0	1,000.0
CONSTRUCTION	PAID	1,000.0	1,000.0
LANDSCAPE	PAID	1,000.0	1,000.0
INTERIOR DESIGN	PAID	423.9	423.9
MARKETING	PAID	1,000.0	1,000.0
LEGAL	PAID	2,352.9	2,352.9
ACCOUNTING	PAID	1,000.0	1,000.0
OPERATIONS	PAID	1,000.0	1,000.0
SALES	PAID	1,000.0	1,000.0
TRAINING	PAID	1,000.0	1,000.0
RESEARCH	PAID	1,000.0	1,000.0
DEVELOPMENT	PAID	1,000.0	1,000.0
MANAGEMENT	PAID	1,000.0	1,000.0
ADMINISTRATION	PAID	1,000.0	1,000.0
OTHER	PAID	1,000.0	1,000.0
TOTAL	PAID	11,000.0	11,000.0

UNIT SQUARE FOOTAGE DIAGRAM

GROSS AREA
EXTERIOR FACE OF EXTERIOR BRICK/TINGE

NET AREA
INTERIOR FACE OF EXTERIOR WALL

CHANGES

NO.	DATE	CHANGE DESCRIPTION
1	08/17/2023	ISSUE FOR PERMIT

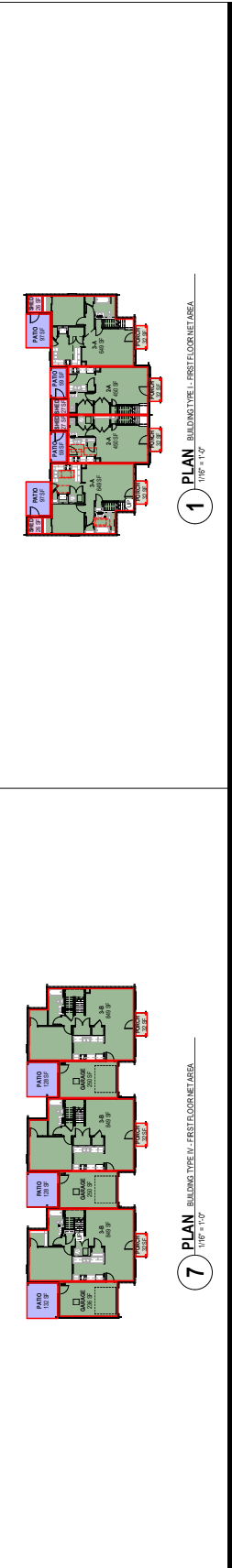
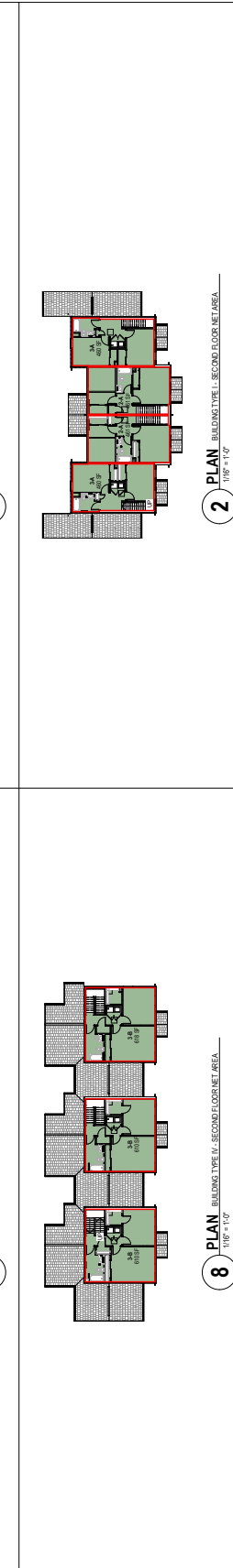
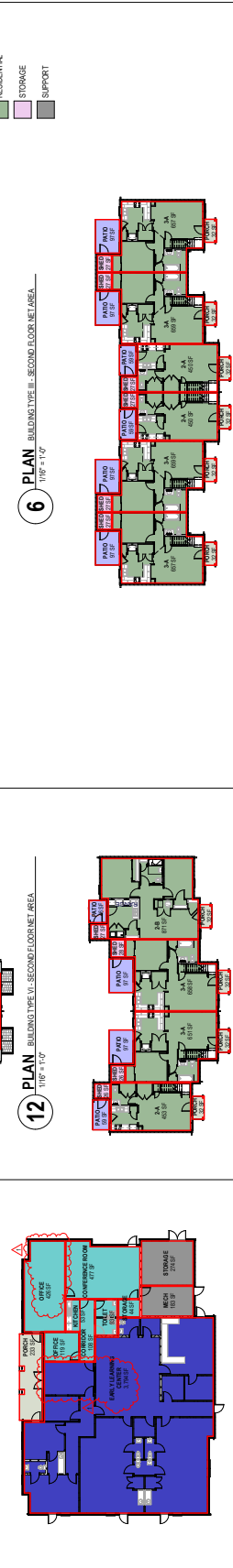
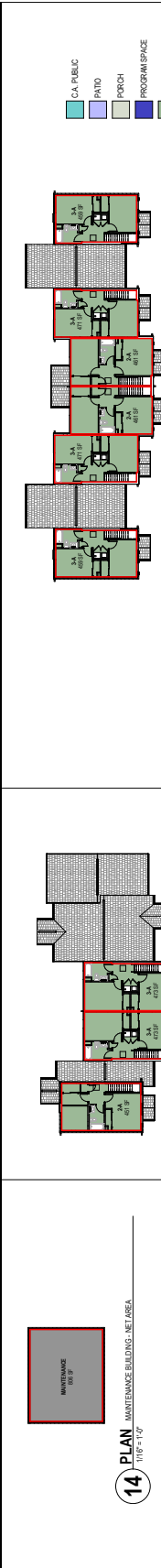
THE MEADOWS RAD RENOVATIONS
ARCHITECTS
100 W. 10TH STREET
COLUMBUS, OHIO 43261
PHONE: (614) 461-4624
FAX: (614) 461-4625

MOODY-NOLAN ARCHITECTS, INC.
ADMINISTRATIVE METROPOLITAN HOUSING
100 W. 10TH STREET
SUITE 300
COLUMBUS, OHIO 43261
PHONE: (614) 461-4624
FAX: (614) 461-4625

AREA PLANS - GROSS

OWNER: MOODY-NOLAN ARCHITECTS, INC.
PROJECT NO.: 19076.04

G006
ISSUE FOR PERMIT SET

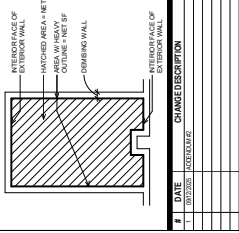
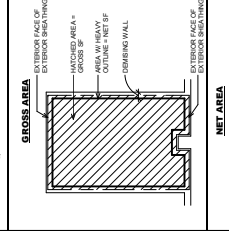


GENERAL NOTES - AREA PLANS

A. REFER TO SHEET 15.01 FOR AREA DIMENSIONS BY BUILDING TYPE AND INFORMATION.

B. REFER TO SHEET 15.02 FOR AREA DIMENSIONS BY BUILDING TYPE AND INFORMATION.

AREA PLAN SCHEDULE (BUILDINGS NET)	
DESCRIPTION	AREA
CA, PUBLIC	15.01
PATIO	15.02
POUCH	15.03
PROGRAM SPACE	15.04
RESIDENTIAL	15.05
STORAGE	15.06
SUPPORT	15.07



THE MEADOWS RAD
RENOVATIONS
COLUMBIAN PARTNERSHIP
FOR AFFORDABLE HOUSING
COLUMBIAN METROPOLITAN HOUSING
ADMINISTRATION

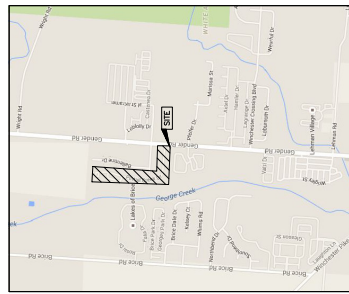
1500 W. BROADWAY STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: 614.464.6654
FAX: 614.464.6655

Moody Nolan
CERTIFICATE NO. FRI 00197475

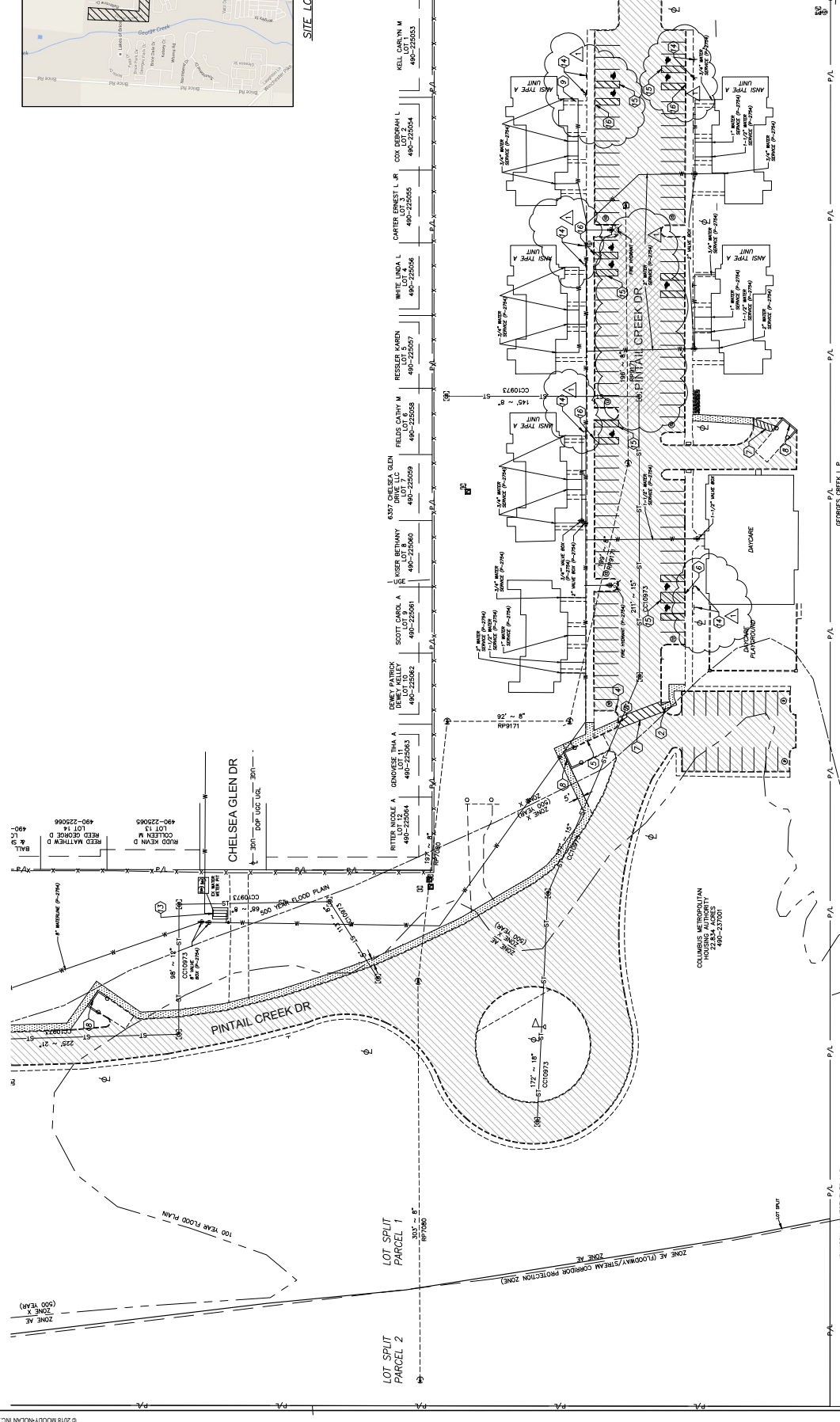
AREA PLANS - NET

PROJECT NO. 15076.04
DRAWN BY: JESSICA PAX
DATE: 08/14/2023

G007
BID / PERMIT SET



SITE LOCATION MAP



DATE		CHANGE DESCRIPTION
THE MEADOWS RAD RENOVATIONS COLUMBUS METROPOLITAN HOUSING AUTHORITY		
100 SERVICES STREET SUITE 300 COLUMBUS, OHIO 43215 PHONE 614.641.4864 MOODY NOLAN CERTIFICATE NO. FHM 0159275		
FINAL SITE COMPLIANCE PLAN		
	SHEET NO. 19076.04 09/14/2025	DESIGNED BY CHECKED BY C101 BOP/PM/SET

LEGEND

- 1" ASPHALT MILL AND OVERLAY
- PROPOSED CONCRETE
- WALK
- 1" FALL DEPTH ASPHALT REPLACEMENT

DIVISION OF WATER NOTE
 PROPOSED LOT ROW AND BROADCAST PREVENTER ON 8" AGRICULTURE TO IMPROVE TO WSP/25%.

DIVISION OF POWER NOTE
 THE DIVISION OF POWER (DOP) MAY HAVE OVERSEEN AND NOTIFIED THE CONTRACTOR OF THE LOCATION OF THE PROJECT'S ELECTRICAL SYSTEM AT THE DIVISION OF THE PROJECT. THE CITY OF COLUMBUS STREET LIGHTING SYSTEM BY FOLLOWING THE CITY OF COLUMBUS CONSTRUCTION AND MATERIAL UNDERGROUND STREET LIGHT SYSTEM SHALL REQUIRE TESTING AND RECORDING OF ALL UNDERGROUND UTILITY LINES. THE CONTRACTOR SHALL COMPLY WITH ALL DOP'S. EXISTING STREET LIGHT 17000V/ANSI/UL LISTED PROCEDURE. IF ANY ELECTRICAL EQUIPMENT BELONGING TO DOP IS DAMAGED IN ANY MANNER BY THE CONTRACTOR, ITS AGENTS, SUBMITTALS, OR EQUIPMENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND REPLACING THE SAME AT THE CONTRACTOR'S OWNERS' EXPENSE AND THE EXPENSE OF SUCH REPAIRS AND OTHER REPAIRS TO THE CITY OF COLUMBUS SHALL BE THE RESPONSIBILITY OF THE DIVISION OF POWER, CITY OF COLUMBUS, OHIO.

NOTES

- PROVIDE 3" SUR 35 BOND LEADERS FROM MAIN ROOF TO THE CURB. WHERE THERE IS NO CURB TO THE NEAREST ADJACENT LOT, THE CONTRACTOR SHALL PROVIDE 3" SUR 35 BOND LEADERS TO THE NEAREST ADJACENT LOT. PROVIDE CONCRETE SPACING FOR ALL DOWNSPROUTS SPACING FOR ALL DOWNSPROUTS IS TO BE DETERMINED BY THE ENGINEER. PROVIDE CONCRETE SPACING FOR ALL DOWNSPROUTS IS TO BE DETERMINED BY THE ENGINEER. PROVIDE CONCRETE SPACING FOR ALL DOWNSPROUTS IS TO BE DETERMINED BY THE ENGINEER.
- THE ENGINEER'S REQUIREMENTS FOR THE CONSTRUCTION OF THE PROJECT ARE TO BE COMPLIED WITH. PROVIDE CONCRETE SPACING FOR ALL DOWNSPROUTS IS TO BE DETERMINED BY THE ENGINEER.
- EXISTING CONCRETE PAVEMENT SHALL BE REPAIRED TO MATCH EXISTING. PROVIDE CONCRETE SPACING FOR ALL DOWNSPROUTS IS TO BE DETERMINED BY THE ENGINEER.
- CONTRACTOR IS TO CONFIRM GRASSES AT ALL EXISTING PLAYGROUND AREAS. ALL PLAYGROUND AREAS SHALL BE MAINTAINED AND MONITORED. PROVIDE CONCRETE SPACING FOR ALL DOWNSPROUTS IS TO BE DETERMINED BY THE ENGINEER.
- IN BASE BID PROVIDE 100 SF OF FALL PROTECTION AT ALL FALL HAZARD AREAS. PROVIDE CONCRETE SPACING FOR ALL DOWNSPROUTS IS TO BE DETERMINED BY THE ENGINEER.

CODED NOTES

- EXISTING DRIVEWAY TO BE RESEAL (SEE DETAIL SHEET 301)
- EXISTING ASPHALT DRIVEWAY TO BE REPAIRED TO MATCH EXISTING
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PROJECT ZONING INFORMATION

Project: Not Applicable
 Owner: Columbus Metropolitan Housing Authority
 Design: Not Applicable
 Construction: Not Applicable
 Use: Not Applicable
 Map: Not Applicable
 Height: Not Applicable
 Area: Not Applicable

PROPERTY - PARCEL
 490-23701

PARKING DATA
 288 SPACES (13 HANDICAPPED)
 288 SPACES (13 HANDICAPPED)
 288 SPACES (13 HANDICAPPED)
 288 SPACES (13 HANDICAPPED)

SITE DATA TABLE
 TOTAL SITE AREA 22.63 ACRES
 TOTAL IMPROVED AREA 3,234 SF
 TOTAL UNIMPROVED AREA 3,234 SF
 TOTAL IMPROVED PERCENTAGE 12.53%
 TOTAL UNIMPROVED PERCENTAGE 87.47%

FLOOD ZONING INFORMATION

Project: Not Applicable
 Owner: Columbus Metropolitan Housing Authority
 Design: Not Applicable
 Construction: Not Applicable
 Use: Not Applicable
 Map: Not Applicable
 Height: Not Applicable
 Area: Not Applicable

PROPERTY - PARCEL
 490-23701

PARKING DATA
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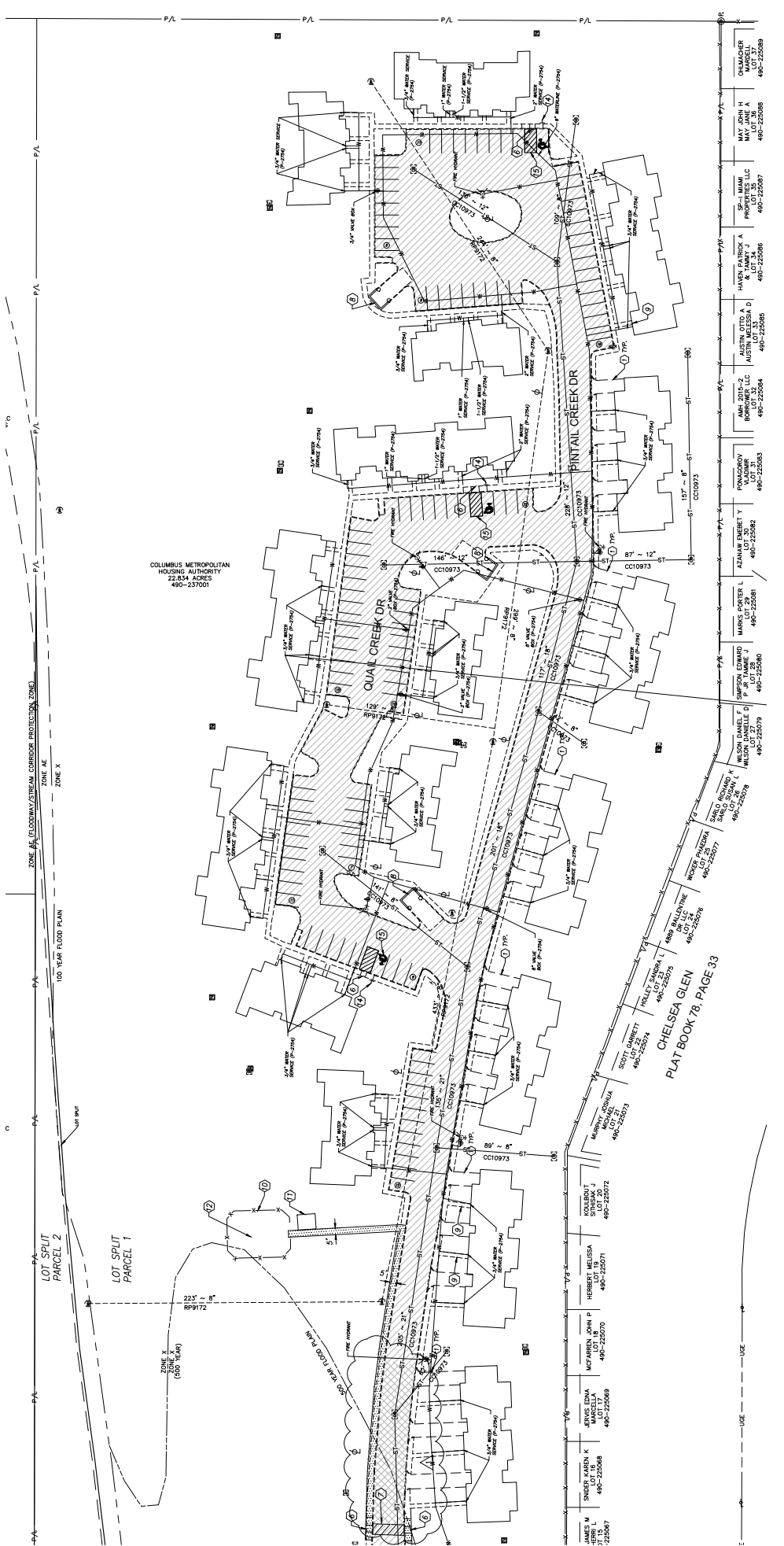
SITE DATA TABLE
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 TOTAL IMPROVED AREA 3,234 SF
 TOTAL UNIMPROVED AREA 3,234 SF
 TOTAL IMPROVED PERCENTAGE 12.53%
 TOTAL UNIMPROVED PERCENTAGE 87.47%

DATE	CHANGE DESCRIPTION

THE MEADOWS ROAD RENOVATIONS
 COLUMBIUS METROPOLITAN HOUSING AUTHORITY
 1000 BARNES STREET
 COLUMBIUS, OHIO 43215
 PHONE (614) 861-1884
 MOODY NOLAN ARCHITECTURE
 18076.04
 492-225899

FINAL SITE COMPLIANCE PLAN
 PROJECT NO. MOODY NOLAN ARCHITECTURE CERTIFICATE NO. FHM 01191275

09/14/2025
 18076.04
C102
 BOP/PM/SET



LEGEND

1/2" ASPHALT MILL AND OVERLAY
 PROPOSED CONCRETE WALK
 FULL DEPTH ASPHALT REPLACEMENT

NOTES:
 1. PROVIDE 1/2" 35% ROOF LEADERS FROM ROOF TO THE CURB, WHERE THERE IS AN ADJACENT WALK, AND TO THE NEAREST ADJACENT WALK THAT CATCH BASIN. THE WALK SHALL BE PROVIDED CONCRETE SPAN BLOCKS FOR ALL DOWNSPOUTS SERVING PARCELS.
 2. THE WALKS SHALL BE 18" WIDE, UNLESS OTHERWISE NOTED. THE WALKS SHALL BE 18" WIDE UNLESS OTHERWISE NOTED. THE WALKS SHALL BE 18" WIDE UNLESS OTHERWISE NOTED. THE WALKS SHALL BE 18" WIDE UNLESS OTHERWISE NOTED.
 3. CONTRACTOR IS TO CONFIRM GRADES AT ALL LOCATIONS AND TO REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
 4. CONTRACTOR IS TO CONFIRM GRADES AT ALL LOCATIONS AND TO REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.

CODED NOTES
 1. EXISTING DRIVEWAY TO BE RESURFACED.
 2. PROPOSED CURB RAMP: SEE DETAIL SHEET 301.
 3. TRANSITION CURB AT 6" (TO MATCH EX.).
 4. FLESH WALK.
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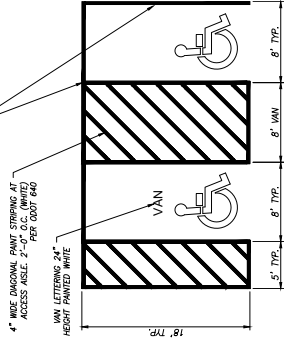
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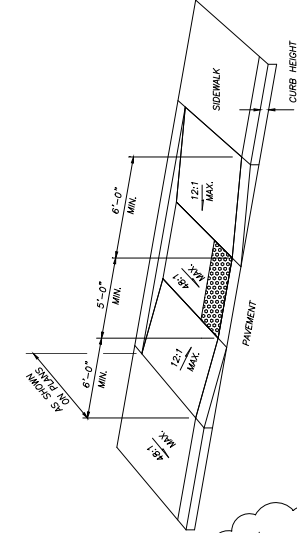
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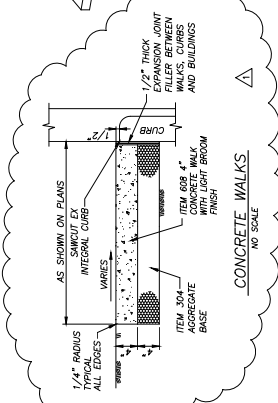
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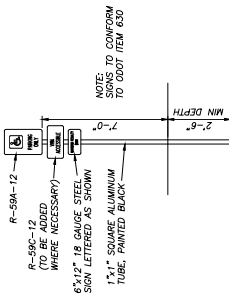
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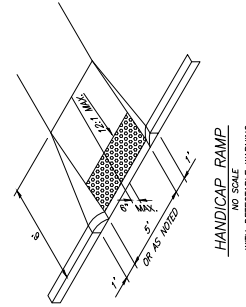
HANDICAP RAMP WITH DETECTABLE MARKING NO SCALE



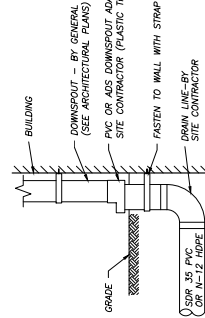
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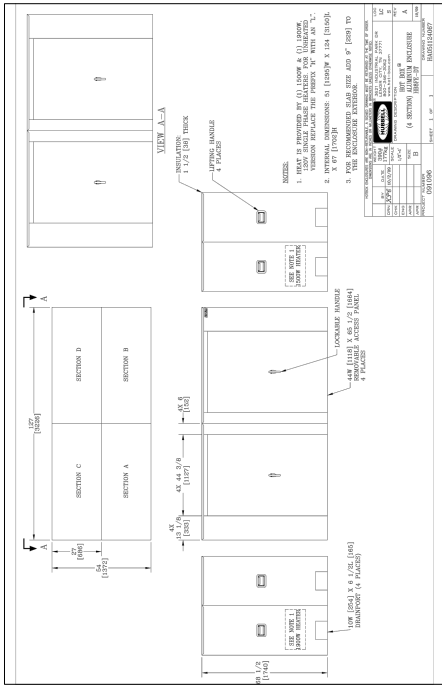
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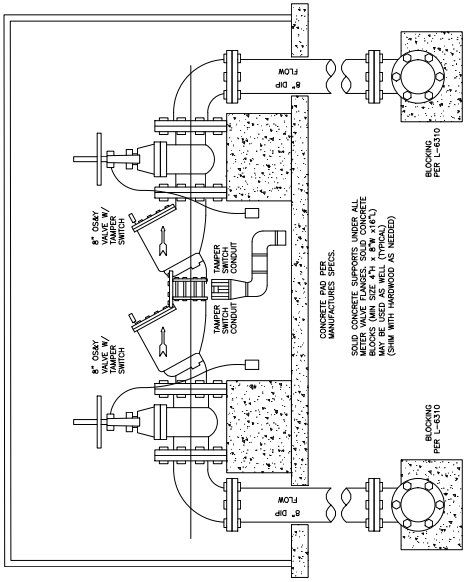
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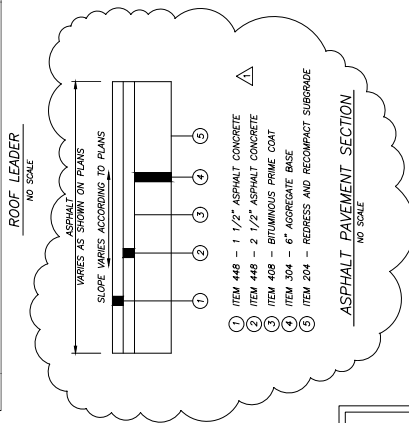
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ENCLOSURE DETAIL NO SCALE



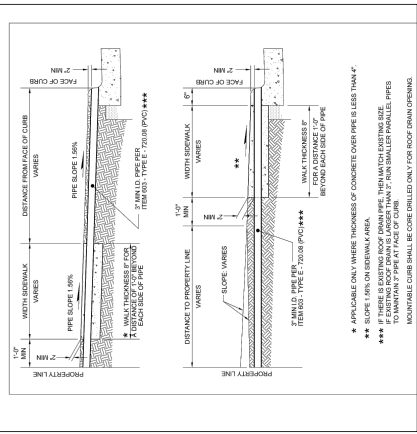
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ROOF LEADER NO SCALE

ASPHALT PAVEMENT SECTION NO SCALE

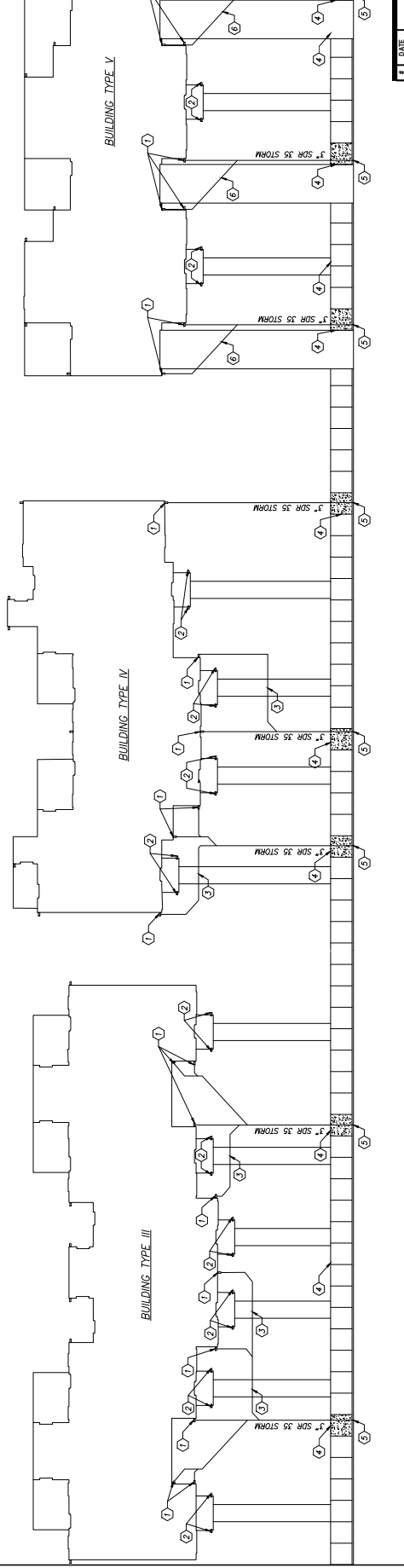
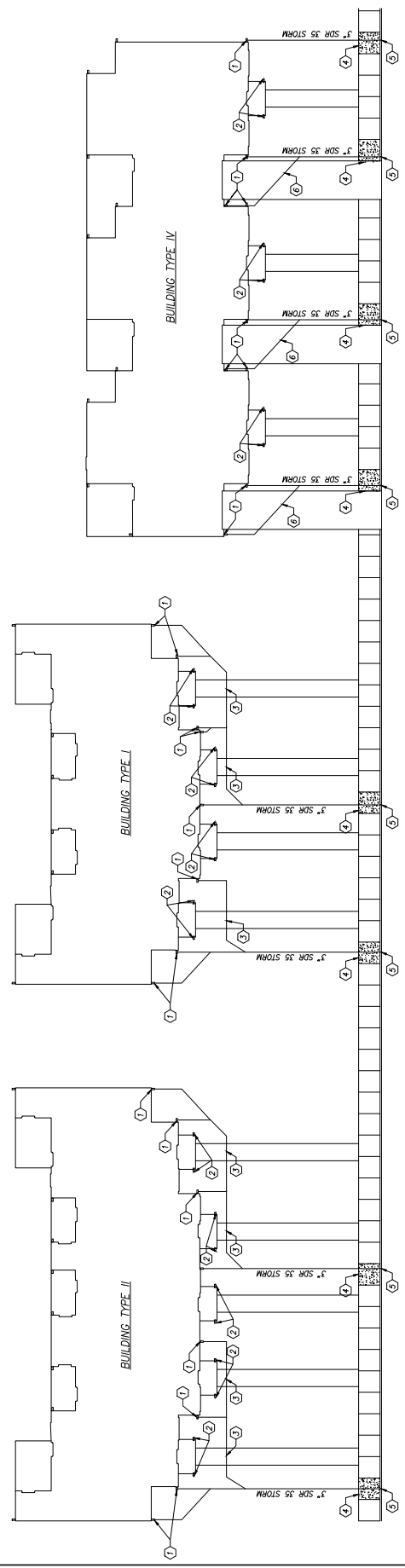
- ITEM 448 - 1 1/2\"/>



APPLICABLE ONLY WHERE THICKNESS OF CONCRETE CURB PIPE IS LESS THAN 4\"/>

Project information including date (8/10/2023), change description, address (150 S. BROADWAY STREET, SUITE 300, COLUMBUS, OHIO 43215), and contact information for Moody Nolan.

Details section header and project number C301.



ROOF LEADER SCHEMATIC
(NOT TO SCALE)

- NOTES:**
1. COMPASSION CONCRETE SCRAM IS SCHEMATIC. CONTRACTOR SHALL ADJUST AS REQUIRED TO AVOID EXISTING CURBS, ETC. CONTRACTOR SHALL COORDINATE FINAL LAYOUT WITH OWNER AND ARCHITECT.
- CODED NOTES:**
1. SEE TO GUTTER WITH BRIT BLOCK UNDER EX WALK
 2. REMOVE AND REPLACE SIDEWALK TO NEAREST JOINT OR BORE UNDER EXISTING CURB
 3. CORE OPENING IN EXISTING CURB
 4. PAVEMENT REPAIR IN DRIVEWAY

DATE	01/2021
CHANGE DESCRIPTION	ADDITIONAL SET

THE MEADOWS ROAD RENOVATIONS
 COLUMBUS METROPOLITAN HOUSING AUTHORITY
 300 SPRINGFIELD STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 681-4884
 FAX: (614) 681-4884
 MOODY/MOOLAN ARCHITECTS
 MOODY/MOOLAN ARCHITECTS
 100 W. BROADWAY
 COLUMBUS, OHIO 43260
 PHONE: (614) 444-1111
 FAX: (614) 444-1111
 CERTIFICATE NO. FRM 01/19/21

09/14/2025
 19/076.04
C302
 RUPPER/FSET
 MOODY/MOOLAN ARCHITECTS
 100 W. BROADWAY
 COLUMBUS, OHIO 43260
 PHONE: (614) 444-1111
 FAX: (614) 444-1111

NEW SHEET

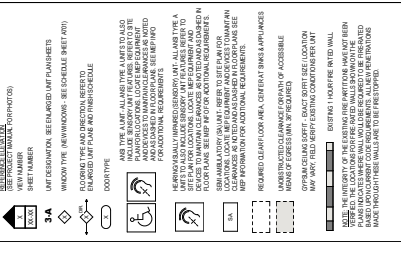
GENERAL NOTES - FLOOR PLAN

- THE DRAWINGS AND THE CONSTRUCTION SPECIFICATIONS SHALL BE CONSIDERED TO BE THE MOST CURRENT AND COMPLETE SET OF DOCUMENTS TO BE USED FOR THE CONSTRUCTION OF THE PROJECT. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR REVIEWING THE DRAWINGS AND SPECIFICATIONS TO BE SURE THAT THEY ARE COMPLETE AND CORRECT. ANY CHANGES OR OMISSIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND EQUIPMENT FOR THE PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONNEL AND THE PUBLIC DURING THE CONSTRUCTION OF THE PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ENVIRONMENTAL SENSITIVE AREAS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL HISTORIC AND ARCHITECTURAL FEATURES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL LANDSCAPE AND PLANTING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL TRAFFIC AND PEDESTRIAN ROUTES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL NEIGHBORHOODS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL COMMUNITY INTERESTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL LOCAL CULTURAL HERITAGE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL LOCAL ECONOMIC DEVELOPMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL LOCAL INFRASTRUCTURE.

GENERAL NOTES - DEMOLITION

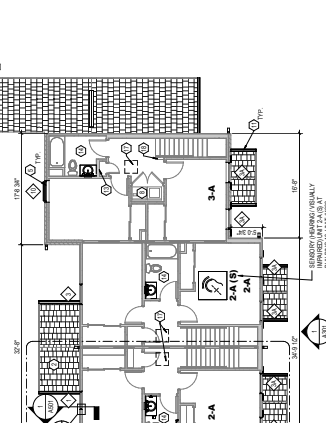
- THE FOLLOWING GENERAL NOTES APPLY TO ALL WORK DESCRIBED IN THE DRAWINGS:
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE DEMOLITION WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONNEL AND THE PUBLIC DURING THE DEMOLITION WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ENVIRONMENTAL SENSITIVE AREAS.
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- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL LOCAL CULTURAL HERITAGE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL LOCAL ECONOMIC DEVELOPMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL LOCAL INFRASTRUCTURE.

FLOOR PLAN LEGEND

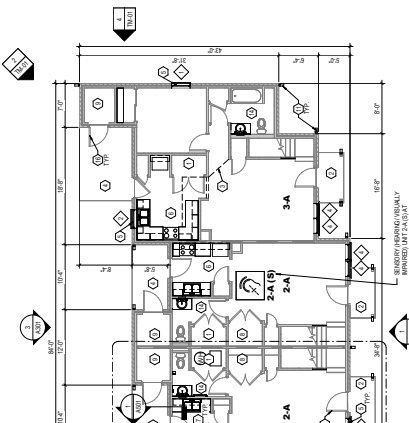


CODED NOTES - FLOOR PLAN

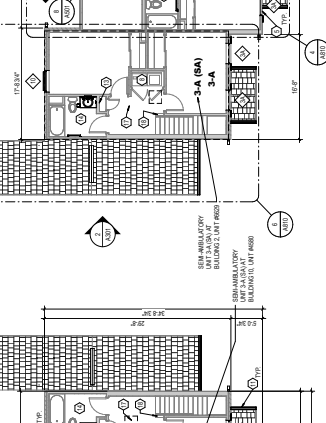
- NOTE: SEE BLUEPRINTS FOR DETAILS, SPECIFICATIONS AND FINISHES.
1. EXISTING CONSTRUCTION TO REMAIN.
2. NEW CONSTRUCTION.
3. EXISTING CONSTRUCTION TO BE DEMOLISHED.
4. EXISTING CONSTRUCTION TO BE RECONSTRUCTED.
5. EXISTING CONSTRUCTION TO BE RECONSTRUCTED AND FINISHED DIFFERENTLY.
6. EXISTING CONSTRUCTION TO BE RECONSTRUCTED AND FINISHED DIFFERENTLY.
7. EXISTING CONSTRUCTION TO BE RECONSTRUCTED AND FINISHED DIFFERENTLY.
8. EXISTING CONSTRUCTION TO BE RECONSTRUCTED AND FINISHED DIFFERENTLY.
9. EXISTING CONSTRUCTION TO BE RECONSTRUCTED AND FINISHED DIFFERENTLY.
10. EXISTING CONSTRUCTION TO BE RECONSTRUCTED AND FINISHED DIFFERENTLY.
11. EXISTING CONSTRUCTION TO BE RECONSTRUCTED AND FINISHED DIFFERENTLY.
12. EXISTING CONSTRUCTION TO BE RECONSTRUCTED AND FINISHED DIFFERENTLY.
13. EXISTING CONSTRUCTION TO BE RECONSTRUCTED AND FINISHED DIFFERENTLY.
14. EXISTING CONSTRUCTION TO BE RECONSTRUCTED AND FINISHED DIFFERENTLY.
15. EXISTING CONSTRUCTION TO BE RECONSTRUCTED AND FINISHED DIFFERENTLY.
16. EXISTING CONSTRUCTION TO BE RECONSTRUCTED AND FINISHED DIFFERENTLY.
17. EXISTING CONSTRUCTION TO BE RECONSTRUCTED AND FINISHED DIFFERENTLY.
18. EXISTING CONSTRUCTION TO BE RECONSTRUCTED AND FINISHED DIFFERENTLY.



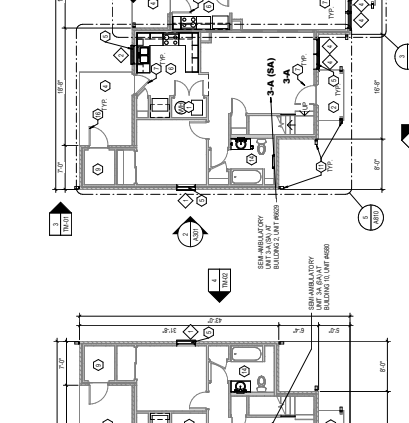
2 PLAN SECOND FLOOR PLAN, BUILDING TYPE I
18'6" x 11'2"



1 PLAN FIRST FLOOR PLAN, BUILDING TYPE I
18'6" x 11'2"



4 PLAN SECOND FLOOR PLAN, BUILDING TYPE II
18'6" x 11'2"



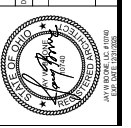
3 PLAN FIRST FLOOR PLAN, BUILDING TYPE II
18'6" x 11'2"

THE MEADOWS RAD RECONSTRUCTIONS
ARCHITECTS
401 EAST BROADWAY
COLUMBIUS, OHIO 43004-1171
TELEPHONE: (614) 881-1100
FACSIMILE: (614) 881-1101
WWW.MEADOWSRAD.COM

Moody Nolan ARCHITECTS
401 EAST BROADWAY
COLUMBIUS, OHIO 43004-1171
TELEPHONE: (614) 881-1100
FACSIMILE: (614) 881-1101
WWW.MOODYNOLAN.COM

OVERALL FLOOR PLANS - TYPE - I & II

PROJECT: WOODWAY CHINA WALLS
ADDRESS: 1518 N. WOODWAY STREET, SUITE 300
CITY: COLUMBIUS, OHIO 43004
PHONE: (614) 881-4624
FAX: (614) 881-4624
MOODY NOLAN ARCHITECTS CERTIFICATE NO. FRM 00197475



18742025
18076.04
A101
802 PERMIT SET

GENERAL NOTES - FLOOR PLAN

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTIONS.
2. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND THE LOCATION OF ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK.
3. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES AND REGULATIONS.
5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTIONS.
7. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND THE LOCATION OF ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK.
8. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES AND REGULATIONS.
10. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

- GENERAL NOTES**
1. ALL EXISTING CONDITIONS SHALL BE MAINTAINED UNLESS SPECIFICALLY NOTED OTHERWISE.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTIONS.
 3. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND THE LOCATION OF ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK.
 4. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
 5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES AND REGULATIONS.
 6. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
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 8. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND THE LOCATION OF ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK.
 9. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
 10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES AND REGULATIONS.
 11. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

NO.	DATE	REVISIONS
1	08/14/2025	ISSUE FOR PERMIT

THE MEADOWS RAD RENOVATIONS
 1001 COLUMBIAN AVENUE
 COLUMBUS, OHIO 43215
 PHONE: (614) 484-6924

MOODY NOLAN ARCHITECTURE
 1001 COLUMBIAN AVENUE
 COLUMBUS, OHIO 43215
 PHONE: (614) 484-6924

MOODY NOLAN CERTIFICATE NO. PM 00197475

OVERALL PLAN - COMMUNITY CENTER

CONTRACT NO. 2023-00197475

DATE: 08/14/2025

PROJECT NO. 19076.04

A105

800 PERMIT SET

GENERAL NOTES - DEMOLITION

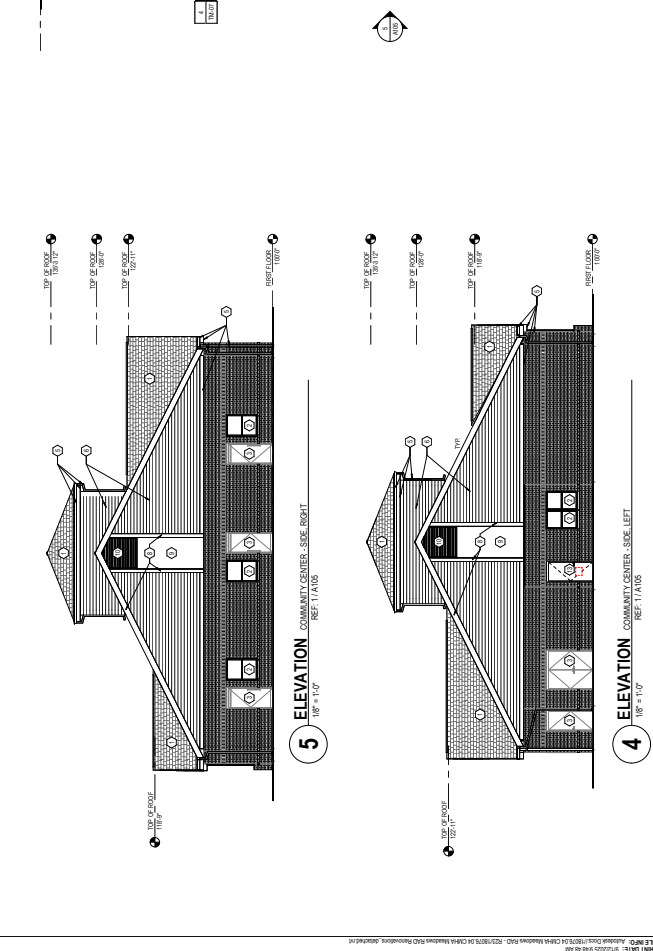
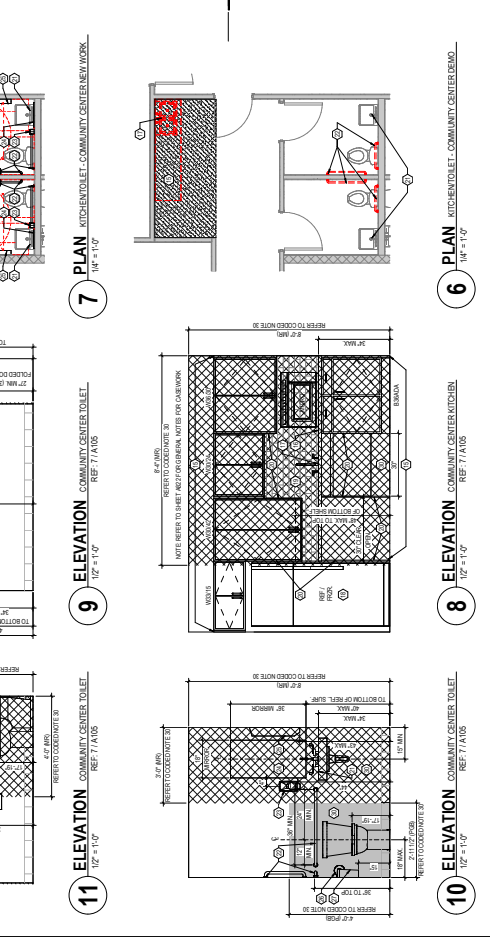
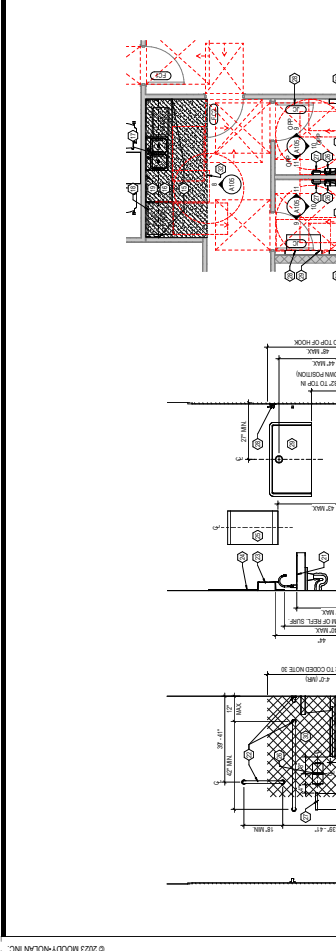
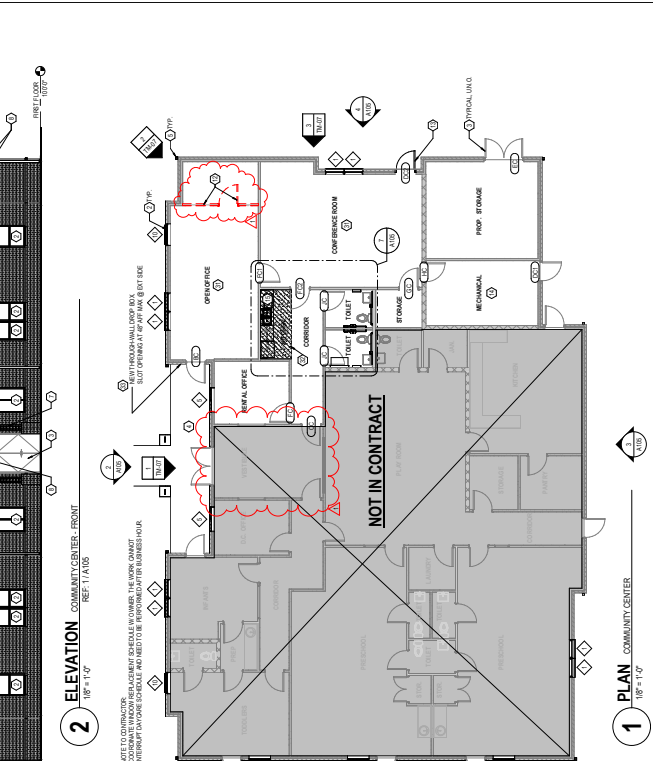
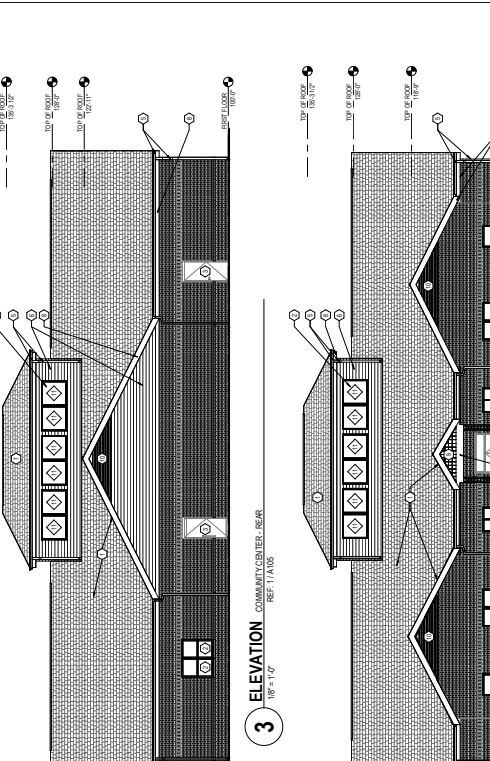
1. REFER TO SHEET DWG 001 FOR ADDITIONAL NOTES OF DEMOLITION WORK.
2. DEMOLITION SHALL BE ACCORDING TO THE LATEST EDITIONS OF ALL APPLICABLE CODES AND REGULATIONS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTIONS.
4. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND THE LOCATION OF ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK.
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12. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

FLOOR PLAN LEGEND

DEMOLITION: Hatched pattern
 EXISTING: Dotted pattern
 NEW: Solid grey fill
 TO BE DEMOLISHED: Red dashed outline
 TO REMAIN: Green dashed outline

ELEVATION LEGEND

NEW: Solid grey fill
 EXISTING: Dotted pattern
 TO BE DEMOLISHED: Red dashed outline
 TO REMAIN: Green dashed outline



ROOM NAME	FLOOR FINISH		WALLS FINISH		CEILING FINISH		NOTES
	FINISH	COLOR	FINISH	COLOR	FINISH	COLOR	
RECEPTION	UP	1	PF	1	PF	1	
OFFICE	UP	1	PF	1	PF	1	
CONFERENCE	UP	1	PF	1	PF	1	
TOILET	UP	1	PF	1	PF	1	
KITCHEN	UP	1	PF	1	PF	1	
STORAGE	UP	1	PF	1	PF	1	
MULTI-PURPOSE	UP	1	PF	1	PF	1	

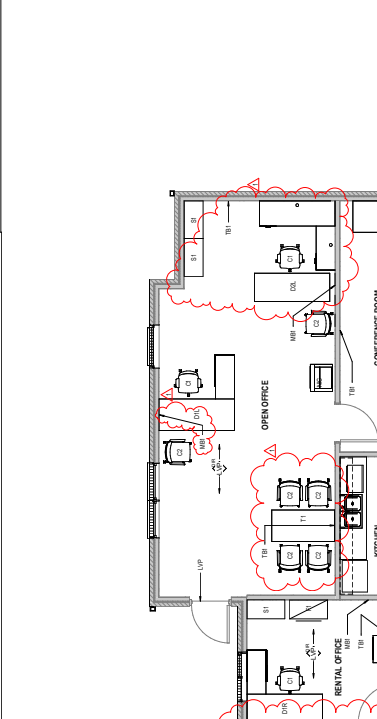
GENERAL NOTES:
 A. ALL CEILING AREAS TO REMAIN. PAINT W/WHITE GEL.
 B. ALL EXTERIOR WALLS TO REMAIN. PAINT W/WHITE GEL.
 C. ALL EXTERIOR DOORS TO REMAIN. PAINT W/WHITE GEL.
 D. ALL EXTERIOR WINDOWS TO REMAIN. PAINT W/WHITE GEL.
 E. ALL EXTERIOR LIGHT FIXTURES TO REMAIN. PAINT W/WHITE GEL.
 F. ALL EXTERIOR VENTILATORS TO REMAIN. PAINT W/WHITE GEL.
 G. ALL EXTERIOR ROOFING TO REMAIN. PAINT W/WHITE GEL.
 H. ALL EXTERIOR FENCING TO REMAIN. PAINT W/WHITE GEL.
 I. ALL EXTERIOR SIGNAGE TO REMAIN. PAINT W/WHITE GEL.
 J. ALL EXTERIOR LANDSCAPING TO REMAIN. PAINT W/WHITE GEL.

ROOM NAME	FLOOR FINISH		WALLS FINISH		CEILING FINISH		NOTES
	FINISH	COLOR	FINISH	COLOR	FINISH	COLOR	
RECEPTION	UP	1	PF	1	PF	1	
OFFICE	UP	1	PF	1	PF	1	
CONFERENCE	UP	1	PF	1	PF	1	
TOILET	UP	1	PF	1	PF	1	
KITCHEN	UP	1	PF	1	PF	1	
STORAGE	UP	1	PF	1	PF	1	
MULTI-PURPOSE	UP	1	PF	1	PF	1	

GENERAL NOTES:
 A. ALL CEILING AREAS TO REMAIN. PAINT W/WHITE GEL.
 B. ALL EXTERIOR WALLS TO REMAIN. PAINT W/WHITE GEL.
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 G. ALL EXTERIOR ROOFING TO REMAIN. PAINT W/WHITE GEL.
 H. ALL EXTERIOR FENCING TO REMAIN. PAINT W/WHITE GEL.
 I. ALL EXTERIOR SIGNAGE TO REMAIN. PAINT W/WHITE GEL.
 J. ALL EXTERIOR LANDSCAPING TO REMAIN. PAINT W/WHITE GEL.

REMAINING - FINISHES		REMAINING - FINISHES	
REMAINING	FINISHES	REMAINING	FINISHES
1. BSI 18 INDOOR/OUTDOOR - TYP. JETTS COMMUNITY CENTER		1. BSI 18 INDOOR/OUTDOOR - TYP. JETTS COMMUNITY CENTER	
2. BSI 18 INDOOR/OUTDOOR - TYP. JETTS COMMUNITY CENTER		2. BSI 18 INDOOR/OUTDOOR - TYP. JETTS COMMUNITY CENTER	
3. BSI 18 INDOOR/OUTDOOR - TYP. JETTS COMMUNITY CENTER		3. BSI 18 INDOOR/OUTDOOR - TYP. JETTS COMMUNITY CENTER	
4. BSI 18 INDOOR/OUTDOOR - TYP. JETTS COMMUNITY CENTER		4. BSI 18 INDOOR/OUTDOOR - TYP. JETTS COMMUNITY CENTER	
5. BSI 18 INDOOR/OUTDOOR - TYP. JETTS COMMUNITY CENTER		5. BSI 18 INDOOR/OUTDOOR - TYP. JETTS COMMUNITY CENTER	

GENERAL NOTES:
 A. ALL CEILING AREAS TO REMAIN. PAINT W/WHITE GEL.
 B. ALL EXTERIOR WALLS TO REMAIN. PAINT W/WHITE GEL.
 C. ALL EXTERIOR DOORS TO REMAIN. PAINT W/WHITE GEL.
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 H. ALL EXTERIOR FENCING TO REMAIN. PAINT W/WHITE GEL.
 I. ALL EXTERIOR SIGNAGE TO REMAIN. PAINT W/WHITE GEL.
 J. ALL EXTERIOR LANDSCAPING TO REMAIN. PAINT W/WHITE GEL.



NOT IN CONTRACT

REMAINING - FINISHES		REMAINING - FINISHES	
REMAINING	FINISHES	REMAINING	FINISHES
1. BSI 18 INDOOR/OUTDOOR - TYP. JETTS COMMUNITY CENTER		1. BSI 18 INDOOR/OUTDOOR - TYP. JETTS COMMUNITY CENTER	
2. BSI 18 INDOOR/OUTDOOR - TYP. JETTS COMMUNITY CENTER		2. BSI 18 INDOOR/OUTDOOR - TYP. JETTS COMMUNITY CENTER	
3. BSI 18 INDOOR/OUTDOOR - TYP. JETTS COMMUNITY CENTER		3. BSI 18 INDOOR/OUTDOOR - TYP. JETTS COMMUNITY CENTER	
4. BSI 18 INDOOR/OUTDOOR - TYP. JETTS COMMUNITY CENTER		4. BSI 18 INDOOR/OUTDOOR - TYP. JETTS COMMUNITY CENTER	
5. BSI 18 INDOOR/OUTDOOR - TYP. JETTS COMMUNITY CENTER		5. BSI 18 INDOOR/OUTDOOR - TYP. JETTS COMMUNITY CENTER	

NOT IN CONTRACT

GENERAL NOTES	
1. BSI 18 INDOOR/OUTDOOR - TYP. JETTS COMMUNITY CENTER	
2. BSI 18 INDOOR/OUTDOOR - TYP. JETTS COMMUNITY CENTER	
3. BSI 18 INDOOR/OUTDOOR - TYP. JETTS COMMUNITY CENTER	
4. BSI 18 INDOOR/OUTDOOR - TYP. JETTS COMMUNITY CENTER	
5. BSI 18 INDOOR/OUTDOOR - TYP. JETTS COMMUNITY CENTER	

NOT IN CONTRACT

FINISH LEGEND

THE MEADOWS RAD RENOVATIONS COLUMBIAN METROPOLITAN HOUSING COLUMBIAN METROPOLITAN HOUSING

MOODY+MOULN COMMUNITY BUILDINGS - FF&E

CODED NOTES

- 1. FINISHED FLOOR FINISHES AND ALL OTHER FINISHES WILL BE THE RESPONSIBILITY OF THE ARCHITECT. THE CONTRACTOR SHALL VERIFY THE FINISHES WITH THE ARCHITECT PRIOR TO THE START OF WORK AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONTRACTS TO EXISTING STRUCTURE.

NO.	REVISION DESCRIPTION
1	ISSUED
2	REVISED
3	ADDED/DELETED

THE MEADOWS RAD REVICIATIONS
 1000 W. MAIN STREET
 COLUMBIA, OHIO 43110

1000 W. MAIN STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: 614.464.4604
 FAX: 614.464.4604

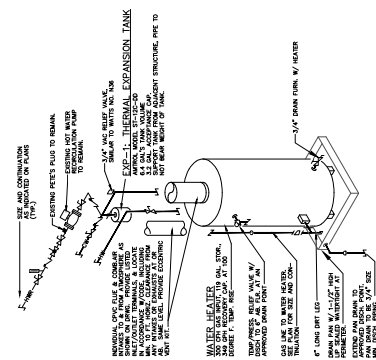
MOODY NOLAN CERTIFICATE NO. FRM 00197475
COMMUNITY CENTER MECHANICAL PLANS

100142005
 18072634
H103
 800 / RESUME SET

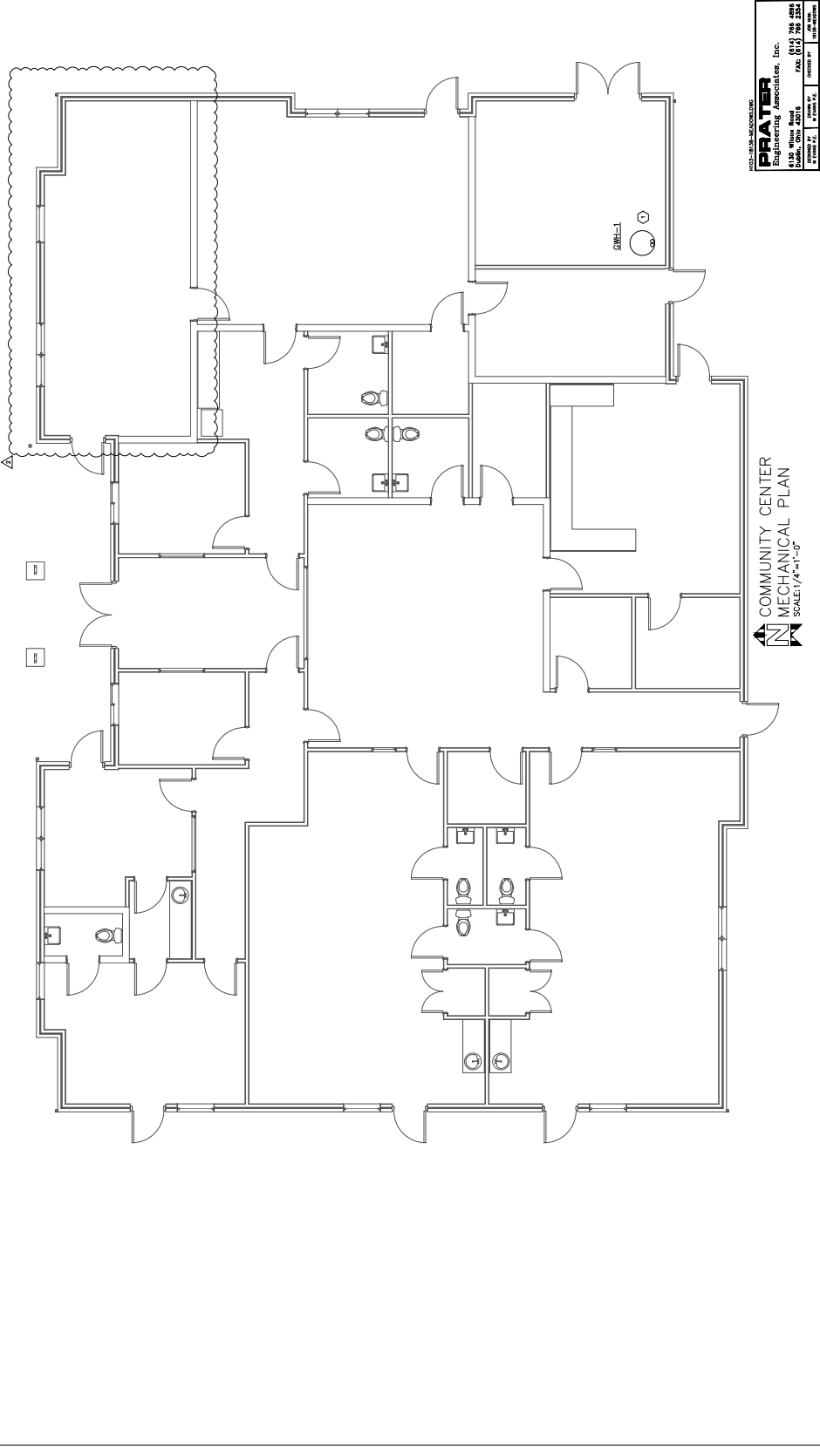
EQUIPMENT

GWH-1: GAS WATER HEATER
 PROVIDES A 5.0 GPM, 120V, 1200W GAS WATER HEATER WITH 10.0 GPM OF HOT WATER. THE HEATER SHALL BE INSTALLED IN THE MECHANICAL ROOM AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. THE HEATER SHALL BE INSTALLED IN A VENTED LOCATION AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. THE HEATER SHALL BE INSTALLED IN A VENTED LOCATION AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. THE HEATER SHALL BE INSTALLED IN A VENTED LOCATION AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

TEX-1: THERMAL EXPANSION TANK (ASME RATED)
 PROVIDES A 10.0 GPM, 120V, 1200W THERMAL EXPANSION TANK. THE TANK SHALL BE INSTALLED IN THE MECHANICAL ROOM AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. THE TANK SHALL BE INSTALLED IN A VENTED LOCATION AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. THE TANK SHALL BE INSTALLED IN A VENTED LOCATION AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

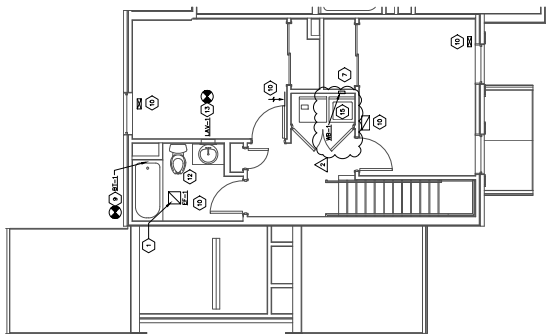


GWH-1: GAS WATER HEATER PIPING DIAGRAM
 NO SCALE

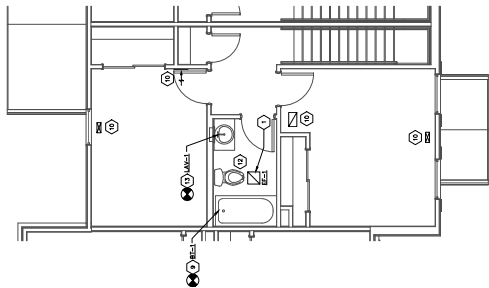


PRATER
 Engineering Associates, Inc.
 1000 W. MAIN STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: 614.464.4604
 FAX: 614.464.4604

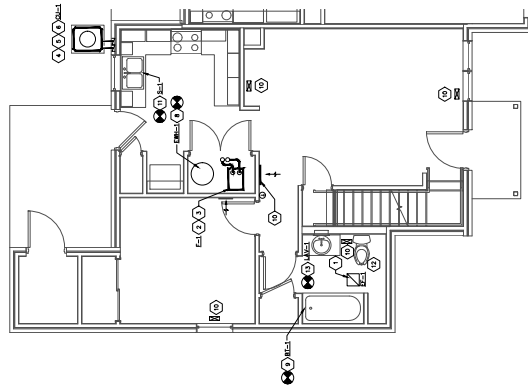
COMMUNITY CENTER MECHANICAL PLAN
 SCALE: 1/4" = 1'-0"



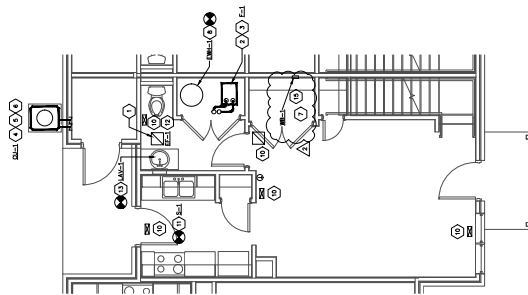
SECOND FLOOR UNIT 3-A
HVAC PLAN
SCALE: 1/4"=1'-0"



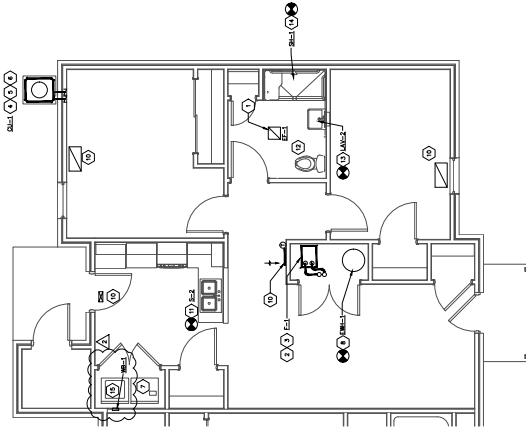
SECOND FLOOR UNIT 2-A
HVAC PLAN
SCALE: 1/4"=1'-0"



FIRST FLOOR UNIT 3-A
HVAC PLAN
SCALE: 1/4"=1'-0"



FIRST FLOOR UNIT 2-A
HVAC PLAN
SCALE: 1/4"=1'-0"



FIRST FLOOR UNIT 2-B (HC)
HVAC PLAN
SCALE: 1/4"=1'-0"

CODED NOTES

1. EXISTING CHANGES SHALL BE REPLACED WITH NEW EXACTLY THE SAME AS THE ORIGINAL.
2. SHOWING CHANGES AND REMOVE ANY NEW FINISHES AS NOTED ON THE PLAN.
3. EXISTING WALLS TO BE DEMOLISHED SHALL BE SHOWN WITH DASHED LINES AND NEW WALLS TO BE CONSTRUCTED SHALL BE SHOWN WITH SOLID LINES.
4. EXISTING FLOORING TO BE DEMOLISHED SHALL BE SHOWN WITH DASHED LINES AND NEW FLOORING TO BE CONSTRUCTED SHALL BE SHOWN WITH SOLID LINES.
5. EXISTING CEILING TO BE DEMOLISHED SHALL BE SHOWN WITH DASHED LINES AND NEW CEILING TO BE CONSTRUCTED SHALL BE SHOWN WITH SOLID LINES.
6. EXISTING PARTITIONS TO BE DEMOLISHED SHALL BE SHOWN WITH DASHED LINES AND NEW PARTITIONS TO BE CONSTRUCTED SHALL BE SHOWN WITH SOLID LINES.
7. EXISTING PARTITIONS TO BE DEMOLISHED SHALL BE SHOWN WITH DASHED LINES AND NEW PARTITIONS TO BE CONSTRUCTED SHALL BE SHOWN WITH SOLID LINES.
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11. EXISTING PARTITIONS TO BE DEMOLISHED SHALL BE SHOWN WITH DASHED LINES AND NEW PARTITIONS TO BE CONSTRUCTED SHALL BE SHOWN WITH SOLID LINES.
12. EXISTING PARTITIONS TO BE DEMOLISHED SHALL BE SHOWN WITH DASHED LINES AND NEW PARTITIONS TO BE CONSTRUCTED SHALL BE SHOWN WITH SOLID LINES.
13. EXISTING PARTITIONS TO BE DEMOLISHED SHALL BE SHOWN WITH DASHED LINES AND NEW PARTITIONS TO BE CONSTRUCTED SHALL BE SHOWN WITH SOLID LINES.
14. EXISTING PARTITIONS TO BE DEMOLISHED SHALL BE SHOWN WITH DASHED LINES AND NEW PARTITIONS TO BE CONSTRUCTED SHALL BE SHOWN WITH SOLID LINES.
15. EXISTING PARTITIONS TO BE DEMOLISHED SHALL BE SHOWN WITH DASHED LINES AND NEW PARTITIONS TO BE CONSTRUCTED SHALL BE SHOWN WITH SOLID LINES.
16. EXISTING PARTITIONS TO BE DEMOLISHED SHALL BE SHOWN WITH DASHED LINES AND NEW PARTITIONS TO BE CONSTRUCTED SHALL BE SHOWN WITH SOLID LINES.

BUILDING NUMBER	UNIT TYPE COUNT			
	2-A	3-A	3-B	4-A
12345678	2	2	-	-
845321	3	2	-	-
1356478	-	-	4	-
1234	-	-	-	3
123456789	1	1	2	-
UNIT TOTALS	6	5	4	3

BUILDING NUMBERS ARE CORRELATED WITH ARCHITECTURAL SITE PLAN.

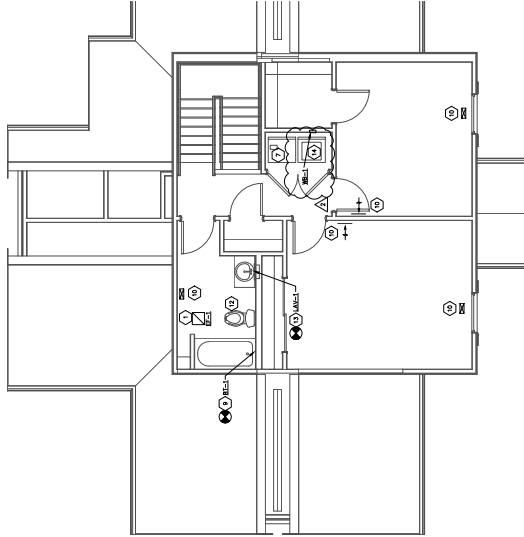
NO.	REVISION DESCRIPTION
1	ADDED/REMOVED

THE MEADOWS ROAD RENOVATIONS
COLUMBIA METROPOLITAN HOUSING
1000 W. WINDY HILL
COLUMBIA, OHIO 43102
TEL: 614.478.2888
FAX: 614.478.2888

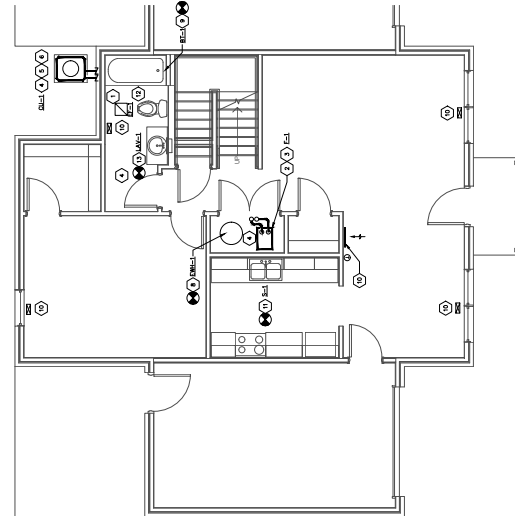
MOODY-NOLAN ARCHITECTS
1000 W. WINDY HILL
COLUMBIA, OHIO 43102
TEL: 614.478.2888
FAX: 614.478.2888

ENLARGED UNITS
MOODY-NOLAN ARCHITECTS
1000 W. WINDY HILL
COLUMBIA, OHIO 43102
TEL: 614.478.2888
FAX: 614.478.2888

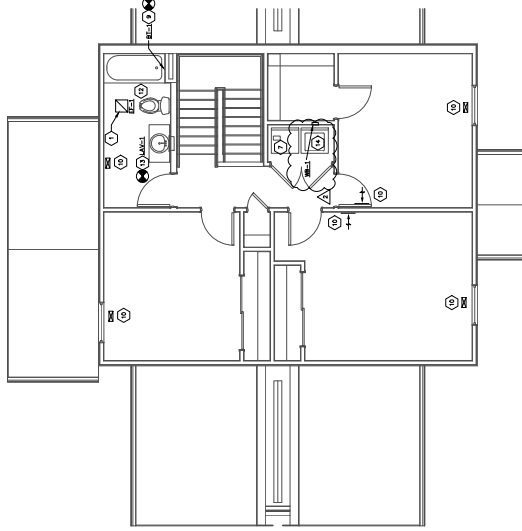
H201
1000 W. WINDY HILL
COLUMBIA, OHIO 43102
TEL: 614.478.2888
FAX: 614.478.2888



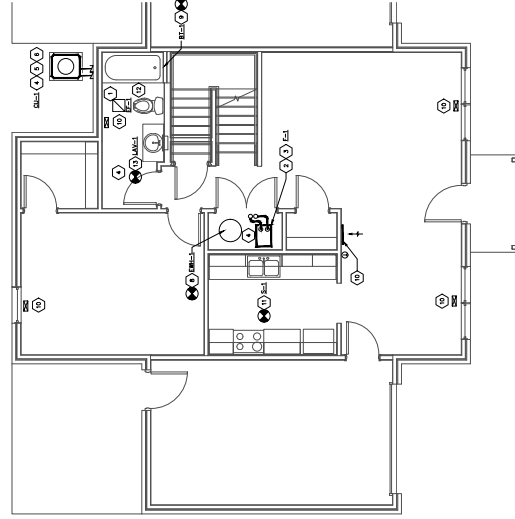
SECOND FLOOR UNIT 3-B
HVAC PLAN
SCALE: 1/4"=1'-0"



FIRST FLOOR UNIT 3-B
HVAC PLAN
SCALE: 1/4"=1'-0"



SECOND FLOOR UNIT 4-A
HVAC PLAN
SCALE: 1/4"=1'-0"



FIRST FLOOR UNIT 4-A
HVAC PLAN
SCALE: 1/4"=1'-0"

CODING NOTES

1. EXISTING CHANGES TO BE REPLACED WITH NEW DEMIST
2. REMOVE EXISTING FAN AND REPLACE WITH NEW FAN AS
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14. REMOVE EXISTING FAN AND REPLACE WITH NEW FAN AS
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16. REMOVE EXISTING FAN AND REPLACE WITH NEW FAN AS
17. REMOVE EXISTING FAN AND REPLACE WITH NEW FAN AS
18. REMOVE EXISTING FAN AND REPLACE WITH NEW FAN AS
19. REMOVE EXISTING FAN AND REPLACE WITH NEW FAN AS
20. REMOVE EXISTING FAN AND REPLACE WITH NEW FAN AS

UNIT NUMBER	2-A	3-B	3-C	4-A
1. S.A.S.S. S.F.	2	2	-	-
2. S.A.S.S. S.F.	3	-	4	-
3. S.A.S.S. S.F.	-	-	-	3
4. S.A.S.S. S.F.	1	2	-	-
UNIT TOTALS	30	5	42	12

BUILDING NUMBERS ARE CORRELATED WITH ARCHITECTURAL SITE PLAN.

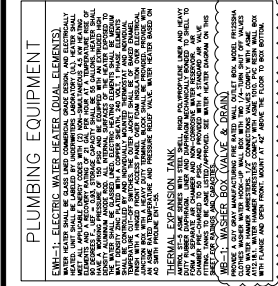
1. UNIT NUMBER	CHANGE DESCRIPTION
2. UNIT ADDRESS	ADDRESS NUMBER
THE MEADOWS ROAD REVISIONS MOODY-NOLAN ASSOCIATES, INC. ENGINEERING ASSOCIATES, INC. COLUMBIA METROPOLITAN HOLDING	
SUITE 300 COLUMBUS, OHIO 43215 TEL: 614.451.4444 FAX: 614.451.4444 WWW.MOODY-NOLAN.COM	
1070 W. STATE STREET SUITE 300 COLUMBUS, OHIO 43215 TEL: 614.778.5888 FAX: 614.778.5888 WWW.MOODY-NOLAN.COM	
MOODY-NOLAN CERTIFICATION RFI 00197475 ENLARGED UNITS HVAC PLANS	
DATE: 09/14/2023	SCALE: AS SHOWN
DRAWN BY: JCA	PROJECT NO: 230324P04
DATE: 09/14/2023	PROJECT NO: 230324P04
H202	REV: 02/2024 SET

PRATER Engineering Associates, Inc. 1108 W. MAIN STREET SUITE 203 COLUMBUS, OH 43261 PH: 614.291.7800 FAX: 614.291.7800 WWW.PRATER-INC.COM	PROJECT NO: 230324P04 SHEET NO: 02/2024 OF: 02/2024
--	---

ITEM	DESCRIPTION
1	WATER HEATER
2	WATER HEATER
3	WATER HEATER
4	WATER HEATER
5	WATER HEATER
6	WATER HEATER
7	WATER HEATER
8	WATER HEATER
9	WATER HEATER
10	WATER HEATER

1. FURNACE SHALL BE PRE-CHARGED LINE SIZES.
2. FURNACE SHALL BE INSTALLED AT THE EXHAUST POINT.
3. FURNACE SHALL BE INSTALLED AT THE EXHAUST POINT.
4. FURNACE SHALL BE INSTALLED AT THE EXHAUST POINT.
5. FURNACE SHALL BE INSTALLED AT THE EXHAUST POINT.
6. FURNACE SHALL BE INSTALLED AT THE EXHAUST POINT.
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1.1. FURNACE SHALL BE PRE-CHARGED LINE SIZES.
 1.2. FURNACE SHALL BE INSTALLED AT THE EXHAUST POINT.
 1.3. FURNACE SHALL BE INSTALLED AT THE EXHAUST POINT.
 1.4. FURNACE SHALL BE INSTALLED AT THE EXHAUST POINT.
 1.5. FURNACE SHALL BE INSTALLED AT THE EXHAUST POINT.
 1.6. FURNACE SHALL BE INSTALLED AT THE EXHAUST POINT.
 1.7. FURNACE SHALL BE INSTALLED AT THE EXHAUST POINT.
 1.8. FURNACE SHALL BE INSTALLED AT THE EXHAUST POINT.
 1.9. FURNACE SHALL BE INSTALLED AT THE EXHAUST POINT.
 1.10. FURNACE SHALL BE INSTALLED AT THE EXHAUST POINT.



THEMEAL EXPANSION TANK

THEMEAL EXPANSION TANKS ARE USED TO PREVENT EXCESSIVE PRESSURE IN THE PIPING SYSTEM DUE TO THERMAL EXPANSION OF WATER. THEY ARE INSTALLED AT THE HIGHEST POINT OF THE SYSTEM AND MUST BE VENTED TO THE EXTERIOR THROUGH A ROOF OR SIDE WALL. THE TANK SHOULD BE INSTALLED WITH A MINIMUM CLEARANCE OF 18 INCHES TO THE CEILING AND 6 INCHES TO THE FLOOR.

1.1. THERMAL EXPANSION TANK SHALL BE INSTALLED AT THE HIGHEST POINT OF THE SYSTEM.
 1.2. THERMAL EXPANSION TANK SHALL BE VENTED TO THE EXTERIOR THROUGH A ROOF OR SIDE WALL.
 1.3. THERMAL EXPANSION TANK SHALL BE INSTALLED WITH A MINIMUM CLEARANCE OF 18 INCHES TO THE CEILING AND 6 INCHES TO THE FLOOR.

PLUMBING EQUIPMENT

EW-1-1: ELECTRIC WATER HEATER (QUAL ELEMENTS)

1. WATER HEATER SHALL BE INSTALLED AT THE EXHAUST POINT.

2. WATER HEATER SHALL BE INSTALLED AT THE EXHAUST POINT.

3. WATER HEATER SHALL BE INSTALLED AT THE EXHAUST POINT.

4. WATER HEATER SHALL BE INSTALLED AT THE EXHAUST POINT.

5. WATER HEATER SHALL BE INSTALLED AT THE EXHAUST POINT.

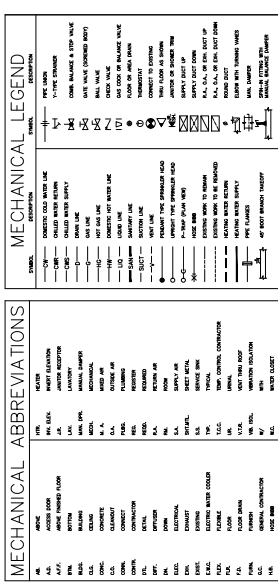
6. WATER HEATER SHALL BE INSTALLED AT THE EXHAUST POINT.

7. WATER HEATER SHALL BE INSTALLED AT THE EXHAUST POINT.

8. WATER HEATER SHALL BE INSTALLED AT THE EXHAUST POINT.

9. WATER HEATER SHALL BE INSTALLED AT THE EXHAUST POINT.

10. WATER HEATER SHALL BE INSTALLED AT THE EXHAUST POINT.



1. MECHANICAL LEGEND SHALL BE USED TO IDENTIFY ALL COMPONENTS OF THE SYSTEM.
 2. MECHANICAL LEGEND SHALL BE USED TO IDENTIFY ALL COMPONENTS OF THE SYSTEM.
 3. MECHANICAL LEGEND SHALL BE USED TO IDENTIFY ALL COMPONENTS OF THE SYSTEM.
 4. MECHANICAL LEGEND SHALL BE USED TO IDENTIFY ALL COMPONENTS OF THE SYSTEM.
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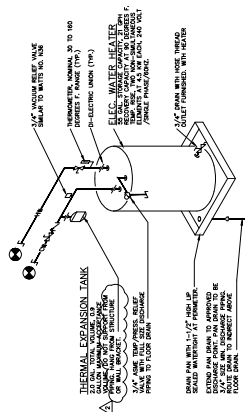
PLUMBING FIXTURE SCHEDULE

FIXTURE	MANUFACTURER	FINISH	SIZE	REMARKS	Pipe Size
1. SINK	AMERICAN BRASS	CHROME PLATED	14"	ENCLOSED: AMERICAN BRASS MODEL 14" CHROME PLATED SINK. SHALL BE INSTALLED AT THE EXHAUST POINT.	1/2"
2. SINK	AMERICAN BRASS	CHROME PLATED	14"	ENCLOSED: AMERICAN BRASS MODEL 14" CHROME PLATED SINK. SHALL BE INSTALLED AT THE EXHAUST POINT.	1/2"
3. SINK	AMERICAN BRASS	CHROME PLATED	14"	ENCLOSED: AMERICAN BRASS MODEL 14" CHROME PLATED SINK. SHALL BE INSTALLED AT THE EXHAUST POINT.	1/2"

1. SINK SHALL BE INSTALLED AT THE EXHAUST POINT.

2. SINK SHALL BE INSTALLED AT THE EXHAUST POINT.

3. SINK SHALL BE INSTALLED AT THE EXHAUST POINT.



EW-1-1: ELECTRIC WATER HEATER DIAGRAM

1. ELECTRIC WATER HEATER SHALL BE INSTALLED AT THE EXHAUST POINT.
 2. ELECTRIC WATER HEATER SHALL BE INSTALLED AT THE EXHAUST POINT.
 3. ELECTRIC WATER HEATER SHALL BE INSTALLED AT THE EXHAUST POINT.
 4. ELECTRIC WATER HEATER SHALL BE INSTALLED AT THE EXHAUST POINT.
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 8. ELECTRIC WATER HEATER SHALL BE INSTALLED AT THE EXHAUST POINT.
 9. ELECTRIC WATER HEATER SHALL BE INSTALLED AT THE EXHAUST POINT.
 10. ELECTRIC WATER HEATER SHALL BE INSTALLED AT THE EXHAUST POINT.

NO. 1	REVISED	ADDED/REMOVED	CHANGE DESCRIPTION
NO. 2	REVISED	ADDED/REMOVED	CHANGE DESCRIPTION
<p>THE HEAVENS RAD REVISIONS COLUMBIAN UNIVERSITY COLUMBIA, OHIO 43102</p> <p>MOODY-NOLAN COLUMBIAN METROPOLITAN HOUSING 1105 W. UNIVERSITY STREET SUITE 300 COLUMBUS, OHIO 43215 PHONE: (614) 293-4864 FAX: (614) 293-3884</p> <p>Moody Nolan CERTIFICATED: FRM 00197475 HVAC SCHEDULES AND DETAILS</p> <p>08/14/2023 SHEET: H90 1807504</p> <p>H900 RFD / PERM. SET 05/17/2023</p>			

PRATER
 Engineering Associates, Inc.
 1019 W. WINDY BARK
 COLUMBUS, OHIO 43215
 PHONE: (614) 293-3884
 FAX: (614) 293-3884

GENERAL NOTES

A. CONTRACTOR SHALL VERIFY ALL UTILITY CONDITIONS, INCLUDING THE LOCATION, DEPTH, AND TYPE OF ALL UTILITIES, PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.

B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.

CODED NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.

LINE TYPE LEGEND

--- LINE TYPE INDICATES THE ELECTRICAL EQUIPMENT/DEVICES TO BE PROVIDED.

----- LINE TYPE INDICATES BELOW FLOOR ELECTRICAL WIRING.

DUCT BANK DETAIL

SCALE: NONE

Connected Load Panel Summary

Panel	Phase A	Phase B	Phase C	Total
Panel A	32 KVA	32 KVA	32 KVA	96 KVA
Panel B	48 KVA	48 KVA	48 KVA	144 KVA
Panel C	32 KVA	32 KVA	32 KVA	96 KVA
Panel D	32 KVA	32 KVA	32 KVA	96 KVA
Panel E	32 KVA	32 KVA	32 KVA	96 KVA
Panel F	32 KVA	32 KVA	32 KVA	96 KVA
Panel G	32 KVA	32 KVA	32 KVA	96 KVA
Panel H	32 KVA	32 KVA	32 KVA	96 KVA
Panel I	32 KVA	32 KVA	32 KVA	96 KVA
Panel J	32 KVA	32 KVA	32 KVA	96 KVA
Panel K	32 KVA	32 KVA	32 KVA	96 KVA
Panel L	32 KVA	32 KVA	32 KVA	96 KVA
Panel M	32 KVA	32 KVA	32 KVA	96 KVA
Panel N	32 KVA	32 KVA	32 KVA	96 KVA
Panel O	32 KVA	32 KVA	32 KVA	96 KVA
Panel P	32 KVA	32 KVA	32 KVA	96 KVA
Panel Q	32 KVA	32 KVA	32 KVA	96 KVA
Panel R	32 KVA	32 KVA	32 KVA	96 KVA
Panel S	32 KVA	32 KVA	32 KVA	96 KVA
Panel T	32 KVA	32 KVA	32 KVA	96 KVA
Panel U	32 KVA	32 KVA	32 KVA	96 KVA
Panel V	32 KVA	32 KVA	32 KVA	96 KVA
Panel W	32 KVA	32 KVA	32 KVA	96 KVA
Panel X	32 KVA	32 KVA	32 KVA	96 KVA
Panel Y	32 KVA	32 KVA	32 KVA	96 KVA
Panel Z	32 KVA	32 KVA	32 KVA	96 KVA

BRANCHED CIRCUIT BREAKER SUMMARY

Panel	Phase A	Phase B	Phase C	Total
Panel A	32 KVA	32 KVA	32 KVA	96 KVA
Panel B	48 KVA	48 KVA	48 KVA	144 KVA
Panel C	32 KVA	32 KVA	32 KVA	96 KVA
Panel D	32 KVA	32 KVA	32 KVA	96 KVA
Panel E	32 KVA	32 KVA	32 KVA	96 KVA
Panel F	32 KVA	32 KVA	32 KVA	96 KVA
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Panel N	32 KVA	32 KVA	32 KVA	96 KVA
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Panel Q	32 KVA	32 KVA	32 KVA	96 KVA
Panel R	32 KVA	32 KVA	32 KVA	96 KVA
Panel S	32 KVA	32 KVA	32 KVA	96 KVA
Panel T	32 KVA	32 KVA	32 KVA	96 KVA
Panel U	32 KVA	32 KVA	32 KVA	96 KVA
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Panel W	32 KVA	32 KVA	32 KVA	96 KVA
Panel X	32 KVA	32 KVA	32 KVA	96 KVA
Panel Y	32 KVA	32 KVA	32 KVA	96 KVA
Panel Z	32 KVA	32 KVA	32 KVA	96 KVA

BRANCHED CIRCUIT BREAKER SUMMARY

Panel	Phase A	Phase B	Phase C	Total
Panel A	32 KVA	32 KVA	32 KVA	96 KVA
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Panel C	32 KVA	32 KVA	32 KVA	96 KVA
Panel D	32 KVA	32 KVA	32 KVA	96 KVA
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Panel X	32 KVA	32 KVA	32 KVA	96 KVA
Panel Y	32 KVA	32 KVA	32 KVA	96 KVA
Panel Z	32 KVA	32 KVA	32 KVA	96 KVA

ELECTRICAL SITE PLAN

SCALE: 1"=30'-0"

MOODY-NOLAN ENGINEERING

10000 WOODBURN ROAD
COLUMBUS, OHIO 43240
PHONE: (614) 746-4894
FAX: (614) 746-2384
WWW.MOODY-NOLAN.COM

THE MODERN RAD
DESIGN SOLUTIONS
10000 WOODBURN ROAD
COLUMBUS, OHIO 43240
PHONE: (614) 746-4894
FAX: (614) 746-2384
WWW.MOODY-NOLAN.COM

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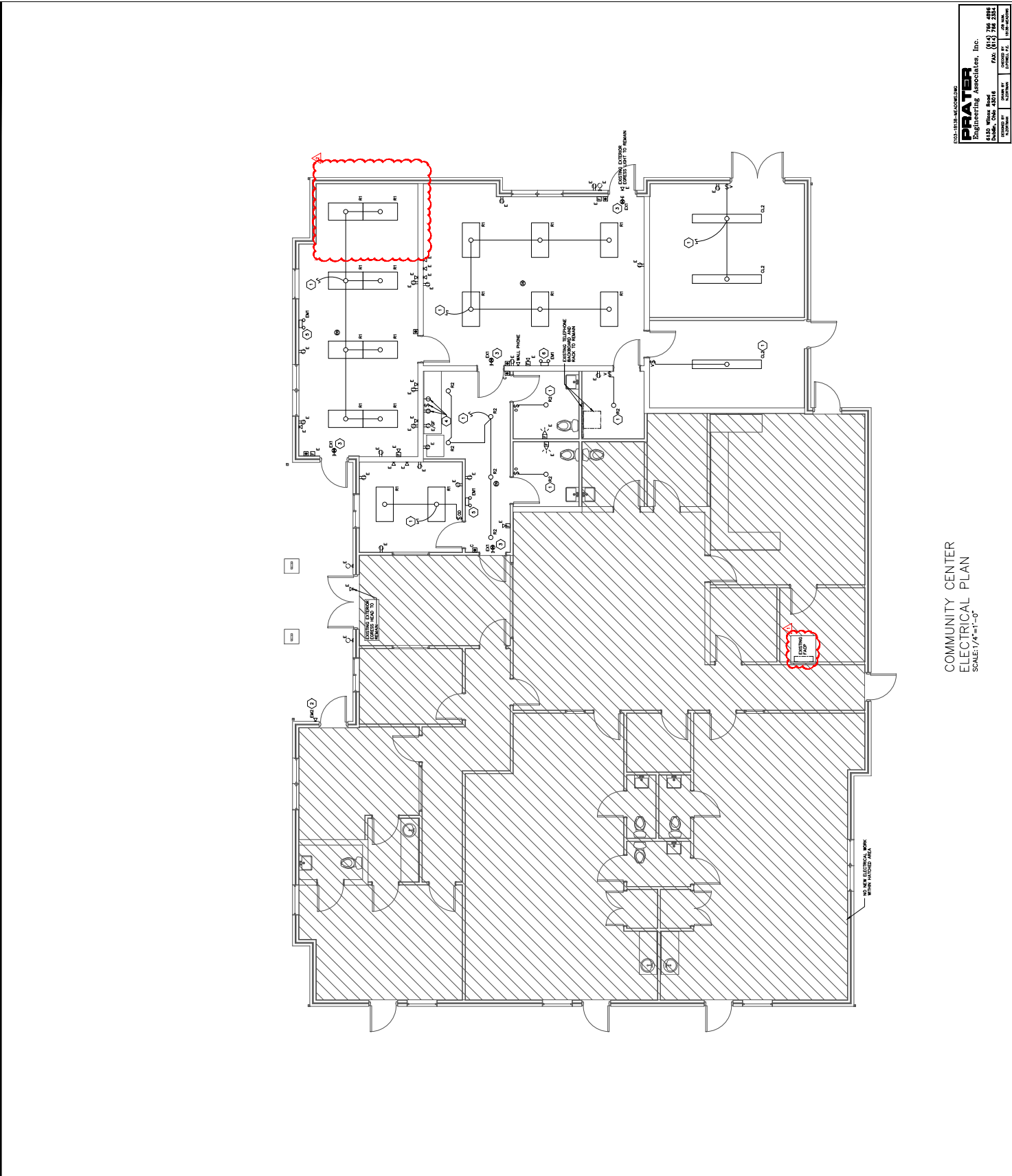
MOODY-NOLAN ENGINEERING
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WWW.MOODY-NOLAN.COM



COMMUNITY CENTER
ELECTRICAL PLAN
SCALE: 1/4"=1'-0"

6133-BIRMINGHAM
PRATER
Engineering Associates, Inc.
4150 White Road
Dublin, Ohio 43018
TEL: (614) 746-4898
FAX: (614) 746-2354
www.praterinc.com

LINE TYPE LEGEND

_____ EXISTING ELECTRICAL WORK
_____ NEW ELECTRICAL WORK
_____ NEW ELECTRICAL WORK TO BE DEMOLISHED

GENERAL NOTES

- ALL ELECTRICAL EQUIPMENT, WIRING, BRANCHED LIGHTING FIXTURES, AND CONDUIT SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
- THE ELECTRICAL CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND LOCATIONS OF ALL ELECTRICAL WORK TO BE DEMOLISHED PRIOR TO COMMENCEMENT OF WORK.

CODED NOTES

- CONDUCT A VISUAL INSPECTION OF ALL EXISTING ELECTRICAL WORK AND EQUIPMENT PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DEFECTS TO THE ARCHITECT AND ENGINEER IMMEDIATELY.
- PROVIDE NEW EMERGENCY EXIT LIGHTING FIXTURES WITH EXISTING EXIT LIGHTING. EXISTING BRANCH CIRCUIT TO THE NEW SERVICE.
- EXISTING BRANCH CIRCUIT TO THE NEW SERVICE.
- PROVIDE ALL ELECTRICAL WORK WITH THE FOLLOWING: ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
- NEW EMERGENCY EXIT LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
- NEW EMERGENCY EXIT LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.

#	DATE	CHANGE DESCRIPTION
1	08/14/2023	ISSUE FOR PERMIT SET

THE INSIDERS RAD
RESIDENTIAL
COMMERCIAL
INDUSTRIAL
CONSTRUCTION
COLUMBIAN METROPOLITAN HOUSING
COLUMBIAN METROPOLITAN HOUSING
COLUMBIAN METROPOLITAN HOUSING

Moody Nolan
10000 WOODBINE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE (614) 461-4824
MOODY-NOLAN PERMIT NO. FRU0191975

**COMMUNITY CENTER
ELECTRICAL PLANS**

PROJECT NO. 2023-001
DATE: 08/14/2023
DRAWN BY: J. MOODY
CHECKED BY: M. NOLAN
SCALE: 1/4"=1'-0"

E103
ISSUE FOR PERMIT SET

SECTION C — BIDDING DOCUMENTS

CMHA MEADOWS
— RAD RENOVATIONS —

BID DATE & TIME
Tuesday, September 30, 2025 @ 11:00 A.M.

NOTE TO CONTRACTORS

- 1) PLEASE READ THOROUGHLY.
- 2) BID FORMS 1 THRU 9 MUST BE SUBMITTED IN YOUR BID PACKAGE.
- 3) CONTRACTOR MUST USE CMHA BID FORMS INCLUDED IN THIS PACKAGE.
- 4) ALL FORMS MUST BE COMPLETELY FILLED, SIGNED/NOTARIZED AS NEEDED.
- 5) PLEASE SUBMIT 1 ORIGINAL AND 1 COPY.
- 6) ALL PAGES MUST BE PUT IN ORDER.
- 7) ALL PAGES MUST BE STAPLED OR BOUND OR PUT IN A 3-RING BINDER.

- Contract will be awarded to the **BEST** bidder submitting the **LOWEST** bid.
- Please refer to Section B, Part III, Page B-14, and Checklists Section B, Part IV, A, B, C & D, Page B-17 to B-21.
- **NOTE TO ALL CONTRACTORS**
Contract award is contingent on Columbus Metropolitan Housing Authority Board of Commissioners' approval.

SECTION C — BIDDING DOCUMENTS

PROJECT & BIDDER INFORMATION

ALL CONTRACTORS MUST COMPLETE AS NOTED

PROJECT INFORMATION

Project Name: _____

Project Address: _____

Project Scope of Work: _____

Bid Date & Time: _____

Bid Location: _____

BIDDER INFORMATION

Company Name: _____

Address: _____

Authorized Representative's Name: _____

Tel. #: _____ Fax #: _____

Email: _____

Company is (check all that apply) MBE Section 3 WBE

SECTION C – BIDDING DOCUMENTS

BID FORM No. 1 – Addendum

Project Name	CMHA Meadows
Scope of Work	RAD Renovations
Bid Date & Time	Tuesday, September 30, 2025 @ 11:00 a.m. – (available via Zoom)
Company Name	

- All contractors must record and acknowledge receipt of all Addenda issued for this project.
- Insert copy of all Addenda after this page. **(COVER PAGES ONLY)**

ADDENDUM TITLE	DATE OF ADDENDUM	NUMBER OF PAGES
1. _____	_____	_____
2. _____	_____	_____
3. _____	_____	_____
4. _____	_____	_____
5. _____	_____	_____
6. _____	_____	_____
7. _____	_____	_____
8. _____	_____	_____
9. _____	_____	_____
10. _____	_____	_____

Authorized Representative’s Signature	Date
Print/Type — Authorized Representative Name	Print/Type — Authorized Representative’s Title

SECTION C – BIDDING DOCUMENTS

BID FORM No. 2 – Bid Form

Project Name	CMHA Meadows
Scope of Work	RAD Renovations
Bid Date & Time	Tuesday, September 30, 2025 @ 11:00 a.m. – (available via Zoom)
Company Name	

1. The undersigned, having familiarized themselves with the local conditions affecting the cost of the work, and with the Plans and Specifications (including Invitation for Bids, Instructions to Bidders, this Bid Form, the form of Bid Bond, the form of Non-Collusive Affidavit, the form of Contract, and the form of Payment and Performance Bond or Bonds, the General Conditions, the Special Conditions, the General Scope of Work, the Technical Specifications and the Drawings) and Addenda, if any thereto as prepared by the Columbus Metropolitan Housing Authority and on file in the office of the same, hereby proposes to furnish all material, equipment, and perform all labor and services required to construct and complete the work.

- A. CONTRACTOR BASE BID:** Bidder will complete the Work in accordance with the Contract Documents for the following price(s):

Total Material, for the sum	_____	Dollars.....	(\$ _____)
Total Labor, for the sum	_____	Dollars.....	(\$ _____)
Playground Area Allowance – will include new poured surface, expanded playground equipment, and new trash receptacle to match existing playground benches, final location to be coordinated with owner	_____	Dollars.....	(\$ <u>\$60,000.00</u>)
Permit Allowance	_____	Dollars.....	(\$ <u>\$25,000.00</u>)
TOTAL BASE BID AMOUNT	_____		(\$ _____)
	(use words)		(figures)

- B. UNIT PRICE**

<p><u>UNIT PRICE #1: Gypsum Board Patching. Provide areas requiring replacement to include damaged areas and as required for new.</u></p> <p>a. Description: Cost includes removal of loose, broken delaminated, water damaged and deteriorating gypsum wall board as required for new.</p> <p>b. Unit Cost: Include material and labor.</p> <p>c. Unit of Measure: Square foot.</p> <p>d. Specification Reference: Section 09 29 00.</p> <p>e. Quantity of Work – Base 32 SF/Unit.</p>			
UNIT PRICE per Square Foot	_____	(use words)	(\$ _____)
			(figures)

UNIT PRICE #2: New Sub-Flooring. Provide at new flooring areas as required for new installation.

- a. Description: Cost includes removal of loose, broken delaminated, water damaged and deteriorating sub-floor.
- b. Unit Cost: Include material and labor.
- c. Unit of Measure: Square foot.
- d. Specification Reference: Section 06 10 00.

UNIT PRICE per Square Foot _____ (\$ _____)
(use words) (figures)

UNIT PRICE #3: New Underlayment. Provide at new flooring areas as required for new installation.

- a. Description: Cost includes removal of loose, broken delaminated, water damaged and deteriorating underlayment.
- b. Unit Cost: Include material and labor.
- c. Unit of Measure: Square foot.
- d. Specification Reference: Section 06 10 00.

UNIT PRICE per Square Foot _____ (\$ _____)
(use words) (figures)

UNIT PRICE #4: New Interior Doors. Provide at new locations as required for new doors (assume 36" x 80"). Provide new wood casing and frames.

- a. Description: Cost includes removal of damaged and deteriorating doors.
- b. Unit Cost: Include material and labor.
- c. Unit of Measure: Each.
- d. Specification Reference: Section 08 19 00.
- e. Quantity of Work – Base Bid: 95 doors.

UNIT PRICE per Each Door _____ (\$ _____)
(use words) (figures)

UNIT PRICE #5: New Steel Doors at Exterior Storage Rooms. Provide at new locations as required for new doors.

- a. Description: Cost includes removal of damaged and deteriorating doors. Existing frame to remain.
- b. Unit Cost: Include material and labor.
- c. Unit of Measure: Each.
- d. Specification Reference: Section 08 16 13.
- e. Quantity of Work – Base Bid: 20 doors.

UNIT PRICE per Each Door _____ (\$ _____)
(use words) (figures)

B. ALTERNATES:

ALT #1: Quartz counter tops in lieu of PLAM counter tops. At all kitchens, provide 3 cm quartz countertops as specified. Where quartz countertops are provided, provide tile back splash from top of counter to bottom of cabinet for entire length of countertop. Provide undermount sinks at these locations. At all bathrooms, provide 2 cm quartz countertops and drop-in vitreous sinks

- a. Base bid – PLAM countertops with drop-in sinks at kitchens. Bathroom vanity tops to be Rynone/cultured marble – white.
- b. Refer to drawings and specs for additional information.

LUMP SUM ALT. PRICE: _____ (**use words**) (\$ _____) (**figures**)

ALT #2: Replace existing roofs with asphalt shingle roofing system. At all buildings, remove existing asphalt shingle roofs and replace them with new. Provide new flashing, fascia, gutters etc.

- a. Base bid – Maintain existing shingle system. Modify shingles as necessary for installation of new flues or other devices for new systems being installed in units.
- b. Refer to drawings and specs for additional information.

LUMP SUM ALT. PRICE: _____ (**use words**) (\$ _____) (**figures**)

2. In submitting the bid, the bidder understands that the Columbus Metropolitan Housing Authority reserves the right to reject any and all bids. If written notice of the acceptance of this bid is mailed or delivered to the undersigned within sixty 60 days after the opening of this bid or at any time thereafter before this bid is withdrawn, the undersigned agrees to execute and deliver a contract in the prescribed form and furnish the required bond within ten (10) days after the contract is presented to him/her signed and approved by the Contracting Officer.

3. A bid bond is submitted with this bid in accordance with the specification requirements in the sum of _____ **DOLLARS** (\$ _____)

AMOUNT OF BID BOND IN US DOLLARS

The undersigned also agrees to execute and deliver the required Performance and Payment Bond within 10 days after an approved and executed contract by Columbus Metropolitan Housing Authority is mailed to him/her.

4. Attached hereto is an affidavit in proof that the undersigned have not entered into any collusion with any person in respect to his proposal or any other proposal or the submission of proposals for the contract for which this proposal is submitted.

5. In reference to the Equal Opportunity and Non-Segregated Facilities present in Section B— paragraph 8 the undersigned represents that he/she _____

HAS / HAS NOT

participated in a previous contract or subcontract subject to the Equal Opportunity Clause prescribed by Executive Orders 10925, 11114, or 11246 or the Secretary of Labor; that he/she _____ filled all required compliance reports, and that

HAS / HAS NOT

representations indicating the submission of required compliance reports, signed by proposed subcontractors, will be obtained prior to subcontract awards. (The above representation need not be submitted in connection with contracts or subcontracts, which are exempt from the clause.)

Authorized Representative's Signature	Date
Print/Type — Authorized Representative Name	Print/Type — Authorized Representative's Title

Subscribed and sworn to before me this _____ day of _____, 20_____

NOTARY SIGNATURE AND SEAL

SECTION C – BIDDING DOCUMENTS

BID FORM No. 3 – Non-Collusive Affidavit Form

Project Name	CMHA Meadows
Scope of Work	RAD Renovations
Bid Date & Time	Tuesday, September 30, 2025 @ 11:00 a.m. – (available via Zoom)
Company Name	

DATE: _____

STATE OF: _____
COUNTY OF: _____ } ss.

_____, being first duly sworn, deposes and says
Name

That s/he is _____ the party making certain proposal, quote or bid, that such proposal, quote or bid is genuine and not collusive or sham; that said bidder has not colluded, conspired, connived or agreed, directly or indirectly, with any bidder or person, to putting in a sham quote or bid or to refrain from quoting or bidding, and has not in any manner, directly or indirectly, sought by agreement or collusion, or communication or conference, with any person, to fix the quote or bid price or affiant or any other bidder, or to fix any overhead, profit or cost element of said quote or bid price, or of that of any other bidder, or to secure advantage against the **COLUMBUS METROPOLITAN HOUSING AUTHORITY** or any person interested in the proposed contract; and that all statements in said proposal, quote or bid are true.

Authorized Representative's Signature	Date
Print/Type — Authorized Representative Name	Print/Type — Authorized Representative's Title

Subscribed and sworn to before me this _____ day of _____, 20_____

NOTARY SIGNATURE AND SEAL

SECTION C – BIDDING DOCUMENTS

BID FORM No. 4 – Bid Bond

Project Name	CMHA Meadows
Scope of Work	RAD Renovations
Bid Date & Time	Tuesday, September 30, 2025 @ 11:00 a.m. – (available via Zoom)
Company Name	

- **5% OF THE BID AMOUNT MUST BE SUBMITTED BY ALL BIDDERS**
- **CONTRACTOR MUST USE THIS FORM**
- **BID BOND AMOUNT MUST BE SPELLED OUT**

KNOW ALL MEN BY THESE PRESENTS, that we the undersigned _____ as Principal, and

NAME OF PRINCIPAL

NAME OF SURETY / ADDRESS OF SURETY — STREET / CITY / STATE / ZIP

as **SURETY** are held and firmly bound unto **COLUMBUS METROPOLITAN HOUSING AUTHORITY**, hereinafter called the "*Local Authority*" in the penal

sum of \$ _____ (_____ **DOLLARS**)

5% OF TOTAL BID

lawful money of the United States, for payment of which sum well and truly to be made, we bind ourselves our heirs, executors, administrators' successors and assigns jointly and severally, firmly by these presents.

THE CONDITION OF THE OBLIGATION IS SUCH, that whereas the Principal has submitted the accompanying bid, dated, _____

for _____

PROJECT NAME AND ADDRESS

NOW, THEREFORE, if the Principal shall not withdraw said bid within the period specified therein after the opening of the same, or, if no period specified, within sixty 60 days after the said opening, and shall within the period specified therefore, or, if no period be specified within ten 10 days after the prescribed forms are presented to him for signature, enter into a written contract with the Local Authority in accordance with the bid accepted, and give bond with good and sufficient surety or sureties, as may be required, for the faithful performance and proper fulfillment of such contract; or in the event of the withdrawal of said bid within the period specified, or the failure to enter into such contract and give such bond within the time specified, then the Principal shall forfeit this bid bond as liquidated damages, and shall pay the Local Authority the difference between the amount specified in the said bid and the amount for which the Local Authority may procure the required work or supplies or both, if the latter amount be in excess of the former, then the above obligations shall be void and of no effect, otherwise to remain in full force and virtue.

IN WITNESS WHEREOF, the above-bounden parties have executed this instrument under their seals this _____ day of _____, 20__ the name and corporate seal of each corporate party being hereto affixed, and these presents duly signed by its undersigned representative pursuant to authority of its governing body.

IN PRESENCE OF:

<p>ATTEST</p>	<p>CORPORATE PRINCIPAL/SEAL – PRINT AND SIGN SIGNATURE _____ NAME _____</p>
<p>ATTEST</p>	<p>BUSINESS ADDRESS — STREET / CITY / STATE / ZIP _____ _____ _____</p>
<p>ATTEST</p>	<p>SURETY /SEAL—PRINT AND SIGN SIGNATURE _____ NAME _____</p>
<p>ATTEST</p>	<p>BUSINESS ADDRESS — STREET / CITY / STATE / ZIP _____ _____ _____</p>
<p>SURETY PHONE No. _____</p>	<p>SURETY FAX No. _____</p>

**POWER- OF- ATTORNEY FOR PERSON SIGNING FOR
SURETY COMPANY MUST BE ATTACHED TO BOND
CERTIFICATE AS TO CORPORATE SURETY**

I, _____, certify that I am the _____ of the corporation named as surety in the within bond; that _____ who signed the bond on behalf of the surety was the _____ of said corporation; that I know his/her signature, and his/her signature thereto is genuine; and that said bond was duly signed, sealed, and attested to for and on behalf of said corporation by authority of its governing body.

(CORPORATE SEAL)

MBE AND SECTION 3 CERTIFICATION FORMS

SECTION C – BIDDING DOCUMENTS

BID FORM No. 5 – MBE and Section 3 Participation

Project Name	CMHA Meadows
Scope of Work	RAD Renovations
Bid Date & Time	Tuesday, September 30, 2025 @ 11:00 a.m. – (available via Zoom)
Company Name	

All bidders shall set forth information requested on Forms No. 5, 5A, 5B, 5C, 5D and 5E specifically itemizing:

- all minority and female business enterprises and Section 3 businesses committed to work on the project.
- a description of services or supplies for each minority and female business enterprise and Section 3 business.
- the total dollar value of the contract intended.
- estimates for new employment and training opportunities.

The above-named company recognizes and commits to the following CMHA requirements:

- **20 percent of the total dollar amount of the contract is awarded to minority business enterprises.**
 - best efforts made to award contracts and subcontracts to Section 3 businesses.
 - best efforts made to provide employment and training opportunities generated by the project to Section 3 workers.
- 25 percent or more of the total number of labor hours worked by all workers are worked by Section 3 workers.
- 5 percent or more of the total number of labor hours worked by all workers are worked by Targeted Section 3 workers.

The above-named company certifies and commits to the following:

Total Base Bid Amount Entered on Bid Form No. 2	\$
Total Contract Value of Committed MBEs	\$
MBE Participation Percentage	%
Total Contract Value of Committed Section 3 Businesses	\$
Section 3 Business Participation Percentage	%
Total Estimated New Employment and Training Opportunities Entered on Bid Form No. 5D	
Total Number of Section 3 Workers Committed to Hire	

BID FORM No. 5 – MBE and Section 3 Business Participation cont'd

If no minority business enterprises and/or Section 3 businesses are included in this bid package, state “no participation” on this form. Complete Bid Form No. 5B explaining why minority business enterprises and/or Section 3 businesses (contractors and suppliers) are not being engaged.

If the percentages of the total contract values of committed minority business enterprises and/or Section 3 businesses reported on this form are less than the required CMHA goals, complete Bid Form No. 5B and 5C indicating why greater participation is not possible or feasible.

Bidders must show Good Faith Efforts demonstrating outreach to minority business enterprises and Section 3 businesses (contractors and suppliers) on Bid Form No. 5C and as indicated in the Good Faith Efforts detailed in the bid package requirements.

Bidders should include information about the participation of female business enterprises although these businesses are not considered in the CMHA numerical participation goal.

Bidders must ensure that all minority business enterprises and Section 3 businesses (contractors and suppliers) engaged on this project are certified by one of the CMHA approved certifying agencies. Bidders shall submit proof of certification. A business included in this bid package that is not certified will result in the CMHA not considering the business as part of the total minority business enterprise or Section 3 business participation requirements.

Bidders must document the total estimate of new employment and/or training opportunities identified by **all contractors (all contractors regardless of MBE or Section 3 status) included in the bid response** on Bid Form No. 5D.

Bidders must have **all contractors (all contractors regardless of MBE or Section 3 status) included in the bid response** complete Bid Form No. 5E communicating estimates for new employment and/or training opportunities arising as a result of the project’s scope of work.

The undersigned will:

- enter into a legal agreement with the minority business enterprises and/or Section 3 businesses (contractors and suppliers) included in the bid package conditioned upon execution of a contract with CMHA.
- demonstrate binding commitments with the minority business enterprises and/or Section 3 businesses (contractors and suppliers) included in the bid package within fourteen (14) working days after receiving an approved contract from CMHA.
- ensure and provide proof of certification of the minority business enterprises and/or Section 3 businesses (contractors and suppliers) included in this bid package.
- provide first consideration for new employment and training opportunities included in the bid package and any that are generated post contract award to Section 3 residents according to the project’s priority order.
- contact CMHA if changes are required prior to review and approval.

THE UNDERSIGNED HEREBY CERTIFIES THAT THE TERMS OF THIS COMMITMENT HAVE BEEN READ AND IS AUTHORIZED TO BIND THE BIDDER TO THE COMMITMENTS HEREIN SET FORTH.

Authorized Representative’s Signature	Date
Print/Type — Authorized Representative Name	Print/Type — Authorized Representative’s Title

SECTION C – BIDDING DOCUMENTS

BID FORM No. 5A – MBE and Section 3 Subcontractor/Supplier Utilization Commitment

Project Name	CMHA Meadows
Scope of Work	RAD Renovations
Bid Date & Time	Tuesday, September 30, 2025 @ 11:00 a.m. – (available via Zoom)
Company Name	

Company Name		\$ _____
Address		_____ % of Bid
Contact Person	Telephone Number	MBE _____
		WBE _____
Scope of Work		Sec3 _____

Company Name		\$ _____
Address		_____ % of Bid
Contact Person	Telephone Number	MBE _____
		WBE _____
Scope of Work		Sec3 _____

Company Name		\$ _____
Address		_____ % of Bid
Contact Person	Telephone Number	MBE _____
		WBE _____
Scope of Work		Sec3 _____

BID FORM No. 5A – MBE and Section 3 Subcontractor/Supplier Utilization Commitment cont'd

_____	\$ _____
Company Name	
_____	_____ % of Bid
Address	
_____	MBE _____
Contact Person	Telephone Number
_____	WBE _____
Scope of Work	Sec3 _____

_____	\$ _____
Company Name	
_____	_____ % of Bid
Address	
_____	MBE _____
Contact Person	Telephone Number
_____	WBE _____
Scope of Work	Sec3 _____

_____	\$ _____
Company Name	
_____	_____ % of Bid
Address	
_____	MBE _____
Contact Person	Telephone Number
_____	WBE _____
Scope of Work	Sec3 _____

_____	\$ _____
Company Name	
_____	_____ % of Bid
Address	
_____	MBE _____
Contact Person	Telephone Number
_____	WBE _____
Scope of Work	Sec3 _____

BID FORM No. 5A – MBE and Section 3 Subcontractor/Supplier Utilization Commitment cont'd

Company Name	\$ _____
Address	_____ % of Bid
Contact Person	Telephone Number
Scope of Work	MBE _____
	WBE _____
	Sec3 _____

Company Name	\$ _____
Address	_____ % of Bid
Contact Person	Telephone Number
Scope of Work	MBE _____
	WBE _____
	Sec3 _____

Use additional sheets as necessary to document all minority business enterprises and Section 3 businesses committed and included in the bid response.

Total Contract Value of Committed MBEs	\$ _____
MBE Participation Percentage	_____ %

Total Contract Value of Committed Section 3 Businesses	\$ _____
Section 3 Business Participation Percentage	_____ %

Bidders shall submit certification for all minority business enterprises and Section 3 businesses committed and included on this form.

I certify and affirm to the best of my knowledge that the information contained here within is true and accurate.

Authorized Representative's Signature	Date
Print/Type — Authorized Representative Name	Print/Type — Authorized Representative's Title

SECTION C – BIDDING DOCUMENTS

BID FORM No. 5B – MBE and Section 3 Business Commitment Statement

Project Name	CMHA Meadows
Scope of Work	RAD Renovations
Bid Date & Time	Tuesday, September 30, 2025 @ 11:00 a.m. – (available via Zoom)
Company Name	

Efforts were made to reach minority business enterprises and Section 3 businesses (contractors and suppliers). The above-named company is unable to meet CMHA’s required business participation goals prior to the time of this bid response submittal.

The above-named company certifies and commits to the following participation percentages

Total Base Bid Amount Entered on Bid Form No. 2 \$

Total Contract Value of Committed MBEs \$

MBE Participation Percentage %

Total Contract Value of Committed Section 3 Businesses \$

Section 3 Business Participation Percentage %

The above-named company is unable to meet CMHA’s minority business enterprise and/or Section 3 business participation requirements for this project due to the following reason(s):

_____ No MBE and/or Section 3 contractor(s) are/were available for work included in the RFP.

_____ No MBE and/or Section 3 supplier(s) have supplies needed for work included in the RFP.

_____ The MBE and/or Section 3 business contractor(s) and/or supplier(s) contacted quoted price(s) beyond acceptable. Documentation provided.

_____ Other: _____

I certify and affirm to the best of my knowledge that the information contained here within is true and accurate.

Authorized Representative’s Signature	Date
Print/Type — Authorized Representative Name	Print/Type — Authorized Representative’s Title

SECTION C – BIDDING DOCUMENTS

BID FORM No. 5C – MBE and Section 3 Business Outreach Good Faith Efforts

Project Name	CMHA Meadows
Scope of Work	RAD Renovations
Bid Date & Time	Tuesday, September 30, 2025 @ 11:00 a.m. – (available via Zoom)
Company Name	

Bidders are required to list all certified minority business enterprises and Section 3 businesses contacted demonstrating Good Faith Efforts to engage such businesses.

MBE_____ Section 3_____

Subcontractor/Supplier Name and Address	Contact Name and Telephone Number
Contact Date(s)	Type of Work/Materials
Reason(s) for Not Accepting	Price Quoted

MBE_____ Section 3_____

Subcontractor/Supplier Name and Address	Contact Name and Telephone Number
Contact Date(s)	Type of Work/Materials
Reason(s) for Not Accepting	Price Quoted

BID FORM No. 5C – MBE and Section 3 Business Outreach Good Faith Efforts cont'd

MBE_____ Section 3_____

Subcontractor/Supplier Name and Address	Contact Name and Telephone Number
Contact Date(s)	Type of Work/Materials
Reason(s) for Not Accepting	Price Quoted

MBE_____ Section 3_____

Subcontractor/Supplier Name and Address	Contact Name and Telephone Number
Contact Date(s)	Type of Work/Materials
Reason(s) for Not Accepting	Price Quoted

MBE_____ Section 3_____

Subcontractor/Supplier Name and Address	Contact Name and Telephone Number
Contact Date(s)	Type of Work/Materials
Reason(s) for Not Accepting	Price Quoted

BID FORM No. 5C – MBE and Section 3 Business Outreach Good Faith Efforts cont'd

MBE _____ Section 3 _____

Subcontractor/Supplier Name and Address	Contact Name and Telephone Number
Contact Date(s)	Type of Work/Materials
Reason(s) for Not Accepting	Price Quoted

MBE _____ Section 3 _____

Subcontractor/Supplier Name and Address	Contact Name and Telephone Number
Contact Date(s)	Type of Work/Materials
Reason(s) for Not Accepting	Price Quoted

Use additional sheets as necessary to document all minority business enterprises and Section 3 businesses contacted for inclusion the bid response.

CMHA reserves the right to contact each contractor or supplier included on this form for verification.

I certify and affirm to the best of my knowledge that the information contained here within is true and accurate.

Authorized Representative's Signature	Date
Print/Type — Authorized Representative Name	Print/Type — Authorized Representative's Title

CONTRACTOR MBE GOOD FAITH EFFORT ATTACHMENTS

**CONTRACTOR TO ATTACH ALL DOCUMENTS
SUBMITTED TO SUPPORT THEIR MBE
“GOOD FAITH EFFORTS”
AFTER THIS PAGE**

NOTE

- 1) REFER TO PROPOSED “GOOD FAITH EFFORT”
EXAMPLES.**
- 2) PLEASE TITLE ALL DOCUMENTS SUBMITTED AS
NEEDED FOR CLARIFICATION.**

**PROPOSED
“GOOD FAITH EFFORT” EXAMPLES &
POSSIBLE ATTACHMENTS**

MBE “Good Faith Effort” Examples

1. Contractor made effort to contact MBE firms, Bid Form #5C.
(All MBEs listed were verified)

2. Contractor advertised for MBE in local, and minority newspaper.
(Ads attached)

3. Contractor contacted/used MBE placement and recruiting offices.
(Documentation attached)

4. Contractor requested in writing for MBE firm(s) for quotes on
different portions of work.
(Documentation attached)

5. Contractor discusses portions of work with MBE contacted.
(Documentation attached)

6. Contractor accepted/negotiated in good faith with MBE quote.
(Documentation attached)

SECTION C – BIDDING DOCUMENTS

BID FORM No. 5D – Section 3 Workforce Commitment Statement

Project Name	CMHA Meadows
Scope of Work	RAD Renovations
Bid Date & Time	Tuesday, September 30, 2025 @ 11:00 a.m. – (available via Zoom)
Company Name	

Bidders are required to document the project’s total estimates for new employment and training opportunities identified by all contractors. Section 3 workers should have first preference for openings.

The above-named company certifies and commits to the following Section 3 workforce participation percentage:

**Total Estimated New Employment and Training Opportunities
Calculated from Submitted Bid Forms No. 5E**

Work Classifications	Estimated New Positions

Total Number of Section 3 Residents Committed to Hire

Section 3 Workforce Participation Percentage

%

Bidders must include completed Bid Form No. 5E from all contractors included in this bid response communicating estimates for new employment and/or training opportunities arising as a result of the project’s scope of work.

I certify and affirm to the best of my knowledge that the information contained here within is true and accurate.

Signature	Date
Print Name	Title

SECTION C – BIDDING DOCUMENTS

BID FORM No. 5E – Section 3 Workforce Commitment Statement for Contractors

Project Name	CMHA Meadows
Scope of Work	RAD Renovations
Bid Date & Time	Tuesday, September 30, 2025 @ 11:00 a.m. – (available via Zoom)
Company Name	

All contractors included in the bid response recognize and commit to the following Section 3 workforce requirements:

- **best efforts made to provide employment and training opportunities generated by the project to Section 3 workers.**
- **25 percent or more of the total number of labor hours worked by all workers are worked by Section 3 workers.**
- **5 percent or more of the total number of labor hours worked by all workers are worked by Targeted Section 3 workers.**

This form should be completed by all contractors included in the bid response to communicate estimates for new employment and/or training opportunities arising as a result of the project’s scope of work.

- Provide the complete list of work classifications/job titles required for the scope of work.
- Of the work classifications/job titles required for the scope of work, provide the number of workers currently employed to fulfill the scope. *How many workers are currently employed to handle this scope of work will work on this project?*
- Of the work classifications/job titles needed for the scope of work, provide the number of individuals that must be hired to fulfill the scope. *How many individuals will need to be hired to handle this scope of work?*

If no number is provided under the ‘# Must Hire’ column, the contractor is communicating that the company has a full team to complete the scope of work and will not need to hire new workers. Should this information change during the duration of the project, the contractor is required to communicate changes to the general contractor and provide hiring preference to Section 3 workers.

Work Classification/Job Title	# Required for the Scope	# Currently Employed	# Must Hire

Use additional sheets as necessary to document all work classifications/job titles needed to fulfill the scope of work.

BID FORM No. 5E – Section 3 Workforce Commitment Statement for Contractors cont'd

The above-named company certifies and commits to the following Section 3 workforce participation percentage:

Total Estimated New Employment and Training Opportunities	
Total Number of Section 3 Residents Committed to Hire	
Section 3 Workforce Participation Percentage	%

NOTE: To confirm the project’s compliance performance against Section 3 goals, all workers working on the project will be asked to provide information to determine status as a Section 3 worker and a Targeted Section 3 worker.

I certify and affirm to the best of my knowledge that the information contained here within is true and accurate.

Signature	Date
Print Name	Title

SECTION C – BIDDING DOCUMENTS

CMHA Section 3 Clause

Project Name	CMHA Meadows
Scope of Work	RAD Renovations
Bid Date & Time	Tuesday, September 30, 2025 @ 11:00 a.m. – (available via Zoom)
Company Name	

All CMHA Section 3 covered contracts shall include the following clause to comply with Section 3 requirements.

- A. **Authority.** The work to be performed under this contract is subject to the requirements of Section 3 of the Housing and Urban Development Act of 1968, as amended, 12 U.S.C. 1701u (Section 3) and 24 CFR Part 75. The purpose of Section 3 is to ensure that employment and other economic opportunities generated by HUD assistance or HUD-assisted projects covered by Section 3, shall, to the greatest extent feasible, be directed to low- and very low-income persons, particularly persons who are recipients of HUD assistance for housing.
- B. **Contracting, Contract Certification and Compliance.** The parties to this contract agree to comply with HUD’s regulations in 24 CFR part 75, which implements section 3. As evidenced by their execution of this contract, the parties to this contract certify that they are under no contractual or other impediment that would prevent them from complying with part 75 regulations. Specifically, contracts must be:
- (1) Consistent with existing Federal, state, and local laws and regulations, PHAs and other recipients of public housing financial assistance, and their contractors and subcontractors, must make their best efforts to award contracts and subcontracts to business concerns that provide economic opportunities to Section 3 workers.
 - (2) PHAs and other recipients, and their contractors and subcontractors, must make their best efforts in the following order of priority:
 - (a) To Section 3 business concerns that provide economic opportunities for residents of the public housing projects for which assistance is provided;
 - (b) To Section 3 business concerns that provide economic opportunities for residents of other public housing projects or Section-8 assisted housing managed by the PHA that is providing the assistance;
 - (c) To YouthBuild programs; and
 - (d) To Section 3 business concerns that provide economic opportunities to Section 3 workers residing within the metropolitan area (or non-metropolitan county) in which assistance is provided.
- C. **Notice.** The contractor agrees to send to each labor organization or representative of workers with which the contractor has a collective bargaining agreement or other understanding, if any, a notice advising the labor organization or workers’ representative of the contractor’s commitments under this Section 3 Clause and will post copies of the notice in conspicuous places at the work site where both employees and applicants for training and employment positions can see the notice. The notice shall describe the Section 3 preference, shall set forth minimum number and job titles subject to hire, availability of apprenticeship and training positions, the qualifications for each, and the name and location of the person(s) taking applications for each of the positions; and the anticipated date the work shall begin.

- D. Subcontracts. The contractor agrees to include this Section 3 Clause in every subcontract subject to compliance with regulations in 24 CFR Part 75 and agrees to take appropriate action, as provided in an applicable provision of the subcontract or in this Section 3 Clause upon finding that the subcontractor is in violation of the regulations in 24 CFR Part 75. The contractor will not subcontract with any subcontractor where the contractor has notice or knowledge that the subcontractor has been found in violation of the regulations in 24 CFR Part 75.
- E. Employment and Training Opportunities. The contractor will certify that any vacant employment positions, including training positions, which are filled: after the contractor is selected but before the contract is executed, and with persons other than those to whom the regulations of 24 CFR Part 75 require employment opportunities to be directed, were not filled to circumvent the contractor's obligations under 24 CFR Part 75.

Specifically, the contract shall be consistent with existing Federal, State, and local laws and regulations. PHAs or other recipients receiving public housing financial assistance, as well as their contractors and subcontractors, must make their best efforts to provide employment and training opportunities generated by the public housing financial assistance to Section 3 workers. These best efforts must apply to the Section 3 workers in the following order of priority:

- (1) To residents of the public housing projects for which the public housing financial assistance is expended;
 - (2) To residents of other public housing projects managed by the PHA that is providing the assistance or for residents of Section 8-assisted housing managed by the PHA;
 - (3) To participants in YouthBuild programs; and
 - (4) To low- and very low-income persons residing within the metropolitan area (or non-metropolitan county) in which assistance is expended
- F. Noncompliance with HUD's regulations in 24 CFR Part 75 may result in sanctions, termination of this contract for default, and debarment or suspension from future HUD assisted contracts.

SECTION C – BIDDING DOCUMENTS

BID FORM No. 6 – Bidder’s Qualifications

Project Name	CMHA Meadows
Scope of Work	RAD Renovations
Bid Date & Time	Tuesday, September 30, 2025 @ 11:00 a.m. – (available via Zoom)
Company Name	

NOTE: USE ADDITIONAL SHEETS IF NEEDED

The Bidder is required to complete Bid Form No. 7: Bidder Qualifications Questionnaire (6 pages) and attach his/her reference on Form No. 7A of what work of a character similar and compatible to that included in the proposed contract he/she has done, to give references and such other detailed information as will enable the Columbus Metropolitan Housing Authority to judge his/her responsibility, experience, skill, and financial standing.

A. Names of Principal Shareholder/s or Parent Company and percentage of ownership:

	%
	%
	%
	%

B. Check One:

- Corporation
- Joint Venture
- Limited Liability
- Partnership
- Individual
- Date Established _____

- C. Has any principal shareholder or owner (30% ownership or more) been involved, as owner, employee, or agent, **in any other business** entity engaged in the construction industry within the past 5 years? Yes No

If so, provide the following information:

1. Name of each business entity _____

2. Description of involvement (*e.g., title and duties*) _____

3. Dates of involvement _____

- D. Has your organization ever operated under another name? Yes No

1. If so, what name? _____
2. Describe the relationship to the present firm: _____

2. BIDDER'S BACKGROUND INFORMATION

- A. Number of years in business _____
- B. Number of employees at present _____
- C. Geographical area served _____

- D. **Safety Record** — Has your organization been inspected by OSHA within the past 2 years? Yes No

1. If so, provide the following information for **EACH INSPECTION** on a separate sheet:
 - A. Project inspected
 - B. Dates of inspection
 - C. Citations issued (number of specifics)
 - D. Penalties paid (not proposed)

2. Attach copies of your OSHA 200 Annual Summary of injuries and illness logs for the preceding 3 years.
3. Has any employee or agent of your organization died or been seriously injured (i.e., requiring in patient hospitalization) due to a workplace accident in the last 2 years?
 Yes No

If yes provide details: _____

4. To put your safety record in perspective, what was the total amount of employee workdays (*not including office / non-field construction employees*) last year?

Number of construction employees _____
 Total number of hours of construction employees _____

- E. Has your organization or its agents defaulted on any construction project within the last 3 years? Yes No

If yes, provide details on separate sheet of paper and attach to this section.

- F. Has your organization or its agents had a construction contract terminated, or been asked to leave a construction project, within the last 3 years? Yes No

If yes, provide details on separate sheet of paper and attach to this section.

- G. Has your organization or its agents been issued a Stop Work Order on any project within the past 3 years? Yes No

If yes, provide details on separate sheet of paper and attach to this section.

- H. Are you now, or have you been in the past, a party to any litigation or arbitration proceedings arising out of your performance of a construction contract? Yes No

If yes, provide details on separate sheet of paper and attach to this section.

- I. Has your organization been assessed any liquidated damages arising from any construction activities in the past 3 years? Yes No

If yes, provide details on separate sheet of paper and attach to this section.

- J. Has your organization been found not responsive? Yes No

If yes, provide details on separate sheet of paper and attach to this section.

- K. Has your organization been cited for any violation of any state or federal prevailing wage requirements in the past 3 years? Yes No

If yes, provide details on separate sheet of paper and attach to this section.

- L. Has your organization or any of its employees, agents, or affiliates, ever been disbarred or declared ineligible for any government contracts? Yes No

If yes, provide details on separate sheet of paper and attach to this section.

- M. Has your organization or any of its employees, agents or affiliates ever been cited and/or issued any violations by any regulatory agency with respect to your construction activities within the last 3 years? Yes No

If yes, provide details on separate sheet of paper and attach to this section.

- N. Is your organization, or any of its employees, agents, or affiliates currently under investigation or audit, or involved in any proceedings involving a regulatory agency with respect to your construction activities? Yes No

If yes, provide details on separate sheet of paper and attach to this section.

- O. Have any mechanics' liens or bond claims been filed by you, or your subcontractors, suppliers, employees, or materialmen, on any projects on which you have worked in the last 2 years? Yes No

If yes, provide details on separate sheet of paper and attach to this section.

3. FINANCIAL INFORMATION

- A. Identify the Surety Company that will provide your payment and performance bond/s:

Surety Name	
Surety Address	
Surety Phone No.	Surety Fax No.
Contact Person	Bonding Limits \$

- B. Source of Letter of Credit *(if applicable)*:

Credit Limits: _____

- C. Have any claims been made against your bonding company, as obligator on a bond issued on your behalf, in the past 3 years? Yes No

If yes, provide details on separate sheet of paper and attach to this section.

D. List bank reference/s, stating the name/s of the bank officer, address, and telephone number:

BANK NAME	REFERENCE	TELEPHONE No.
1.		
2.		
3.		
4.		
5.		

E. List any outstanding liens (*include project name, date, and reason*): _____

F. Is your company any of the following?

1. Minority Business Enterprise (MBE) Yes No

2. Female Business Enterprise (WBE) Yes No

4. IMPORTANT NOTICE

The foregoing information must be truthfully, completely, and fully provided. Failure to do so may result, at the owner's discretion, in declaring the bidder's bid non-responsive and therefore not considered. Any falsification, misrepresentation, or untrue response to any of the foregoing shall also be, at the discretion of the owner, cause for the immediate termination of any contract entered into between the owner and the bidder.

If any additional space is necessary to completely answer any of the foregoing, provide all relevant details on a separate, attached sheet. Describe the circumstances, referencing the project, provide the names of involved persons and agencies, and state the results of the incidents in questions. Additional information of facts may be required by the Owner prior to the award of any contract.

This statement, along with any attached sheets, is to be signed by an officer of the bidder organization and notarized. Execution of this form constitutes a representation of the truth and accuracy of all of the statements and answers made in conjunction herewith.

State of _____

County of _____

Authorized Representative's Signature	Date
Print/Type — Authorized Representative Name	Print/Type — Authorized Representative's Title

Subscribed and sworn to before me this _____ day of _____, 20_____

NOTARY SIGNATURE AND SEAL

SECTION C – BIDDING DOCUMENTS

BID FORM No. 7 – Previous Similar Project References

Project Name	CMHA Meadows
Scope of Work	RAD Renovations
Bid Date & Time	Tuesday, September 30, 2025 @ 11:00 a.m. – (available via Zoom)
Company Name	

SIMILAR/COMPATIBLE CONSTRUCTION PROJECTS COMPLETED IN THE LAST 5 YEARS

SIMILAR/COMPATIBLE PROJECT NAME / LOCATION	CONTACT PERSON NAME & TEL. #	CONTRACT AMOUNT	PROJECT DATES	
			START	COMPLETION
1.				
2.				
3.				
4.				

NOTE: USE ADDITIONAL SHEETS IF NEEDED

Authorized Representative's Signature	Date
Print/Type — Authorized Representative Name	Print/Type — Authorized Representative's Title

SECTION C – BIDDING DOCUMENTS

BID FORM No. 8 – Financial Statement / Contractor Forms

Project Name	CMHA Meadows
Scope of Work	RAD Renovations
Bid Date & Time	Tuesday, September 30, 2025 @ 11:00 a.m. – (available via Zoom)
Company Name	

The bidder is to provide the most recent audited financial statement, audited if available including contractors latest balance sheet and income statement (*see “Instructions and Information for Bidders”*).

- Submit with this form, the following:
 - 1) Certificate of Insurance
 - 2) Bureau of Workers’ Compensation Certificate
 - 3) Contractor License in project

Bidders are to indicate if items listed below are enclosed.

1. Financial Statement: Yes No

2. Financial Statement will be submitted if the bidder is the lowest bid. Yes

If #2 is selected:

Submit Financial Statement within three (3) working days after the Bid Opening if you are the lowest bidder.

Authorized Representative’s Signature	Date
Print/Type — Authorized Representative Name	Print/Type — Authorized Representative’s Title

SECTION C – BIDDING DOCUMENTS

BID FORM No. 9 – Certification for Drug Free Workplace

Project Name	CMHA Meadows
Scope of Work	RAD Renovations
Bid Date & Time	Tuesday, September 30, 2025 @ 11:00 a.m. – (available via Zoom)
Company Name	

Program/Activity Receiving Federal Contract Funding

1. Acting on behalf of the above-named Contractor as its Authorized Official, I make the following certifications and agreements to the Columbus Metropolitan Housing Authority (CMHA) regarding the sites listed below:

I certify that the above-named Contractor will or will continue to provide a drug-free workplace by:

a. Publishing a statement notifying employees that the unlawful manufacture, distribution, dispensing, possession, or use of a controlled substance is prohibited in the Contractor’s workplace and specifying the actions that will be taken against employees for violation of such prohibition.

b. Establishing an on-going drug-free awareness program to inform employees --

- (1) The dangers of drug abuse in the workplace;
- (2) The Contractor’s policy of maintaining a drug-free workplace
- (3) Any available drug counseling, rehabilitation, and employee assistance programs; and
- (4) The penalties that may be imposed upon employees for drug violations occurring in the workplace.

c. Making it a requirement that each employee to be engaged in the performance of the contract be given a copy of the statement required by paragraph a.

d. Notifying the employee in the statement required by paragraph a. that, as a condition of employment under the contract, the employee will –

- (1) Abide by the terms of the statement; and
- (2) Notify the employer in writing of his or her conviction for a violation of a criminal drug statute occurring in the workplace no later than five calendar days after such conviction;

e. Notifying the agency in writing, within ten calendar days after receiving notice under subparagraph d.(2) from an employee or otherwise receiving actual notice of such conviction. Employers of convicted employees must provide notice, including position title, to every contract officer or other designee on whose contract activity the convicted employee was working, unless the Federal agency has designated a central point for the receipt of such notices. Notice shall include the identification number(s) of each affected contract;

(1) Taking appropriate personnel action against such an employee, up to and including termination, consistent with the requirements of the Rehabilitation Act of 1973, as amended; or

(2) Requiring such employee to participate satisfactorily in a drug abuse assistance or rehabilitation program approved for such purposes by a Federal, State, or local health, law enforcement, or other appropriate agency;

f. Making a good faith effort to continue to maintain a drug-free workplace through implementation of paragraphs a. thru f.

2. Sites for Work Performance. The Contractor shall list (on separate pages) the site(s) for the performance of work done in connection with the CMHA funding of the program/activity shown above: Place of Performance shall include the street address, city, county, State, and zip code. Identify each sheet with the Contractor name and address and the program/activity receiving contract funding.)

Check here ¹ if there are workplaces on file that are not identified on the attached sheets.

I hereby certify that all the information stated herein, as well as any information provided in the accompaniment herewith, is true and accurate.
Warning: CMHA will prosecute false claims and statements. Conviction may result in criminal and/or civil penalties.

Authorized Representative’s Signature	Date
Print/Type — Authorized Representative Name	Print/Type — Authorized Representative’s Title

END OF BIDDING DOCUMENTS

(This sheet should be included as your last page in your bid package)