

PROJECT NUMBER 18076.04

THE MEADOWS RAD RENOVATIONS

4855 PINTAIL CREEK DRIVE
COLUMBUS, OH 43110

CMHA EXECUTIVE STAFF:

CHARLES D. HILLMAN, PRESIDENT & CEO
TOM WILLIAMSON, CFO
SCOTT SCHARLACH, COO
SCOTT W. AMMARELL, CPO

BOARD OF COMMISSIONERS:

JAMES L. ERVIN, JR., CHAIRMAN
FREDERICK L. RANSIER, COMMISSIONER
D MALONE, COMMISSIONER
JACQUELIN LEWIS, COMMISSIONER
STEPHEN DALEY, COMMISSIONER

HUD PROJECT NO.
OHFA PROJECT NO. 21-0228 BGF

PROJECT ARCHITECT:	MOODY NOLAN
SIGNATURE	TITLE DATE
OWNER / DEVELOPER:	COLUMBUS METROPOLITAN HOUSING AUTHORITY
SIGNATURE	TITLE DATE
GENERAL CONTRACTOR:	
SIGNATURE	TITLE DATE
LENDER:	
SIGNATURE	TITLE DATE
BONDING COMPANY:	
SIGNATURE	TITLE DATE

PREPARED FOR:



PREPARED BY:



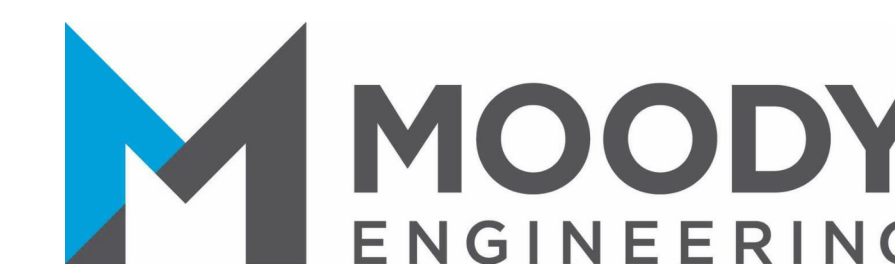
ARCHITECTURE & INTERIOR DESIGN
300 Spruce Street, Suite 300
Columbus, Ohio 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881



SUSTAINABILITY CONSULTANT
501 East 13th Street
Cincinnati, Ohio 45202
(513) 455-8228 Fax (513) 455-8228



COST ESTIMATING CONSULTANT
7223 Engle Road, Suite 215
Fort Wayne, IN 46804
(260) 489-8444 Fax (260) 489-5994



CIVIL ENGINEERING
300 Spruce Street, Suite 200
Columbus, OH 43215
(614) 280 8999 Fax (614) 280-8881



MEP ENGINEERING
6130 Wilcox Road
Dublin, Ohio 43016
(614) 766-4896 Fax (614) 766-2354

BID / PERMIT SET 08/14/2025



JAY W. BOONE, LIC. #10740
EXP. DATE: 12/31/2025

COMMUNITY INFORMATION table with columns: COMMUNITY NAME, HUD ID CODE, COMMUNITY ADDRESS, TELEPHONE, TYPE OF HOUSING, APARTMENT STYLE.

SITE INFORMATION table with columns: PARCELS, NO. OF PARCELS, PARCEL NO., TOTAL ACREAGE.

SITE INFORMATION table with columns: STREET NAME & OWNERSHIP, NO. OF PLAYGROUND AREA(S), STREET NAME & OWNERSHIP.

BUILDING INFORMATION table with columns: RESIDENTIAL BUILDINGS, NON-RESIDENTIAL, FOUNDATION TYPE, STRUCTURAL TYPE, ROOF TYPE, EXTERIOR TYPE.

UNIT INFORMATION table with columns: TOTAL NO. OF UNITS, TOTAL NUMBER OF UNIT TYPE(S), TWO-BEDROOM, THREE-BEDROOM, FOUR-BEDROOM WITH GARAGE.

PARKING INFORMATION table with columns: TOTAL PARKING SPACES, TOTAL RESIDENTIAL GARAGE PARKING, NO. OF H.C. PARKING SPACES, TYPICAL PARKING SPACES.

DENSITY INFORMATION table with columns: UNIT DENSITY (UNIT / ACRE), BEDROOM DENSITY (BEDROOM / ACRE), PARKING DENSITY (PARKING / UNIT), H.C. PARKING DENSITY (H.C. PARKING / H.C. UNIT).

BUILDING INFORMATION table with columns: BLDG TYPE, NUMBER OF UNITS PER BUILDING, SITE PLAN BUILDING NO., BUILDING COUNT, UNIT COMPOSITIONS (2-BD, 2-BD SENSORY, 2-BD ANSI TYPE A, 3-BD, 3-BD SEMI-AMBULATORY, 3-BD SENSORY, 3-BD W/ GARAGE, 3-BD SEMI-AMBULATORY, 4-BD W/ GARAGE, 4-BD SEMI-AMBULATORY), AREA: GSF TO EXTERIOR FACE OF EXTERIOR WALL, AREA: GSF TO EXTERIOR FACE OF EXTERIOR SHEATHING.

UNIT INFORMATION table with columns: UNIT TYPE, UNIT DESCRIPTION, UNIT DESIGNATION, TOTAL NO. OF UNITS, LIVING SPACE PER UNIT AVERAGE (GSF), TOTAL LIVING SPACE - AVERAGE (GSF), HOT WATER HEATER, FURNACE TYPE, STOVE TYPE, MASTER METERED G/E/NONE.

BUILDING ADDRESS table with columns: BUILDING NO., BUILDING TYPE, UNIT TYPE, ADDRESS.

BUILDING ADDRESS table with columns: BUILDING NO., BUILDING TYPE, UNIT TYPE, ADDRESS.

BUILDING ADDRESS table with columns: BUILDING NO., BUILDING TYPE, UNIT TYPE, ADDRESS.

BUILDING ADDRESS table with columns: BUILDING NO., BUILDING TYPE, UNIT TYPE, ADDRESS.

Change Description table with columns: #, DATE, CHANGE DESCRIPTION.

THE MEADOWS RAD RENOVATIONS logo and contact information for Columbus Metropolitan Housing Authority.

Moody Nolan logo and contact information for the architect.

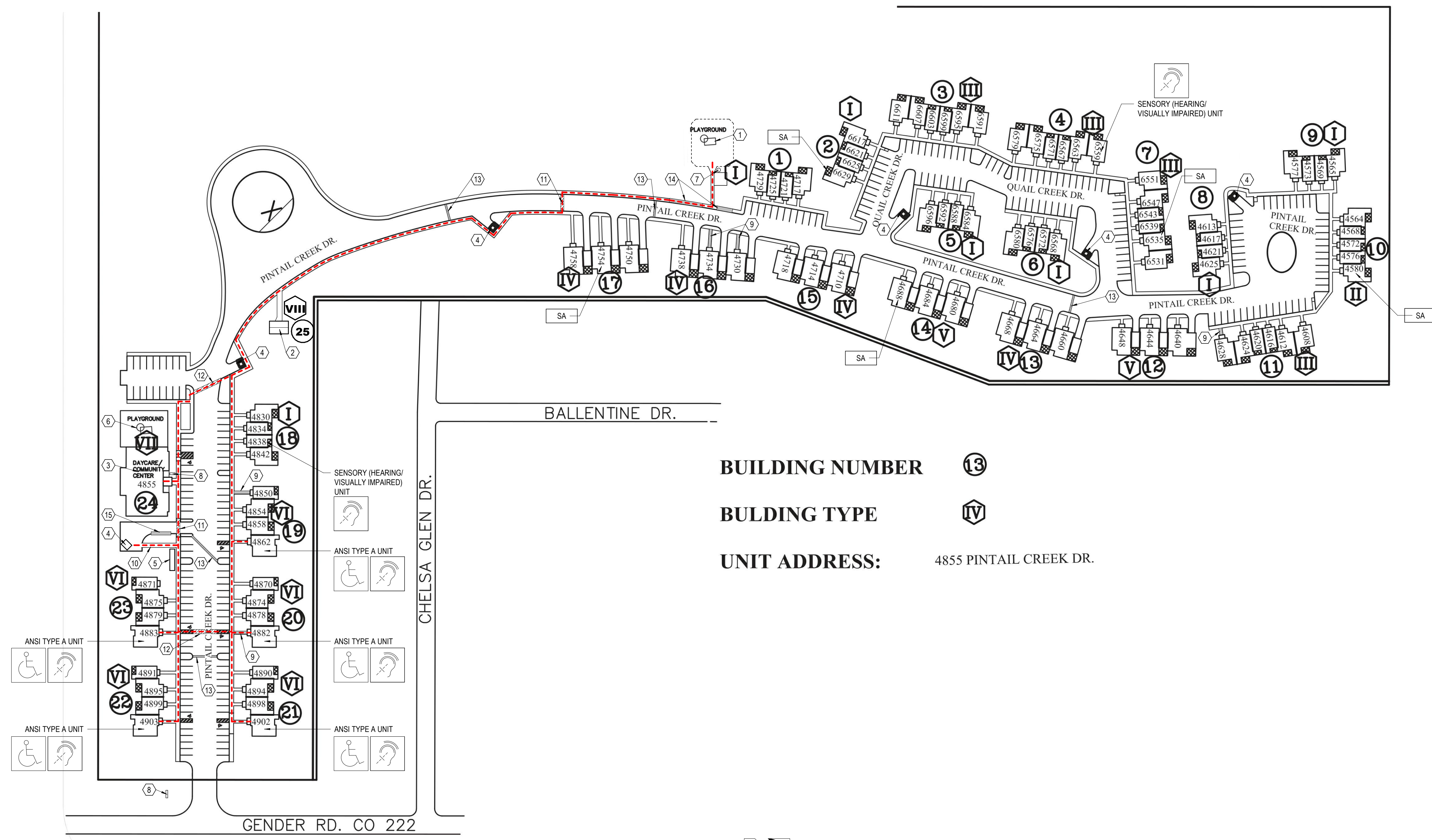
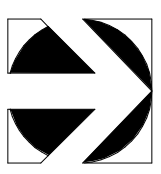
BUILDING INFORMATION section header.

Professional seal for Jay W. Boone, Registered Architect, State of Ohio, License #10740, and drawing title G002.



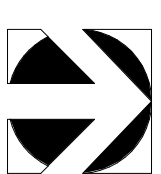
NOTE: EXISTING LANDSCAPE PLAN IS SHOWN FOR REFERENCE ONLY. THE PROPOSED WORK DOES NOT ADD OR DELETE ANY LANDSCAPE OR LANDSCAPE ELEMENTS. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.

2 PLAN LANDSCAPE PLAN
N.T.S.



BUILDING NUMBER 13
BUILDING TYPE IV
UNIT ADDRESS: 4855 PINTAIL CREEK DR.

1 PLAN SITE PLAN
N.T.S.



GENERAL NOTES - SITE PLAN

- A. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- B. FIELD VERIFY EXISTING AND PROPOSED GRADE ELEVATIONS BEFORE PROCEEDING WITH WORK.
- C. EXISTING TREES NOT SHOWN ON SITE PLAN ARE TO BE MAINTAINED.
- D. ALL DEFECTIVE CONCRETE WALKS, SIDEWALKS, AND CURBS AT SITE SHALL BE REPLACED WHERE NOTED ON SITE PLAN. CONCRETE IN THE RIGHT-OF-WAY SHALL BE REPLACED WHERE NOTED. CONCRETE IN THE RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH CITY OF COLUMBUS SPECIFICATIONS. CONTACT THE TRANSPORTATION DIVISION, CITY OF COLUMBUS (614-645-8378) FOR INSPECTION.
- E. THE METHODS OF CONSTRUCTION SHALL CONFORM TO THE CITY OF COLUMBUS CONSTRUCTION AND MATERIALS SPECIFICATIONS AND THE CITY OF COLUMBUS RULES AND REGULATIONS FOR MAKING OPENINGS IN THE PUBLIC WAY.
- F. ALL MAINTENANCE OF TRAFFIC IN ASSOCIATION WITH THIS PROJECT SHALL BE IN CONFORMANCE WITH THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, AND THAT APPROPRIATE PERMITS SHALL BE OBTAINED FOR ANY LANE CLOSURES OR SIDEWALK CLOSURES.
- G. RESEED ALL FRONT YARDS, SIDE YARDS FACING STREETS, AND ALL GRASS AREAS DISRUPTED BY ANY AND ALL CONSTRUCTION.
- H. ALL DISTURBED EXISTING LANDSCAPE AREAS SHOULD BE RE-SEEDING WITH NATIVE GROUNDCOVER PLANTS AND MULCH.
- I. MILL/OVERLAY ASPHALT DRIVE AND PARKING AREAS AND RESTRIPE THE PARKING STALLS. SEAL COAT DRIVEWAYS TO RESIDENTIAL GARAGES.
- J. CONNECT DOWNSPOUTS AT THE FRONT OF THE RESIDENTIAL BUILDINGS TO A NEW UNDERGROUND DRAINAGE SYSTEM DRAINING THE UNDERGROUND SYSTEM TO CURB BY GOING UNDER THROUGH SIDEWALKS WITH NEW SPLASH BLOCKS AT ALL OTHER LOCATIONS.
- K. ANY NEW EXTERIOR SITE BUILDING SIGNAGE WILL BE EASY TO READ WITH HIGH CONTRAST LETTERS, NUMBERS AND BACKGROUND.

CODED NOTES - SITE PLAN

- 1. EXISTING PLAY AREA TO BE REVISED. REMOVE EXISTING FENCING & MULCH AT PLAY AREA. EXPAND PLAY AREA TO ACCOMMODATE NEW EQUIPMENT, ONE ADDITIONAL PLAYGROUND EQUIPMENT SET, AND POURED PLAY SURFACE AREA.
- 2. EXISTING MAINTENANCE BUILDING
- 3. EXISTING COMMUNITY CENTER
- 4. EXISTING DUMPSTER, TYP.
- 5. EXISTING MAIL KIOSK LOCATION TO REMAIN (66 POST AND 12 PARCEL BOXES). PATCH AND REPAIR ANY DAMAGE TO CONCRETE SIDEWALK AS REQUIRED TO MAINTAIN PROPER ACCESSIBILITY CLEARANCES.
- 6. EXISTING PLAYGROUND AT EARLY LEARNING CENTER NOT IN CONTRACT.
- 7. NEW TRASH RECEPTACLE AT PLAY AREA. RECEPTACLE TO MATCH ADJACENT BENCH SEATING. VERIFY FINAL LOCATION WITH OWNER. SEE SPECS.
- 8. EXISTING SIGNAGE TO REMAIN.
- 9. REPAIR CONCRETE SIDEWALK APPROACH TO FRONT DOOR AT UNITS #4428, 4730, 4734, 4850, 4882.
- 10. NEW CONCRETE WALK TO DUMPSTER. MAINTAIN PROPER ACCESSIBILITY CLEARANCES AS REQUIRED.
- 11. NEW CONCRETE SIDEWALK, RAMP AND APPROACH CROSSOVER STRIPES ON ACCESSIBLE ROUTE. REPLACED SIDEWALK ALONG ACCESSIBLE ROUTE TO BE MIN. 5' WIDE. ADD CURB BARRIERS ALONG ACCESSIBLE ROUTE AS SHOWN ON CIVIL DRAWINGS.
- 12. NEW CROSSOVER STRIPING ON ACCESSIBLE ROUTE.
- 13. REPAIR AND PAINT EXISTING SPEED BUMPS.
- 14. REPLACE CONCRETE SIDEWALK (6 PANELS).
- 15. REPLACE APPROXIMATELY 25 FEET OF CONCRETE CURB. FIELD VERIFY EXACT EXTENTS.

SITE PLAN LEGEND

- CONCRETE SIDEWALK OR CURB - SEE CODED NOTES FOR ADDITIONAL INFORMATION
- NEW CROSSOVER STRIPES ON ACCESSIBLE ROUTE
- EXISTING SPEED BUMP TO BE REPAIRED AND PAINTED
- ANSI TYPE A UNIT (5 TOTAL) - SEE BUILDING TYPE VI OVERALL FLOOR PLANS AND ENLARGED UNIT PLANS FOR ADDITIONAL INFORMATION. ANSI TYPE A UNITS TO ALSO PROVIDE SENSORY UNIT FEATURES.
- SENSORY (HEARING / VISUALLY IMPAIRED) UNIT (2 TOTAL) - SEE BUILDING TYPES I AND II OVERALL FLOOR PLANS AND ENLARGED UNIT PLANS FOR ADDITIONAL INFORMATION. ANSI TYPE A UNITS TO ALSO PROVIDE SENSORY UNIT FEATURES.
- SA - SEMI-AMBULATORY (SA) UNIT (5 TOTAL) - SEE BUILDING TYPES I TO V OVERALL FLOOR PLANS AND ENLARGED UNIT PLANS FOR ADDITIONAL INFORMATION.
- SITE ACCESSIBLE ROUTE
- PERIMETER FENCING TO BE REMOVED AT CHILDREN'S PLAY AREA

#	DATE	CHANGE DESCRIPTION

THE MEADOWS RAD RENOVATIONS
COLUMBUS METROPOLITAN HOUSING AUTHORITY
4855 PINTAIL CREEK DRIVE
COLUMBUS, OH 43110
FOR COLUMBUS METROPOLITAN HOUSING AUTHORITY

300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881

Moody Nolan CERTIFICATE NO. FIRM 00197475

SITE INFORMATION

08/14/2025
DRAWN BY: XXXX CHECKED BY: XXXX
18076.04
G003
BID / PERMIT SET

JAY W. BOONE, LIC. #10740
EXP. DATE: 12/31/2025

INSTRUCTIONS

- 1. The architectural entity with whom the owner and developer contracted with to provide architectural services will complete the form and obtain all required signatures for the certifications.
- 2. The project applicant will submit the completed and signed form with the proposal application.
- 3. If funded, the project applicant will complete and submit the form again at final application with all changes from what was submitted at proposal application clearly identified.
- 4. A copy of the final, completed form must also be included in the 80% percent plan sets, copied onto the page(s) following the cover sheet, submitted with the final application.

All communications related to the architectural review, including submission of architectural plans, must be sent to: **ad@ohiohousing.org**

- Helpful links:
• 2021 Design and Architectural Standards
• 2021 Exception Request Form
• 2021 Building Information Form
• 2021 Multifamily Information Packet
• 2021 Multifamily Design and Construction Standards

SUBMISSION REQUIREMENTS

- Preliminary Architectural Submission
At minimum, the proposal application architectural submission must include all of the following:
• This form, completed and signed
• Note: This form takes the place of the ODF&A and Construction Certification tab that were previously part of the AHFA/GFA.

NAME OF PROPOSED DEVELOPMENT: The Meadows HUD Renovation
ADDRESS OF PROPOSED DEVELOPMENT: 880 Spruce Street, Columbus, OH 43215

- Preliminary drawings, described above, shall be submitted in all of the following formats:
• Electronic format (pdf)
• Single PDF file for all drawings submitted above
• Separate, single PDF for specifications.

- Final Architectural Submission
Final applications must include 80 percent complete permit sets, including final plans for all trades. Unless approved by OHFA, the plans must include the project name as submitted with the proposal application and OHFA tracking number. The submission must show conformity to the preliminary submission, including the information included within this form. Substantive changes of any items that would affect competitive pricing will not be approved.

FORM SECTIONS
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C. DEVELOPMENT DETAILS 4
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A. DEVELOPMENT INFORMATION
a. Development Name: The Meadows HUD Renovation
b. OHFA Tracking Number (final application only):
c. Address: 880 Spruce Street, Columbus, OH 43215
d. City: Columbus
e. Zip Code: 43215
f. Competitive Pool: Preserved Affordability HUD Subsidy Preservation
g. Population Served: Families
h. Construction Type: Rehabilitation
i. Wage Rate Requirements: If federal or state funds are utilized in the proposed development, select any regulations that apply to the proposed development.

B. PROJECT CONTACTS
a. Architect of Record
b. Developer
c. Owner

C. DEVELOPMENT DETAILS

a. Number of sites: 1
b. Number of residential buildings: 1
c. Number of accessory buildings: 0
d. Date built: 2021
e. For proposals involving acquisition, rehabilitation or adaptive reuse, phase specify the year the buildings were originally constructed.

D. FLOOR AREA DETAILS

Table with 3 columns: Space, GSF, Notes. Rows include Gross Square Footage of all Buildings (13875), Total Number of Low Income Units (95), Commercial Space Condominium Areas, Market Rate Unit Area, Low Income Unit Area, and Managers Unit Area.

Table with 3 columns: Common Area (Public), Common Area (Circulation), Dedicated Program Space, Limited Common Area (Private), Support, Tenant Storage, Major Vertical Penetrations, Basement. Includes a TOTALS section at the bottom.

- The following items should not be included in any of the above square footages:
• Trash enclosures
• Concrete patios without roofs
• Stairways

E. ADAPTABILITY AND ACCESSIBILITY

All developments must be designed and constructed to comply with all local, state, or federal accessibility guidelines that apply.
a. All developments must be compliant with the accessibility requirements as outlined in the Ohio Building Code, Chapter 4301.1-1, which includes the use of ICC/ANSI A117.1-2009 for the design and construction of accessible units.
b. All developments receiving OHFA funding must meet the accessibility requirements of Section 504.

F. SUSTAINABILITY

a. Developments must meet all energy efficiency requirements as stated in the Ohio Building Code or Residential Code.
b. In addition, all multifamily developments must obtain one of the below energy efficiency or green building certifications.
c. All developments must be designed and constructed to meet the requirements of the Fair Housing Act and all units, other than the accessible units, will be designed and constructed as ANSI Type B units.

G. EXCEPTION REQUESTS

Select the items an Exception Request Form has been submitted for.
• No requests for exception were submitted for this development.

REHABILITATION OR ADAPTIVE REUSE

Items that are subject to non-OHFA funds (such as local codes or design standards, funding source, etc.) requirements that may conflict with the OHFA Design and Architectural Standards.
a. Durable Materials - Interior
b. Major Building Components
c. Common Areas

H. DESIGN-RELATED COMPETITIVE CRITERIA

Select the items below that the development is seeking competitive points for under the 2021 ODF form.
a. Interior Design
b. SO4 Units
c. Exercise and Wellness
d. Green Development

I. SCOPE OF WORK

Provide an overview of the proposed improvements to be made involving site design, building design, mechanical and electrical systems and building components including building exterior, interior, and life safety items.
THE FOLLOWING DESCRIBES THE PRELIMINARY SCOPE OF RENOVATION WORK INCLUDED AT THE MEADOWS:
INTERIOR OF RESIDENTIAL UNITS

J. UNIVERSAL DESIGN COMPONENTS

ONLY APPLICABLE TO THOSE PROJECTS SEEKING COMPETITIVE POINTS FOR UNIVERSAL DESIGN. LEAVE THIS SECTION BLANK IF DEVELOPMENT IS NOT SEEKING THESE COMPETITIVE POINTS UNDER THE 2021 QAF.
a. Yes, development will meet all universal design requirements as stated in the Ohio Building Code or Residential Code.

K. CERTIFICATION

We represent, warrant and certify that the following does and will apply to the proposed development:
The development will be designed and constructed to meet the requirements of all applicable laws, codes, program guidelines, as well as the OHFA Design and Architectural Standards and specific features applicable to the project as outlined in this form.

L. SUSTAINABILITY

For those projects seeking competitive points for Universal Design, select all of the below items that will be included in the development.
a. 1. Electrical
b. 2. Plumbing

M. EXCEPTION REQUESTS

Select the items an Exception Request Form has been submitted for.
a. No requests for exception were submitted for this development.

N. REHABILITATION OR ADAPTIVE REUSE

Items that are subject to non-OHFA funds (such as local codes or design standards, funding source, etc.) requirements that may conflict with the OHFA Design and Architectural Standards.

INCLUDED? PAGE OR NOTE ITEM

Table with 4 columns: Included?, Page or Note, Item, Description. Rows include Electrical, Bathrooms, Closets/Storage, and Kitchen items.

O. CERTIFICATION

I certify that I have reviewed the plans, specifications, and scope of work for the Development and that the Development will be constructed in accordance with any and all requirements as set forth in this form, the OHFA Design and Architectural Standards, and all other applicable laws, codes, program guidelines or policy documents.

P. COMPANY AND CONTACT INFORMATION

Company/Firm Name: Moody Nolan, Inc. Phone Number: (614) 461-4664 Email: jboone@moodynolan.com
Address: 300 Spruce Street, Suite 300, Columbus, Ohio 43215
Signature: Jay Boone

Q. CHANGE DESCRIPTION

Table with 3 columns: #, DATE, CHANGE DESCRIPTION.

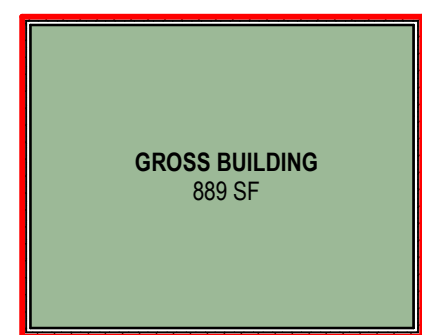
R. DEVELOPMENT INFORMATION

a. Development Name: The Meadows HUD Renovation
b. OHFA Tracking Number (final application only):
c. Address: 880 Spruce Street, Columbus, OH 43215
d. City: Columbus
e. Zip Code: 43215

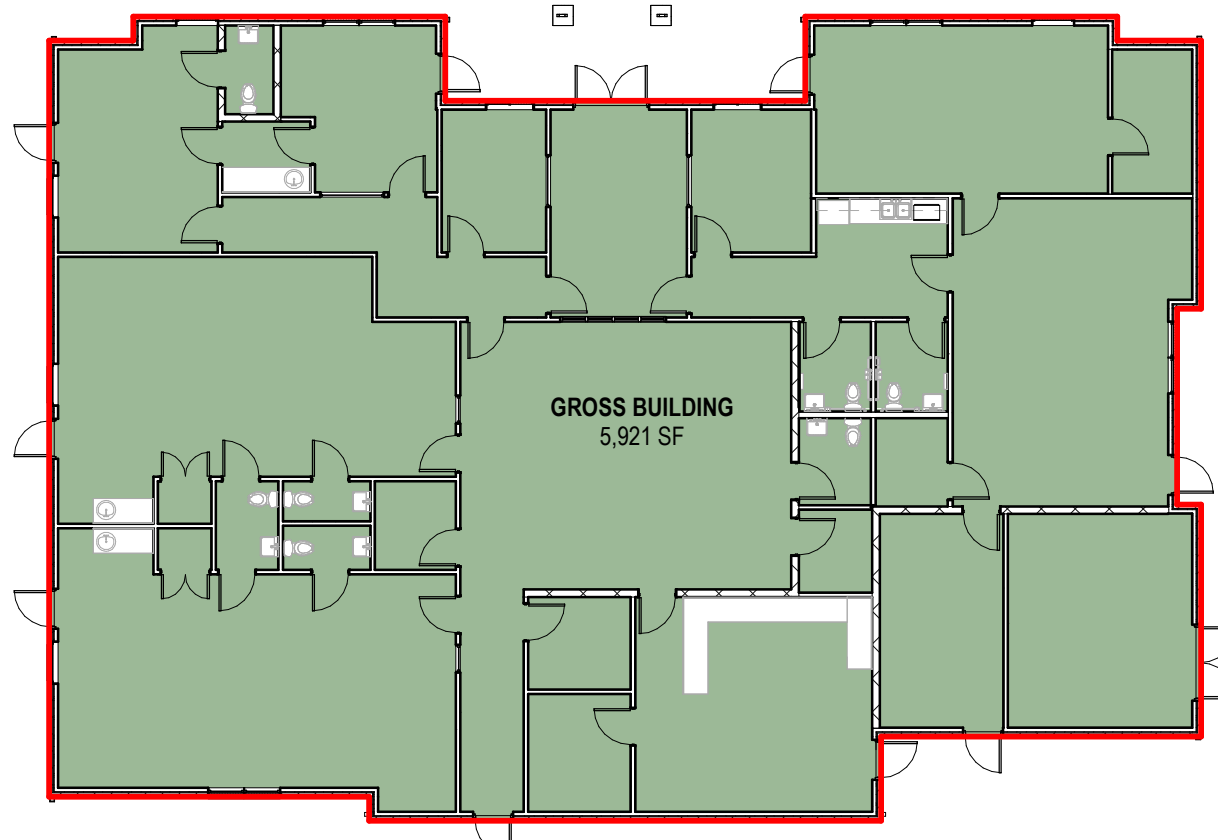
S. PROJECT CONTACTS

a. Architect of Record
b. Developer
c. Owner

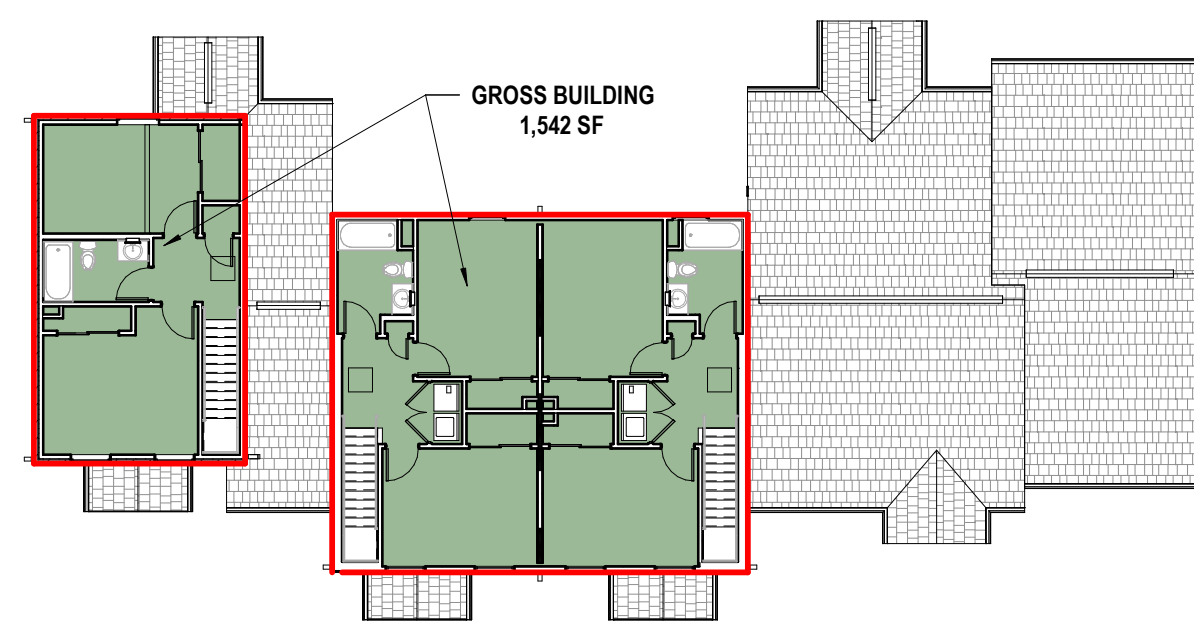
THE MEADOWS RAD RENOVATIONS
COLUMBUS METROPOLITAN HOUSING AUTHORITY
300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215
PHONE: (614) 461-4664 FAX: (614) 280-8881
Moody Nolan CERTIFICATE NO: FIRM 00197475
DESIGN & CONSTRUCTION FEATURES AGREEMENT
08/14/2025
DRAWN BY: XXX CHECKED BY: XXX
18076.04
G004
BID / PERMIT SET
JAY W BOONE REGISTERED ARCHITECT



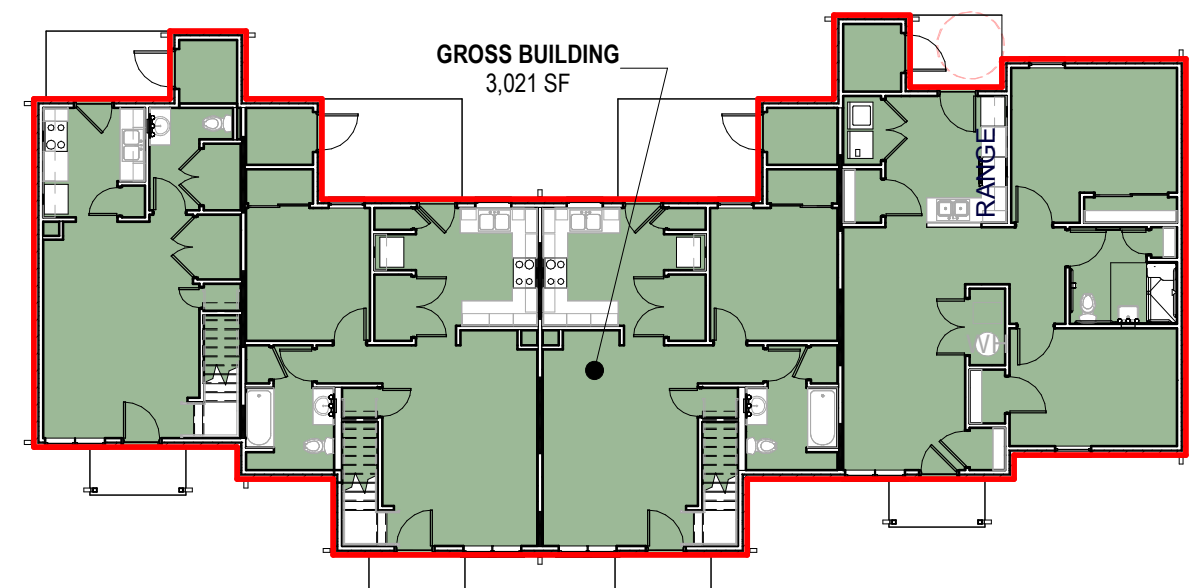
14 PLAN MAINTENANCE BUILDING - GROSS BUILDING AREA
1/16" = 1'-0"



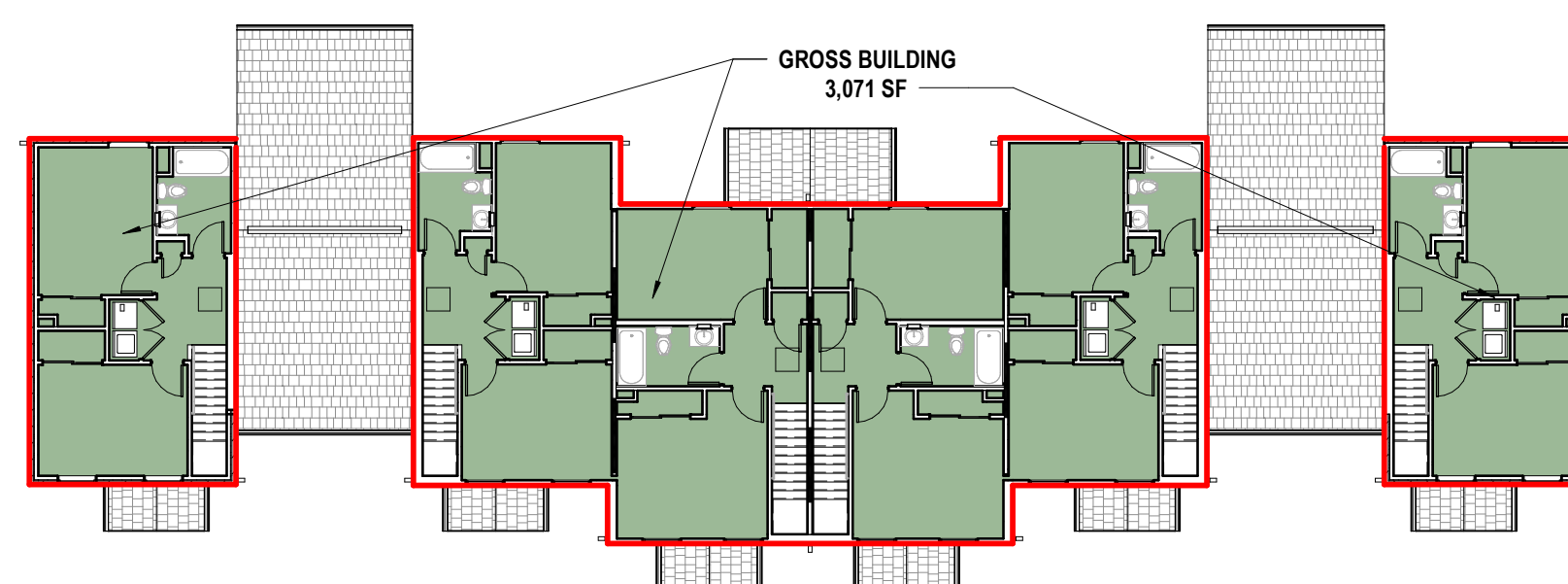
13 PLAN COMMUNITY BUILDING - GROSS BUILDING AREA
1/16" = 1'-0"



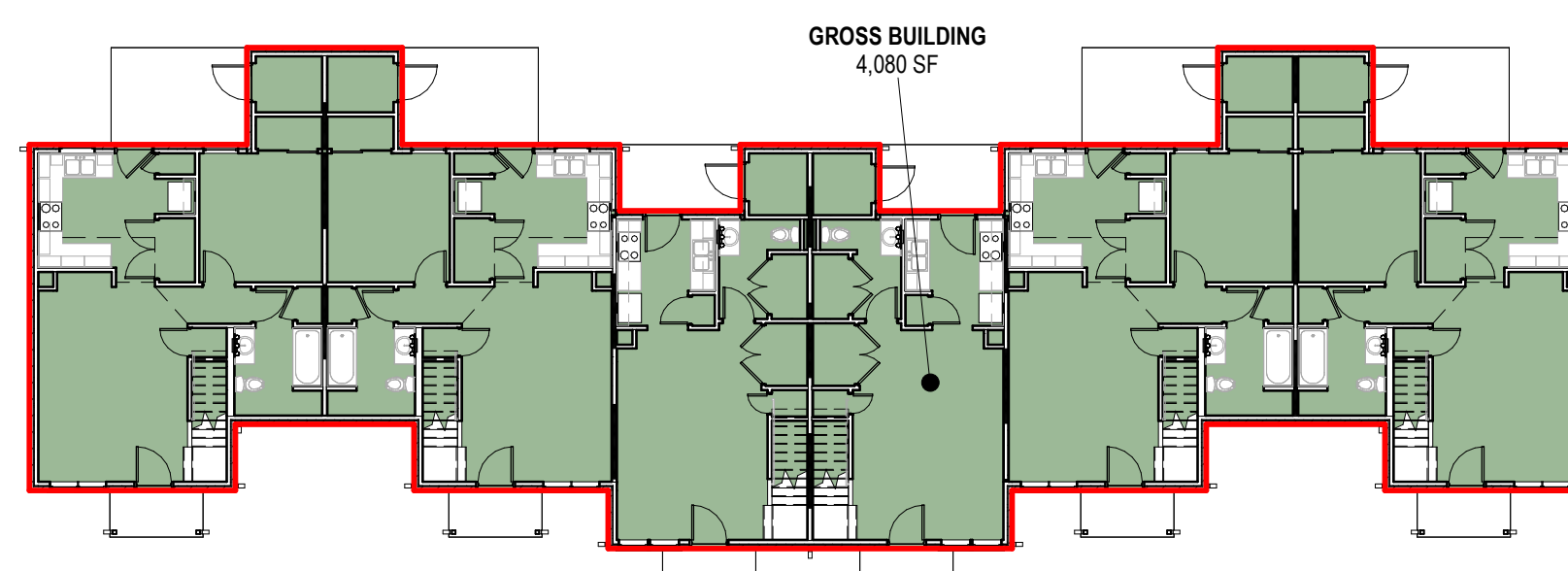
12 PLAN BUILDING TYPE VI - SECOND FLOOR GROSS BLDG AREA
1/16" = 1'-0"



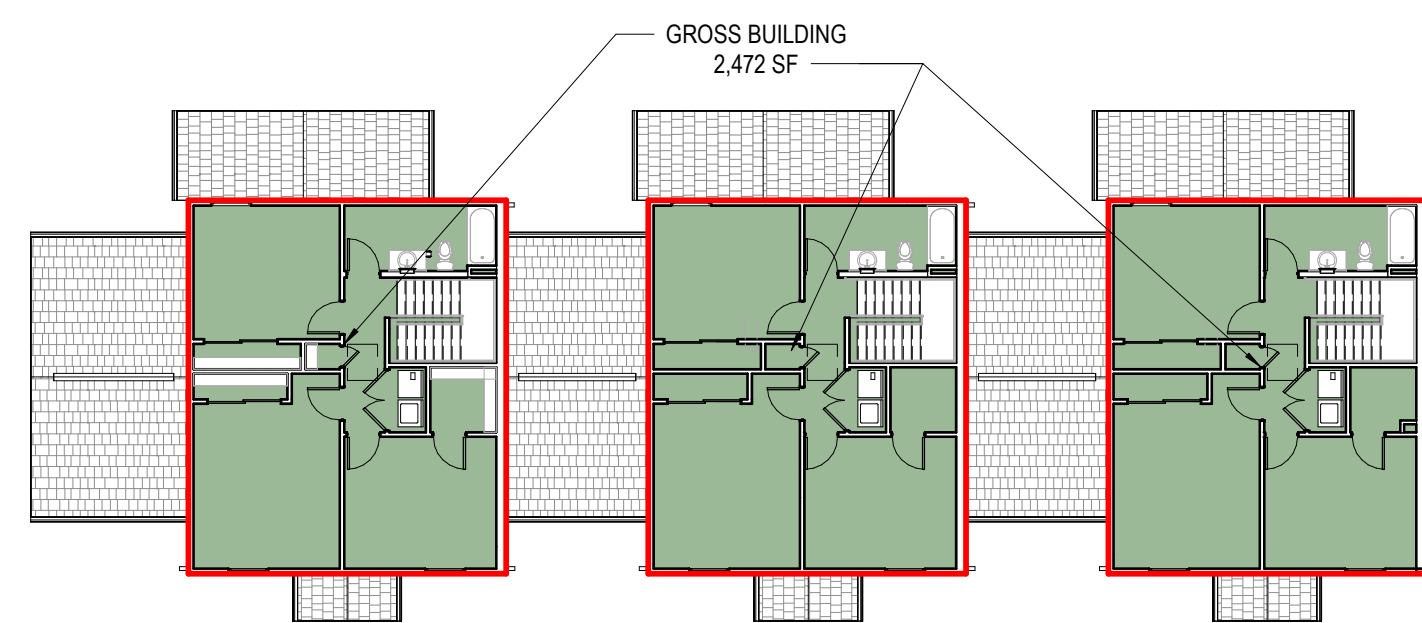
11 PLAN BUILDING TYPE VI - FIRST FLOOR GROSS BLDG AREA
1/16" = 1'-0"



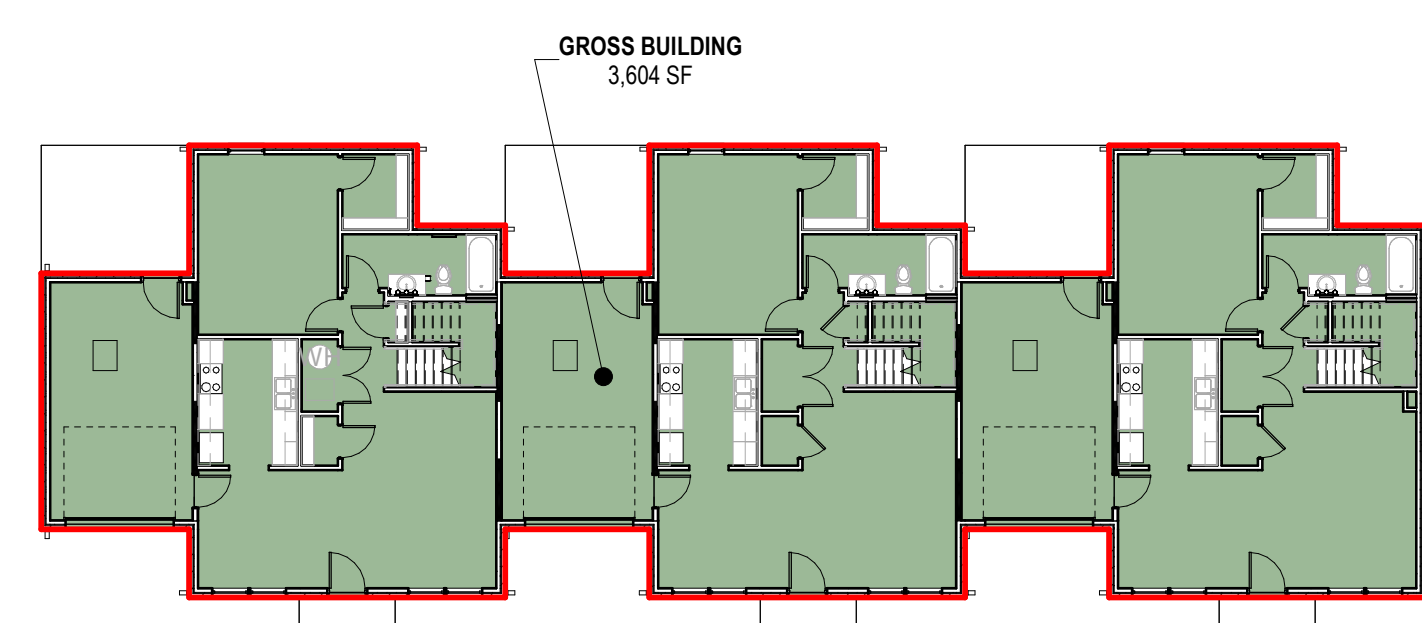
6 PLAN BUILDING TYPE III - SECOND FLOOR GROSS BLDG AREA
1/16" = 1'-0"



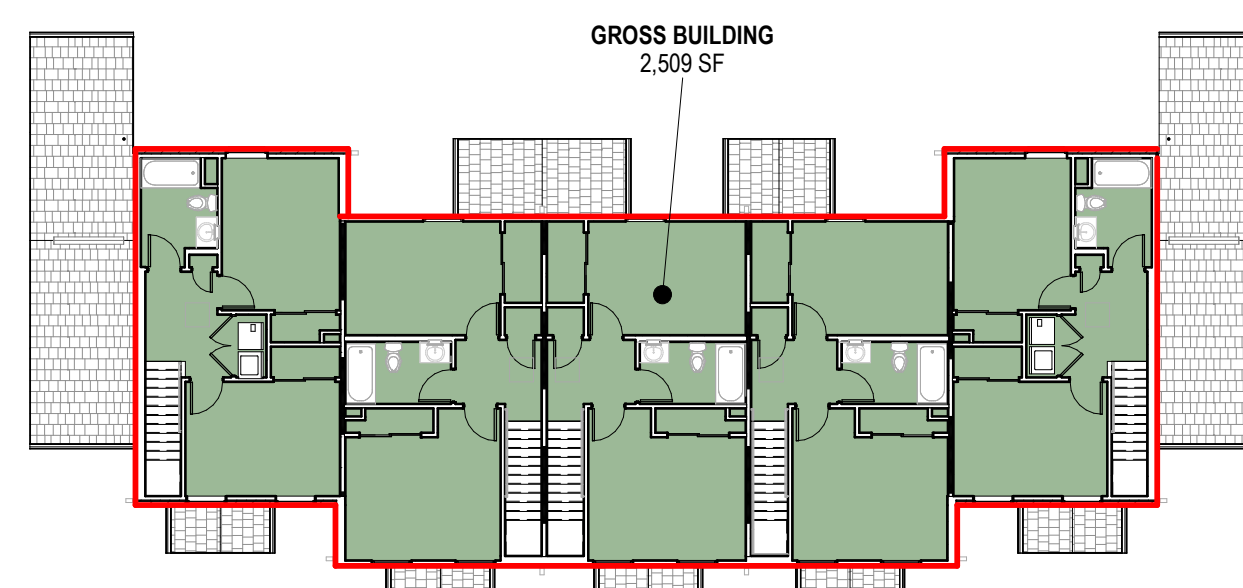
5 PLAN BUILDING TYPE III - FIRST FLOOR GROSS BLDG AREA
1/16" = 1'-0"



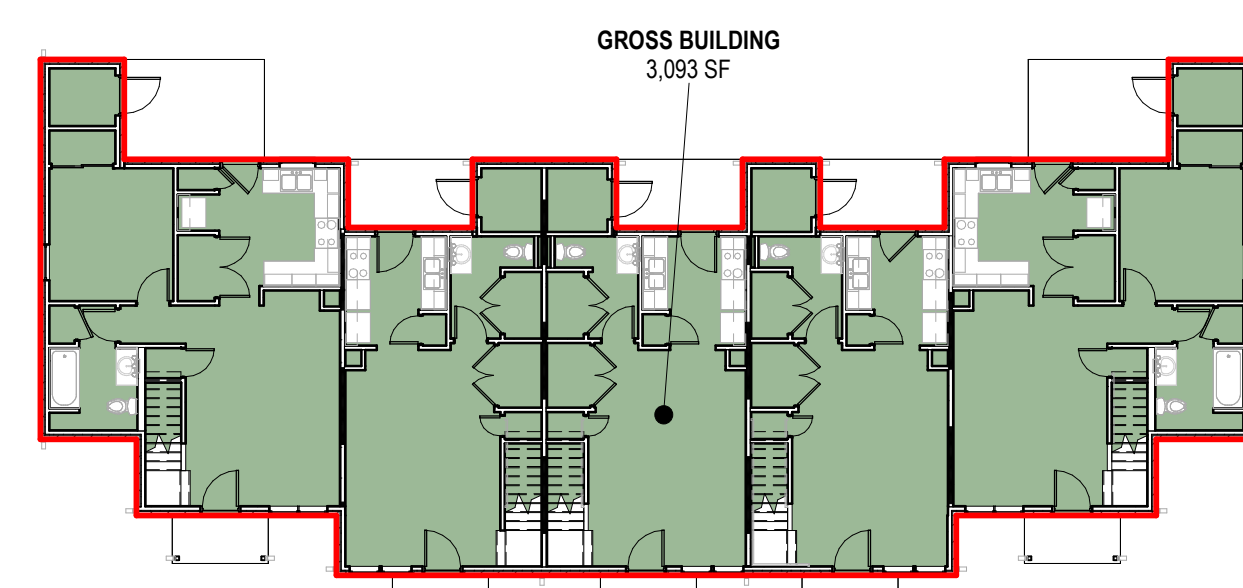
10 PLAN BUILDING TYPE V - SECOND FLOOR GROSS BLDG AREA
1/16" = 1'-0"



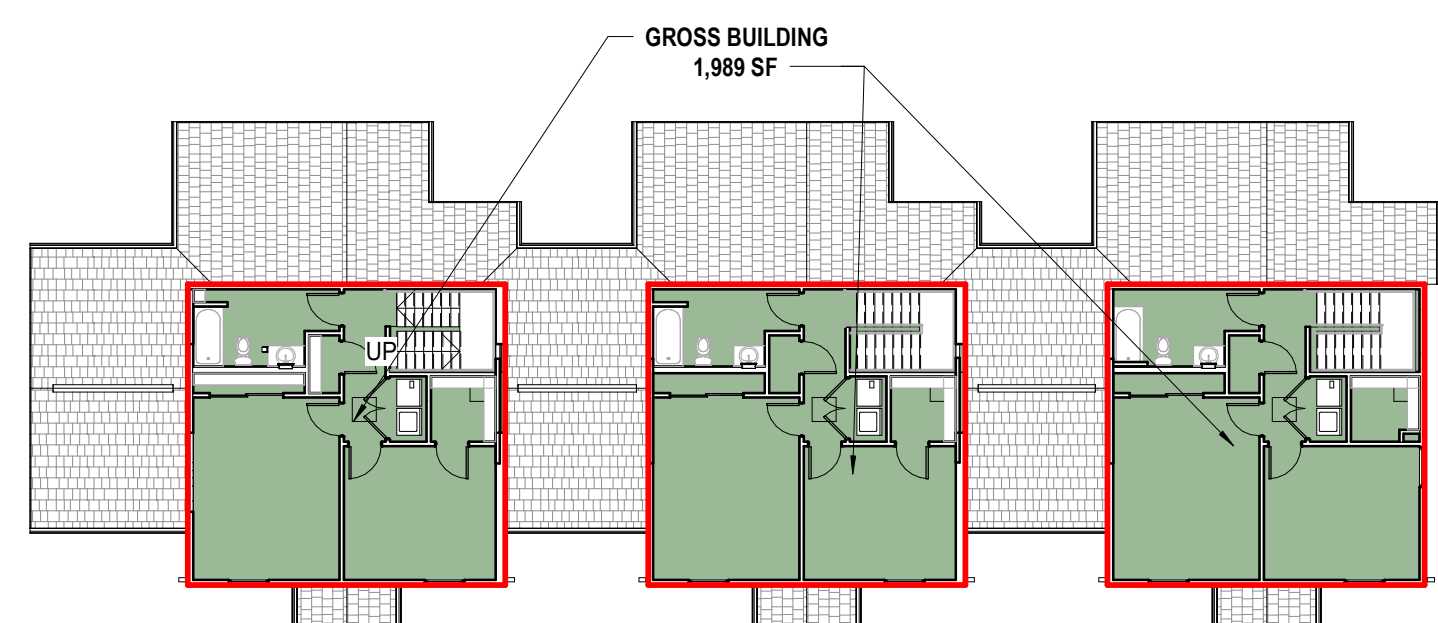
9 PLAN BUILDING TYPE V - FIRST FLOOR GROSS BLDG AREA
1/16" = 1'-0"



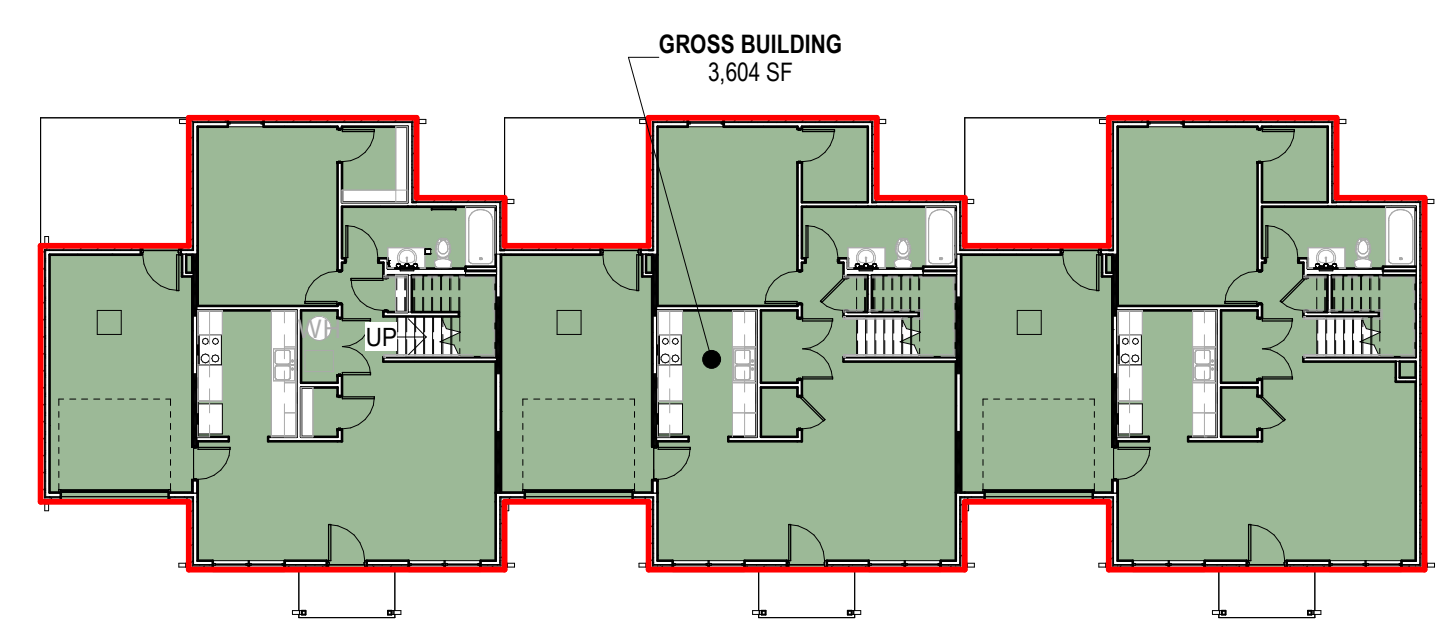
4 PLAN BUILDING TYPE II - SECOND FLOOR GROSS BLDG AREA
1/16" = 1'-0"



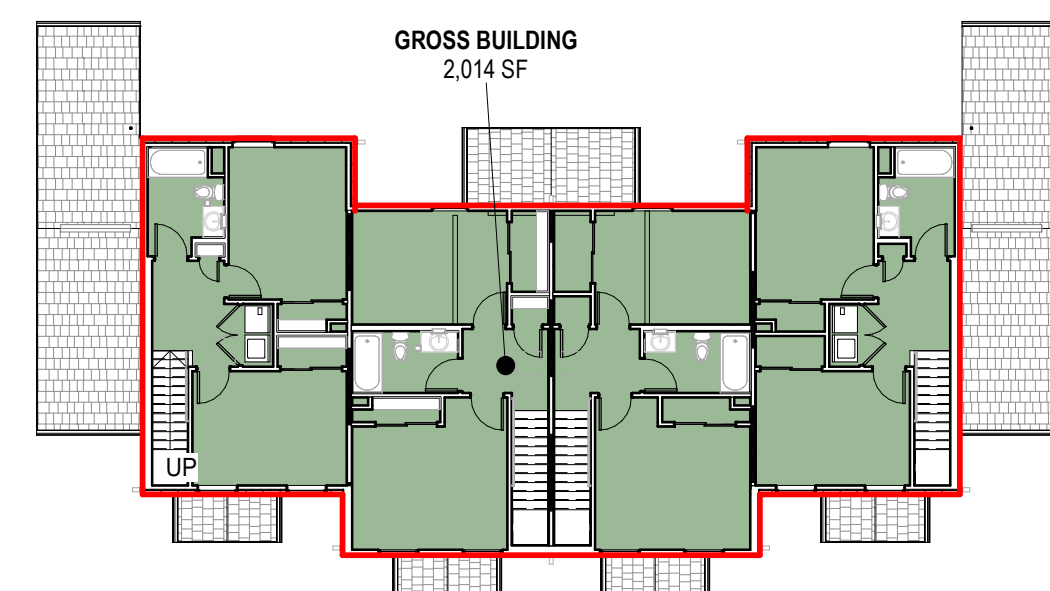
3 PLAN BUILDING TYPE II - FIRST FLOOR GROSS BLDG AREA
1/16" = 1'-0"



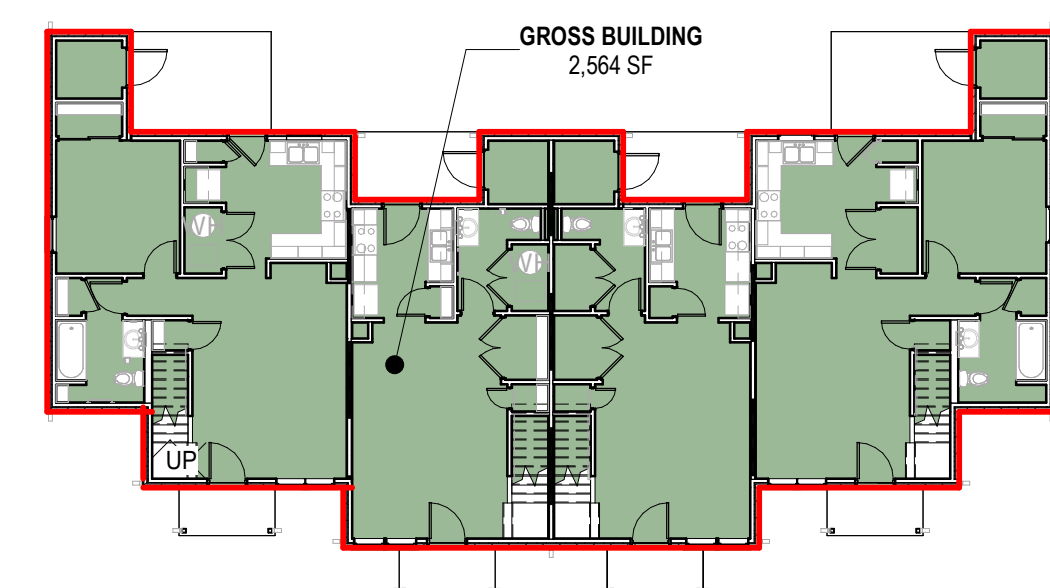
8 PLAN BUILDING TYPE IV - SECOND FLOOR GROSS BLDG AREA
1/16" = 1'-0"



7 PLAN BUILDING TYPE IV - FIRST FLOOR GROSS BLDG AREA
1/16" = 1'-0"



2 PLAN BUILDING TYPE I - SECOND FLOOR GROSS BLDG AREA
1/16" = 1'-0"



1 PLAN BUILDING TYPE I - FIRST FLOOR GROSS BLDG AREA
1/16" = 1'-0"

GENERAL NOTES - AREA PLANS

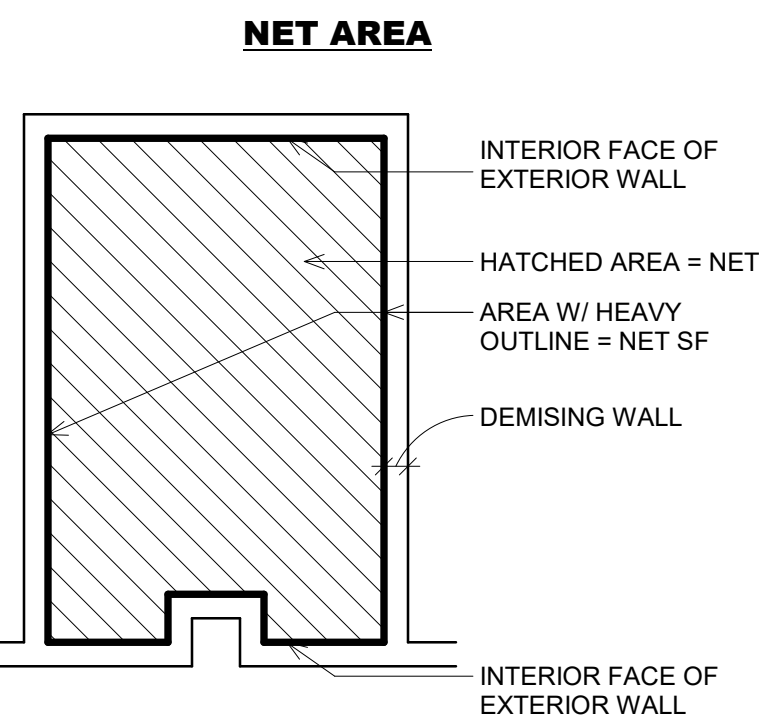
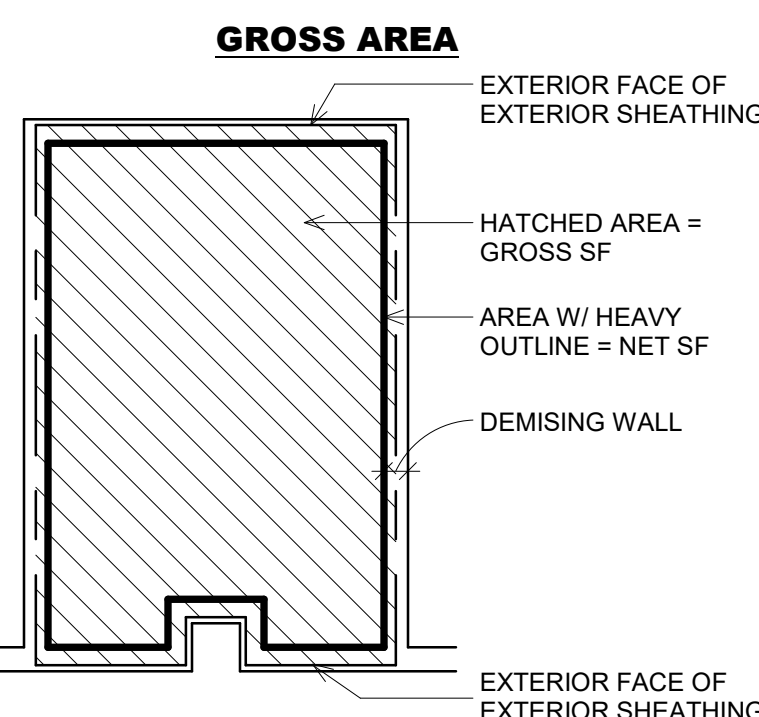
- A. REFER TO G SERIES SHEETS FOR AREA SUMMARIES BY BUILDING TYPE AND UNIT TYPE.
- B. REFER TO G SERIES SHEETS FOR EXISTING SITE PLAN AND SITE INFORMATION.

GROSS BUILDING

AREA SCHEDULE (GROSS BUILDING)

NAME	AREA	NO. OF BLDGS.	TOTAL AREA
BUILDING TYPE I			
GROSS BUILDING	2,564 SF	7	17,948 SF
GROSS BUILDING	2,014 SF	7	14,098 SF
GROSS BUILDING	4,578 SF		32,046 SF
BUILDING TYPE II			
GROSS BUILDING	3,093 SF	1	3,093 SF
GROSS BUILDING	2,509 SF	1	2,509 SF
GROSS BUILDING	5,603 SF		5,603 SF
BUILDING TYPE III			
GROSS BUILDING	4,080 SF	4	16,320 SF
GROSS BUILDING	2,019 SF	4	8,076 SF
GROSS BUILDING	526 SF	4	2,104 SF
GROSS BUILDING	526 SF	4	2,104 SF
GROSS BUILDING	7,151 SF		28,603 SF
BUILDING TYPE IV			
GROSS BUILDING	3,604 SF	4	14,416 SF
GROSS BUILDING	663 SF	4	2,652 SF
GROSS BUILDING	663 SF	4	2,652 SF
GROSS BUILDING	5,933 SF	4	23,732 SF
BUILDING TYPE V			
GROSS BUILDING	3,604 SF	2	7,208 SF
GROSS BUILDING	824 SF	2	1,648 SF
GROSS BUILDING	824 SF	2	1,648 SF
GROSS BUILDING	6,076 SF	2	12,152 SF
BUILDING TYPE VI			
GROSS BUILDING	3,021 SF	5	15,105 SF
GROSS BUILDING	1,032 SF	5	5,160 SF
GROSS BUILDING	510 SF	5	2,550 SF
GROSS BUILDING	4,563 SF		22,815 SF
COMMUNITY CTR			
GROSS BUILDING	5,921 SF	1	5,921 SF
GROSS BUILDING	5,921 SF		5,921 SF
MAINTENANCE BUILDING			
GROSS BUILDING	889 SF	1	889 SF
GROSS BUILDING	889 SF		889 SF
TOTAL	40,374 SF		130,401 SF

UNIT SQUARE FOOTAGE DIAGRAM



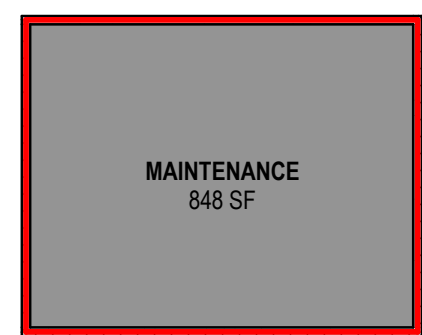
#	DATE	CHANGE DESCRIPTION

THE MEADOWS RAD RENOVATIONS
COLUMBUS METROPOLITAN HOUSING AUTHORITY
4855 PINTAL CREEK DRIVE
COLUMBUS, OH 43110
FOR COLUMBUS METROPOLITAN HOUSING AUTHORITY

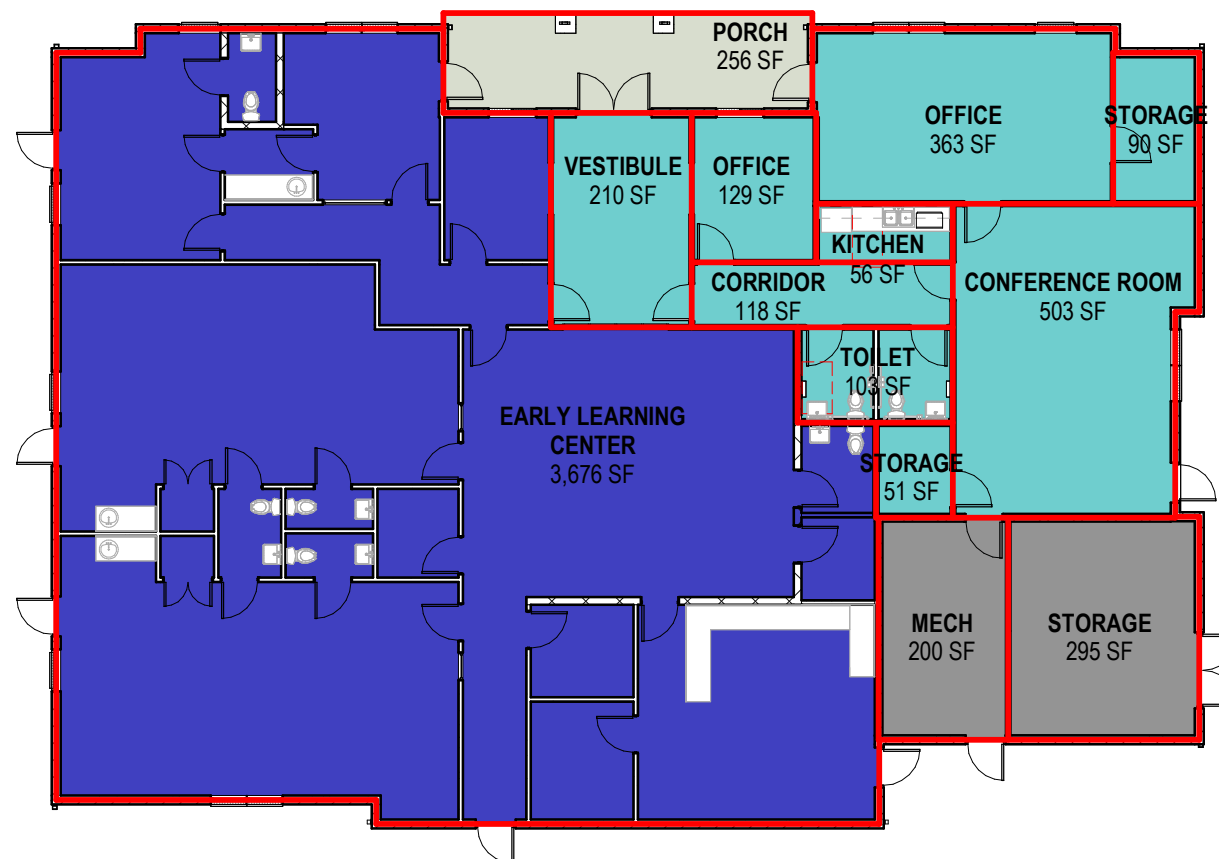
Moody Nolan
300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881
CERTIFICATE NO. FIRM 00197475

AREA PLANS - GROSS BUILDING

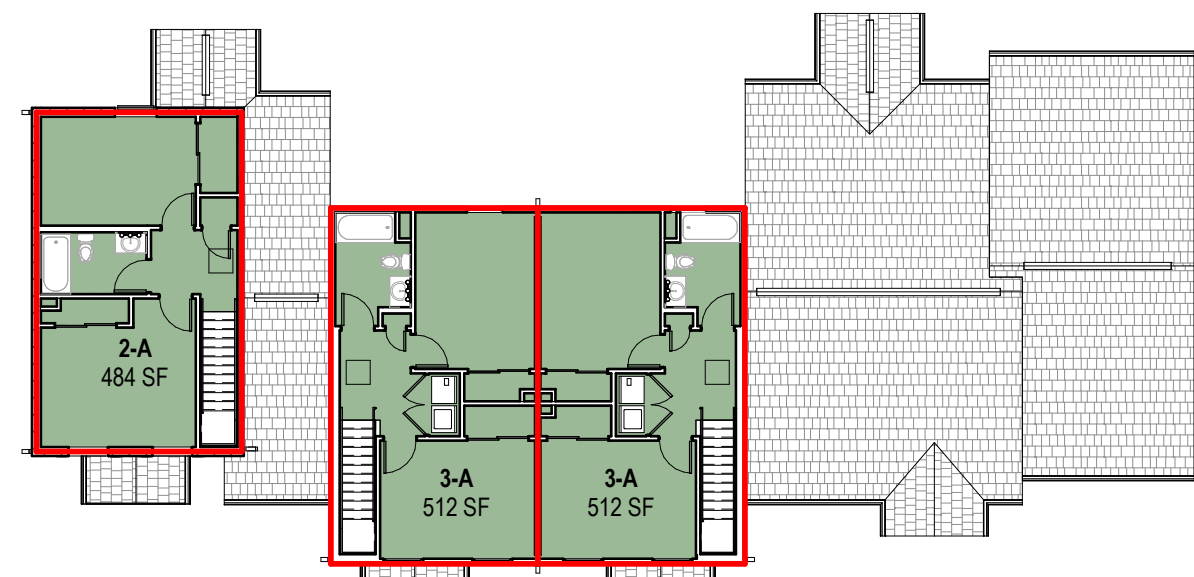
08/14/2025
DRAWN BY: XXXX CHECKED BY: XXXX
18076.04
G005
JAY W. BOONE, LIC. #10740
EXP. DATE: 12/31/2025
BID / PERMIT SET



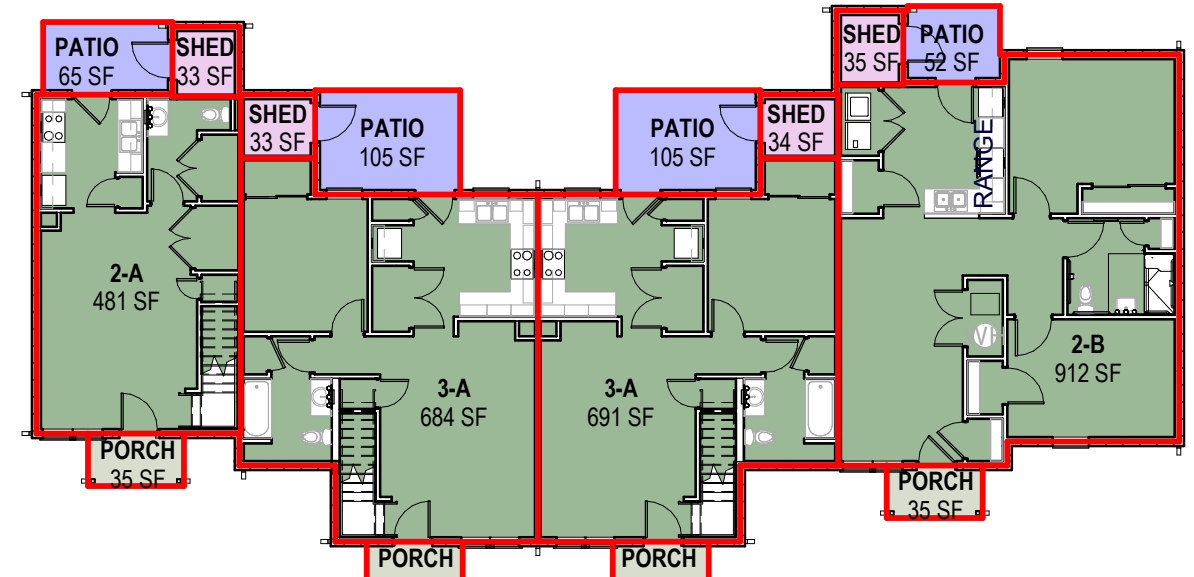
14 PLAN MAINTENANCE BUILDING - GROSS AREA
1/16" = 1'-0"



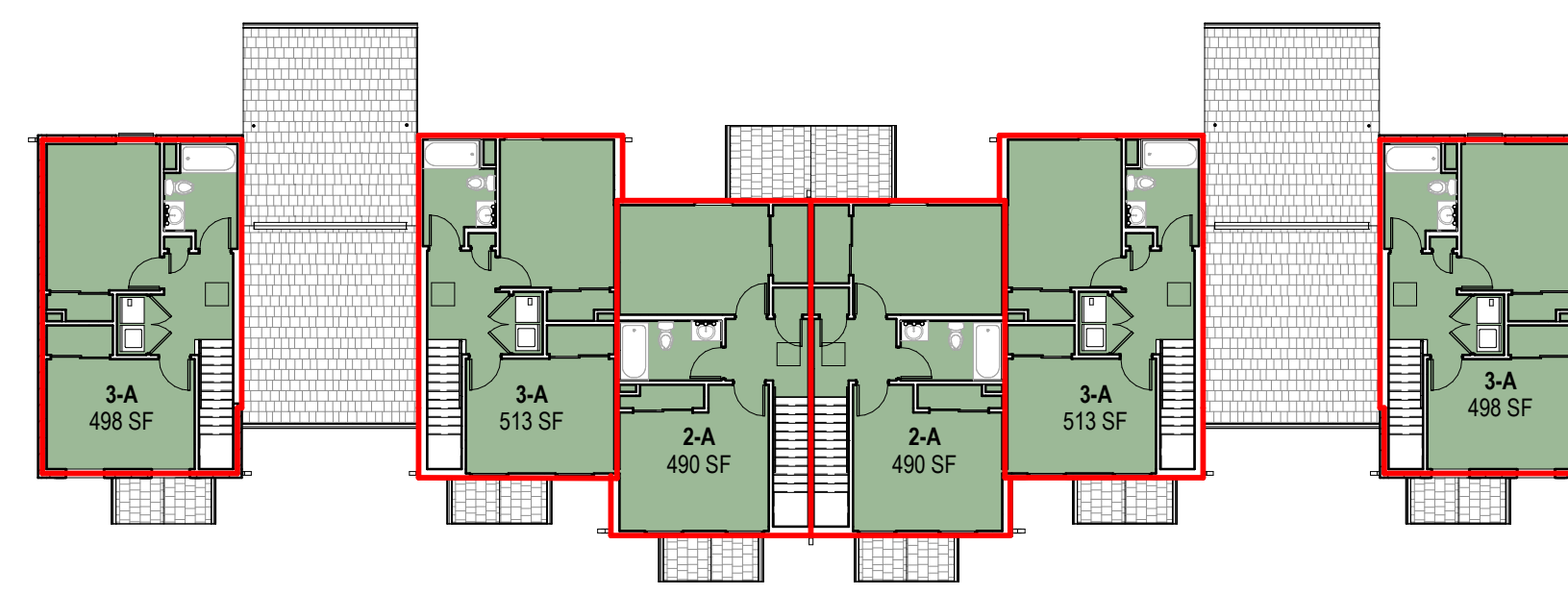
13 PLAN COMMUNITY CENTER - GROSS AREA
1/16" = 1'-0"



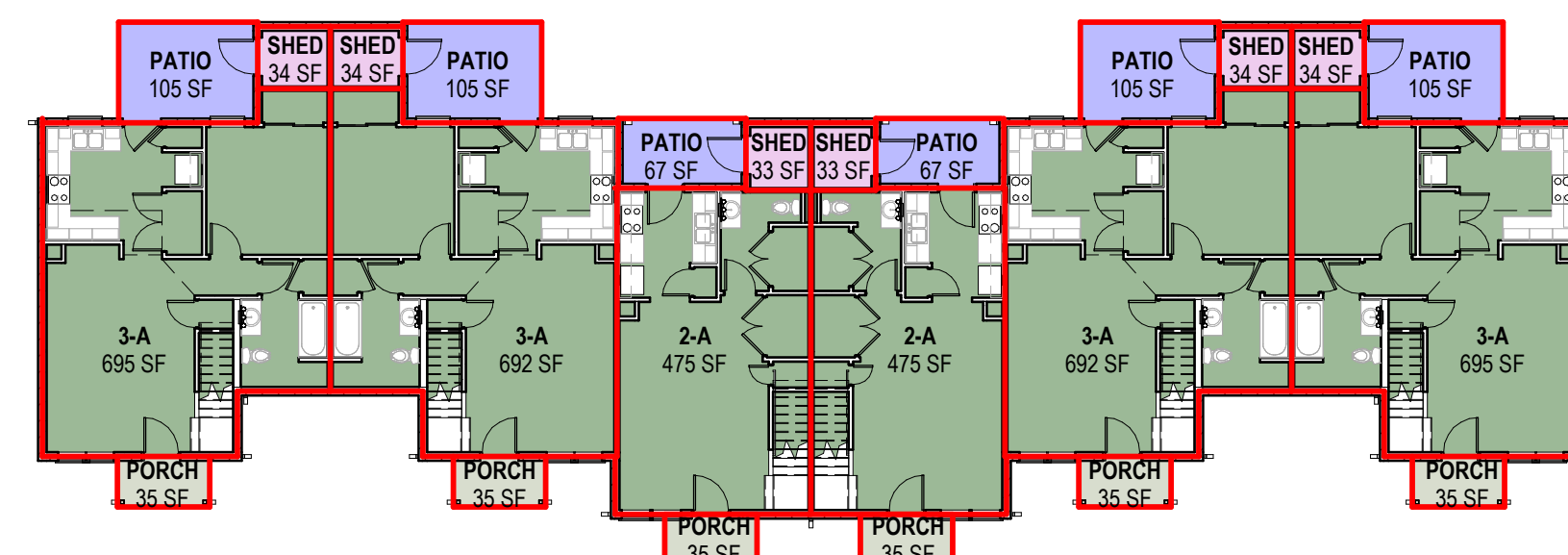
12 PLAN BUILDING TYPE VI - SECOND FLOOR - GROSS AREA
1/16" = 1'-0"



11 PLAN BUILDING TYPE VI - FIRST FLOOR - GROSS AREA
1/16" = 1'-0"

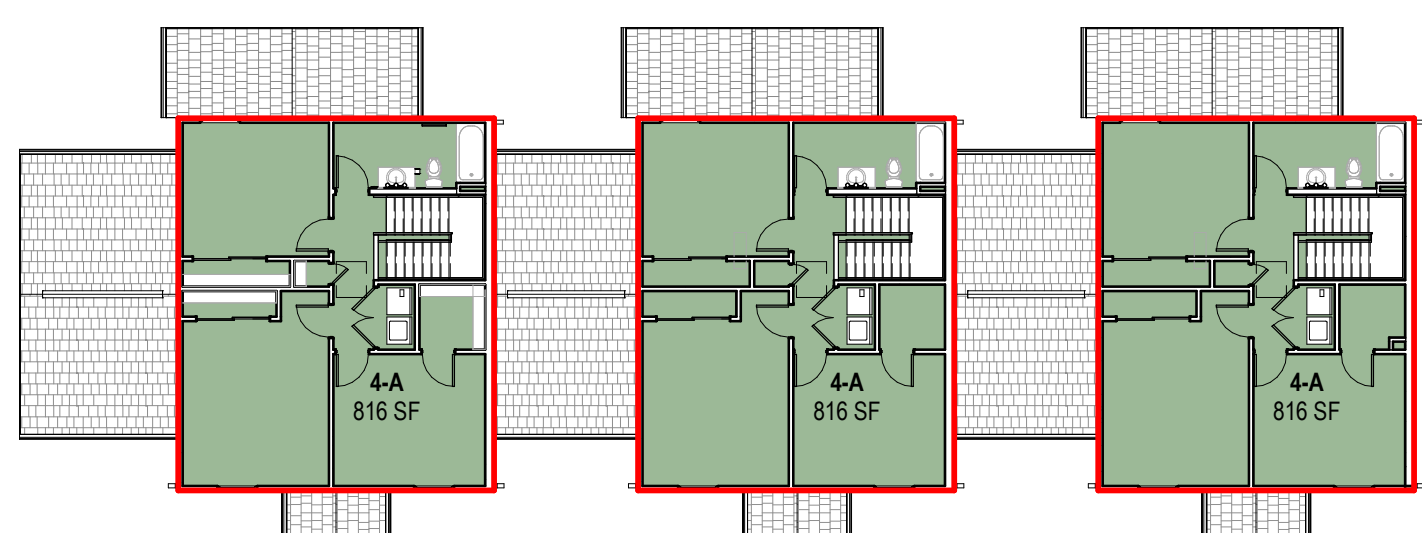


6 PLAN BUILDING TYPE III - SECOND FLOOR - GROSS AREA
1/16" = 1'-0"

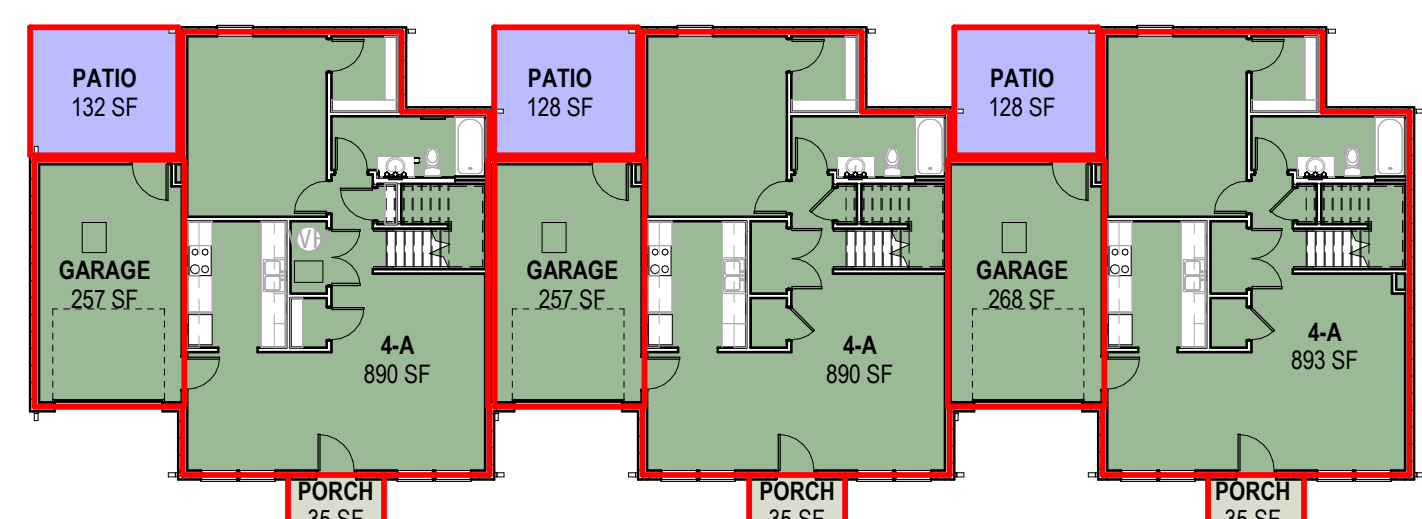


5 PLAN BUILDING TYPE III - FIRST FLOOR - GROSS AREA
1/16" = 1'-0"

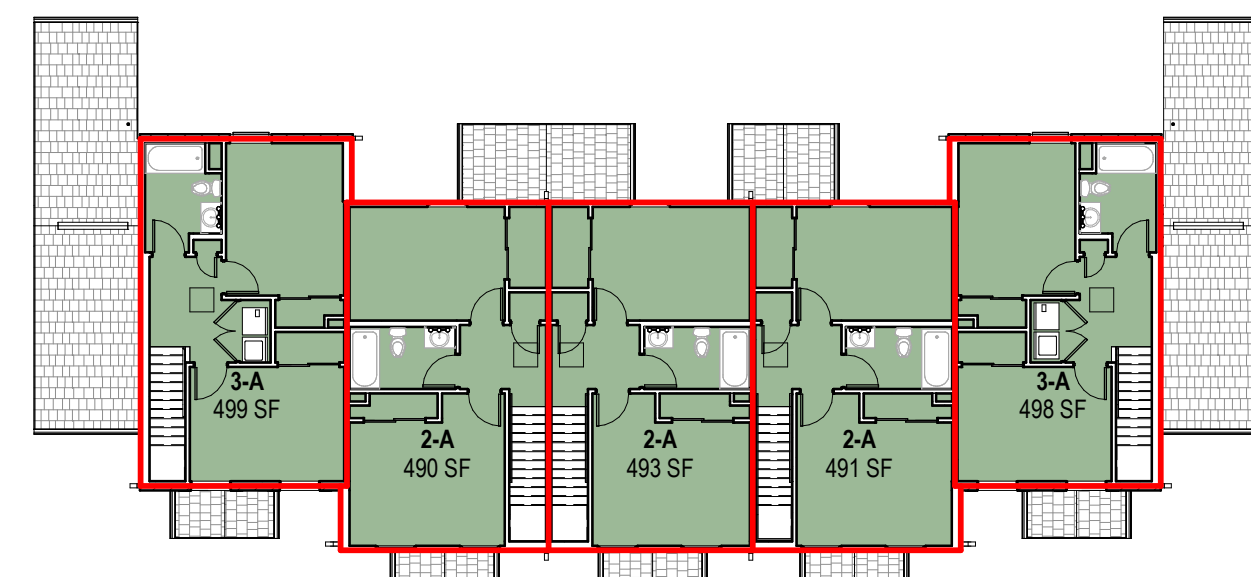
- C.A. PUBLIC
- PATIO
- PORCH
- PROGRAM SPACE
- RESIDENTIAL
- STORAGE
- SUPPORT



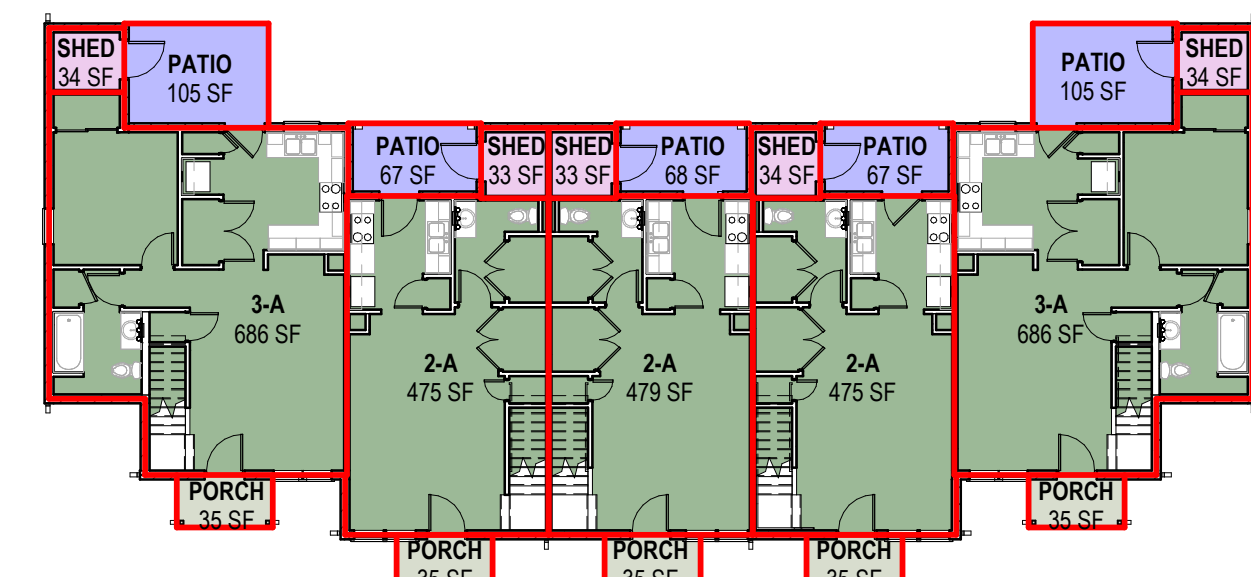
10 PLAN BUILDING TYPE V - SECOND FLOOR - GROSS AREA
1/16" = 1'-0"



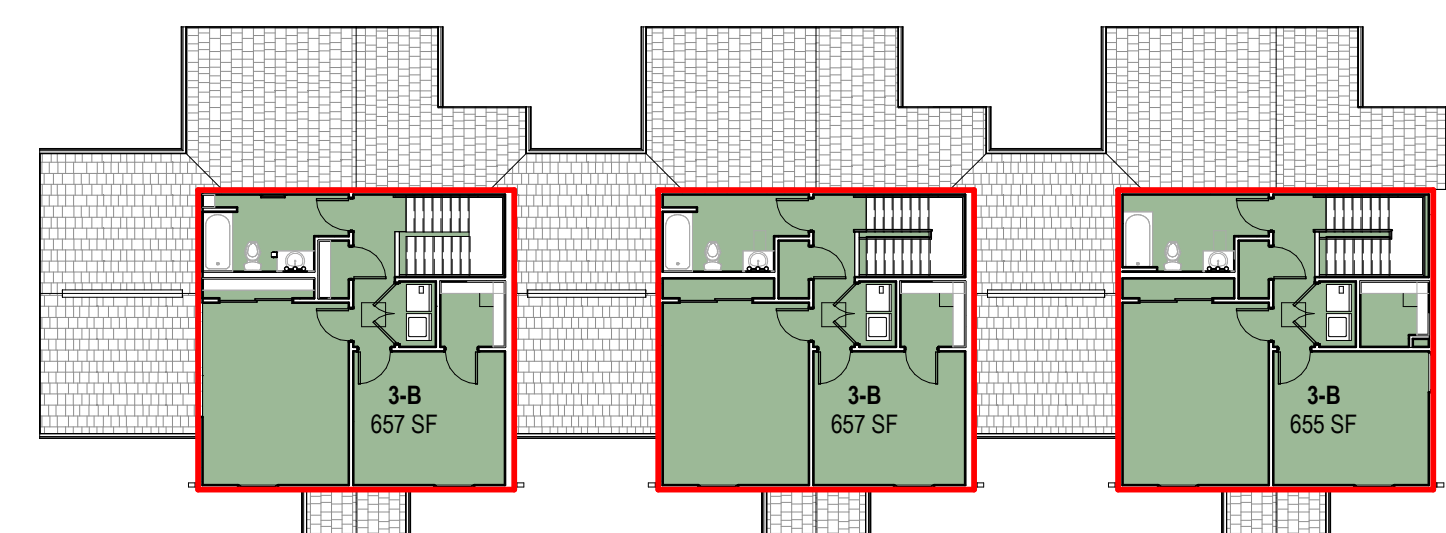
9 PLAN BUILDING TYPE V - FIRST FLOOR - GROSS AREA
1/16" = 1'-0"



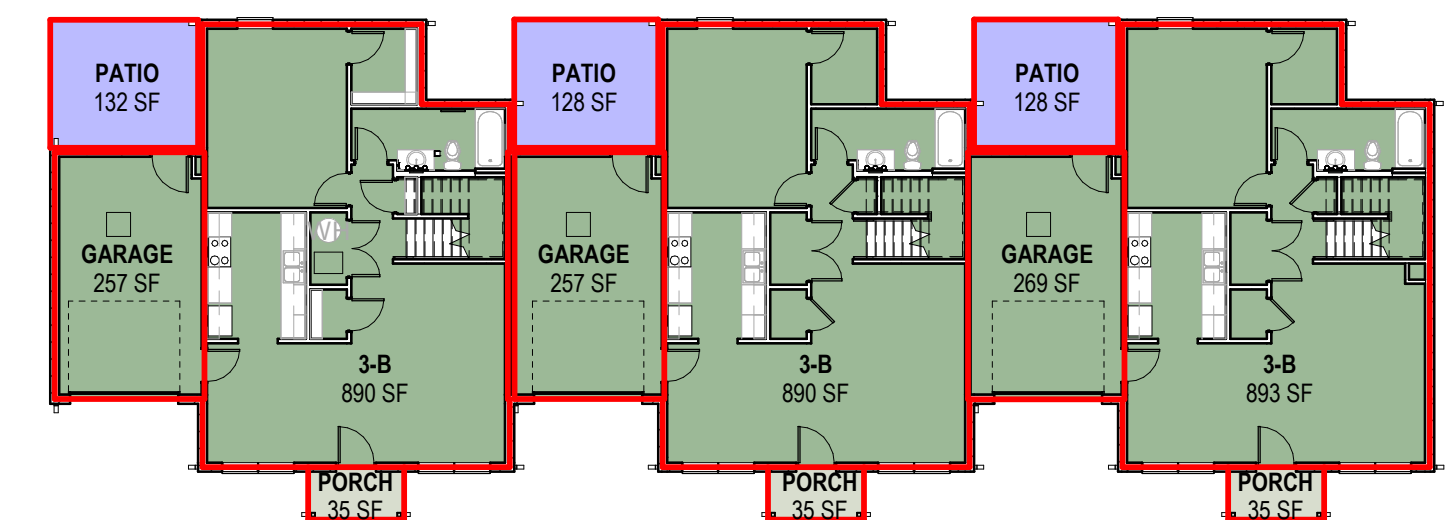
4 PLAN BUILDING TYPE II - SECOND FLOOR - GROSS AREA
1/16" = 1'-0"



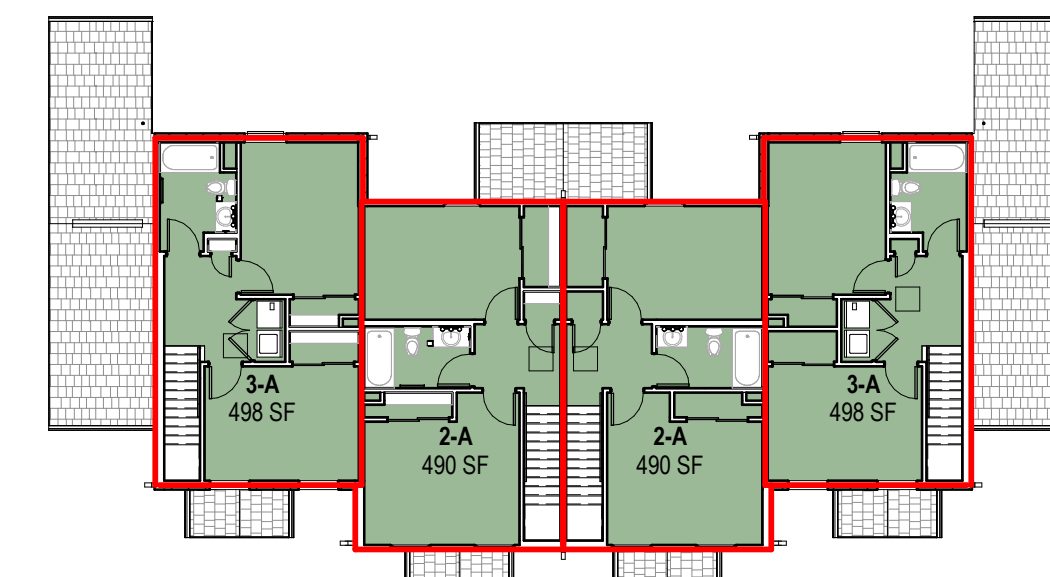
3 PLAN BUILDING TYPE II - FIRST FLOOR GROSS AREA
1/16" = 1'-0"



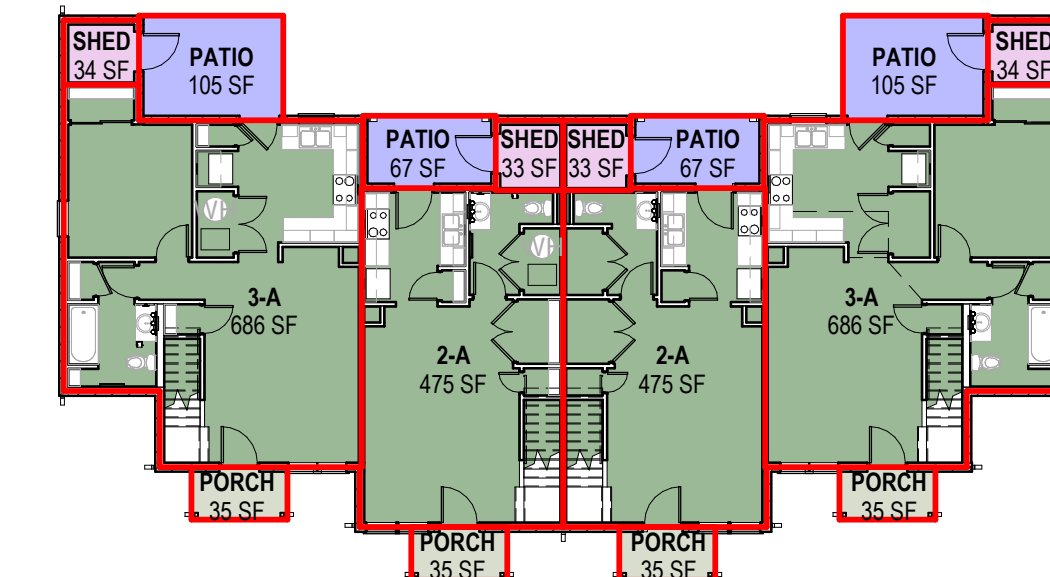
8 PLAN BUILDING TYPE IV - SECOND FLOOR - GROSS AREA
1/16" = 1'-0"



7 PLAN BUILDING TYPE IV - FIRST FLOOR - GROSS AREA
1/16" = 1'-0"



2 PLAN BUILDING TYPE I - SECOND FLOOR GROSS AREA
1/16" = 1'-0"



1 PLAN BUILDING TYPE I - FIRST FLOOR GROSS AREA
1/16" = 1'-0"

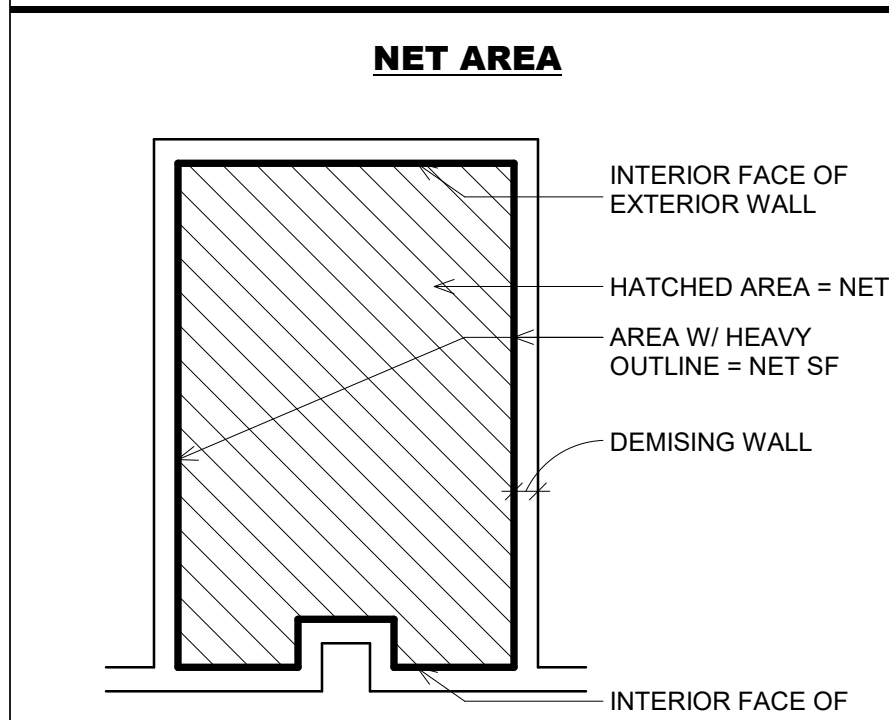
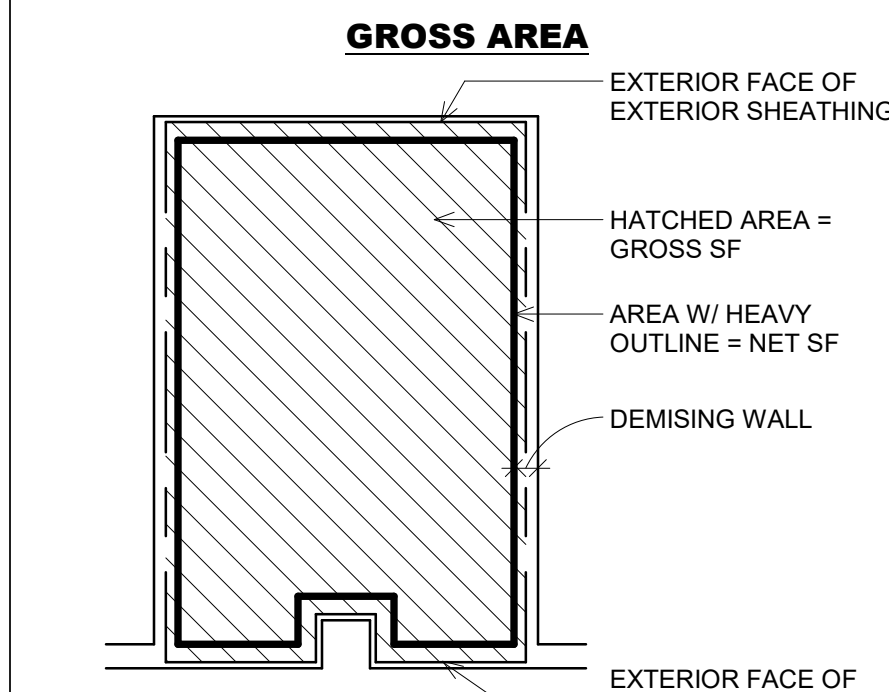
GENERAL NOTES - AREA PLANS

- A. REFER TO G SERIES SHEETS FOR AREA SUMMARIES BY BUILDING TYPE AND UNIT TYPE.
- B. REFER TO G SERIES SHEETS FOR EXISTING SITE PLAN AND SITE INFORMATION.

AREA SCHEDULE (DEPARTMENT GROSS)

DEPARTMENT	NAME	AREA	NO. OF BLDGS.	TOTAL AREA
BUILDING TYPE I				
PATIO	PATIO	344 SF	7	2,408 SF
PORCH	PORCH	140 SF	7	980 SF
RESIDENTIAL	2-A	1,330 SF	7	9,310 SF
RESIDENTIAL	3-A	2,367 SF	7	16,569 SF
STORAGE	SHED	133 SF	7	931 SF
BUILDING TYPE II				
PATIO	PATIO	412 SF	1	412 SF
PORCH	PORCH	175 SF	1	175 SF
RESIDENTIAL	2-A	2,903 SF	1	2,903 SF
RESIDENTIAL	3-A	2,369 SF	1	2,369 SF
STORAGE	SHED	167 SF	1	167 SF
BUILDING TYPE III				
PATIO	PATIO	553 SF	4	2,212 SF
PORCH	PORCH	210 SF	4	840 SF
RESIDENTIAL	2-A	1,930 SF	4	7,720 SF
RESIDENTIAL	3-A	4,796 SF	4	19,184 SF
STORAGE	SHED	201 SF	4	804 SF
BUILDING TYPE IV				
PATIO	PATIO	388 SF	4	1,552 SF
PORCH	PORCH	105 SF	4	420 SF
RESIDENTIAL	3-B	4,641 SF	4	18,564 SF
RESIDENTIAL	GARAGE	782 SF	4	3,128 SF
BUILDING TYPE V				
PATIO	PATIO	388 SF	2	776 SF
PORCH	PORCH	105 SF	2	210 SF
RESIDENTIAL	4-A	5,121 SF	2	10,242 SF
RESIDENTIAL	GARAGE	782 SF	2	1,564 SF
BUILDING TYPE VI				
PATIO	PATIO	327 SF	5	1,635 SF
PORCH	PORCH	140 SF	5	700 SF
RESIDENTIAL	2-A	965 SF	5	4,825 SF
RESIDENTIAL	2-B	912 SF	5	4,560 SF
RESIDENTIAL	3-A	2,399 SF	5	11,995 SF
STORAGE	SHED	134 SF	5	670 SF
COMMUNITY CTR				
C.A. PUBLIC	CONFERENCE ROOM	503 SF	1	503 SF
C.A. PUBLIC	CORRIDOR	118 SF	1	118 SF
C.A. PUBLIC	KITCHEN	56 SF	1	56 SF
C.A. PUBLIC	OFFICE	492 SF	1	492 SF
C.A. PUBLIC	STORAGE	141 SF	1	141 SF
C.A. PUBLIC	TOILET	103 SF	1	103 SF
C.A. PUBLIC	VESTIBULE	210 SF	1	210 SF
PORCH	PORCH	256 SF	1	256 SF
PROGRAM SPACE	EARLY LEARNING CENTER	3,676 SF	1	3,676 SF
SUPPORT	MECH	200 SF	1	200 SF
SUPPORT	STORAGE	295 SF	1	295 SF
MAINTENANCE BUILDING				
SUPPORT	MAINTENANCE	848 SF	1	848 SF
TOTAL		42,716 SF		138,923 SF

UNIT SQUARE FOOTAGE DIAGRAM



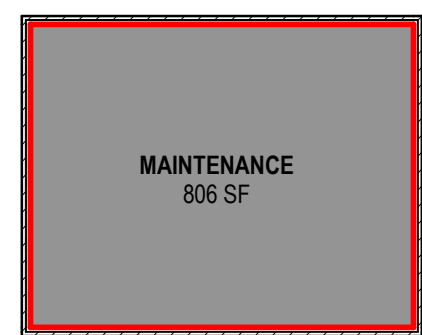
#	DATE	CHANGE DESCRIPTION

THE MEADOWS RAD RENOVATIONS
COLUMBUS METROPOLITAN HOUSING AUTHORITY
4855 PINTAL CREEK DRIVE
COLUMBUS, OH 43110
FOR COLUMBUS METROPOLITAN HOUSING AUTHORITY

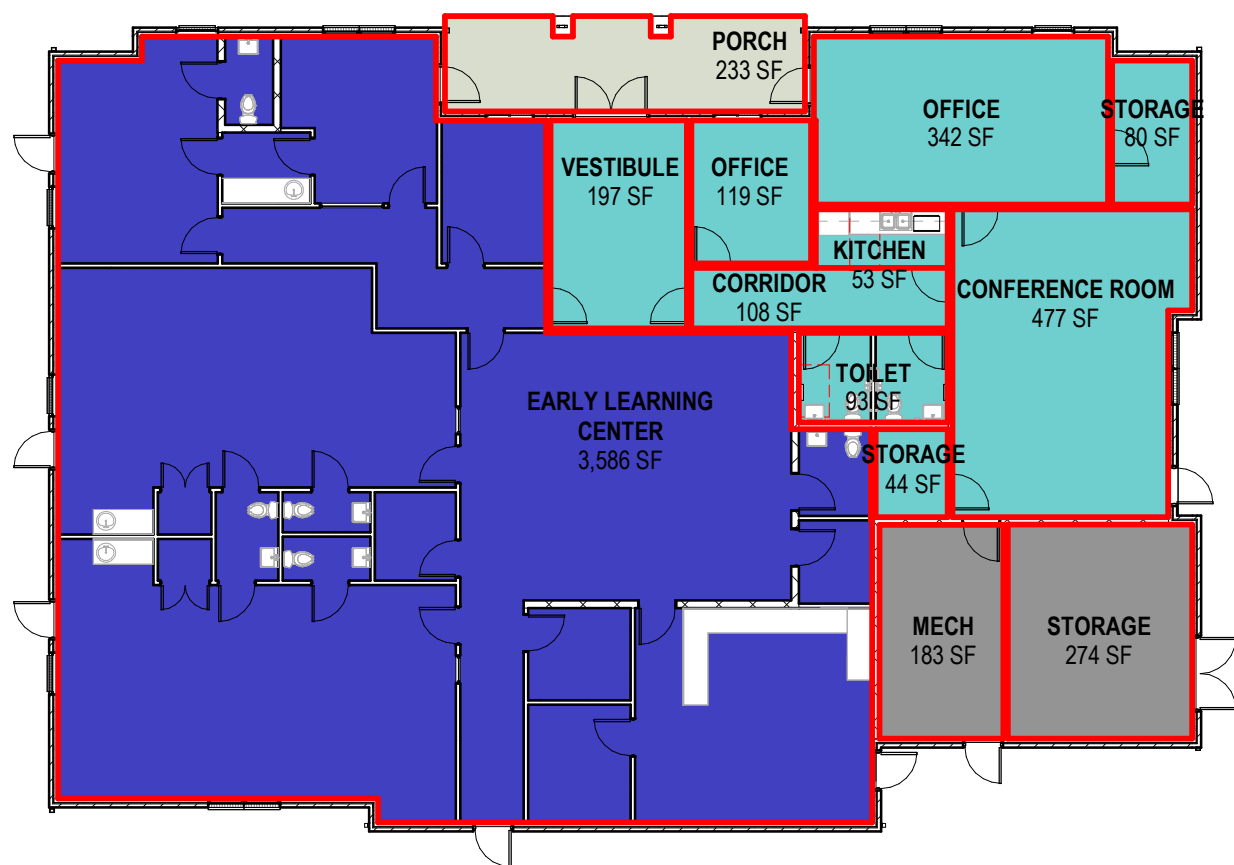
300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881
Moody Nolan CERTIFICATE NO. FIRM 00197475

AREA PLANS - GROSS

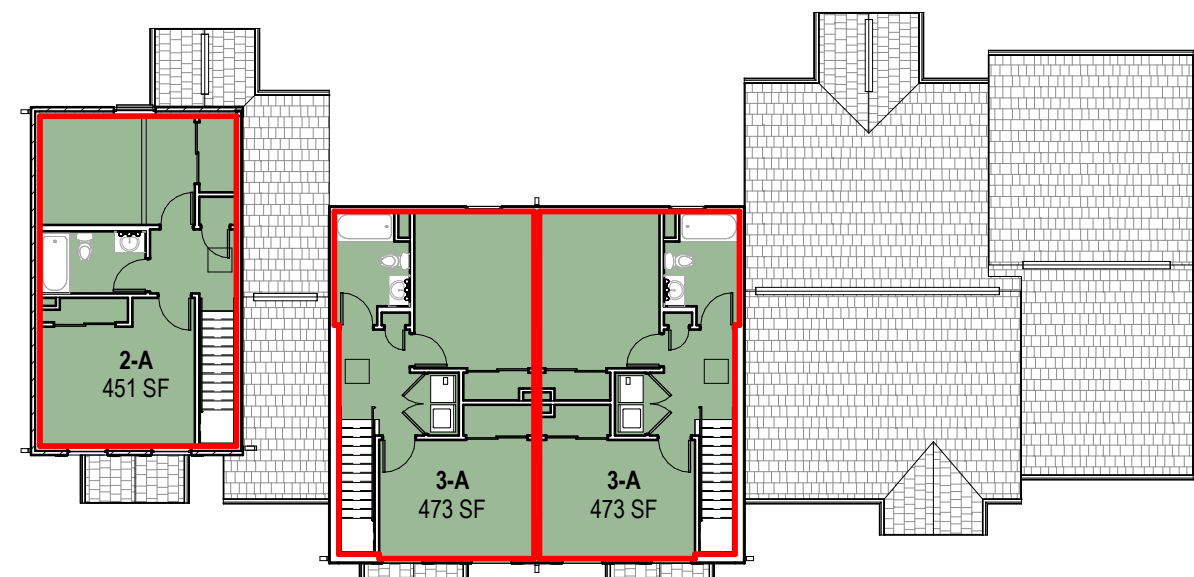
08/14/2025
DRAWN BY: XXXX CHECKED BY: XXXX
18076.04
G006
JAY W. BOONE, LIC. #10740
EXP. DATE: 12/31/2025
REGISTERED ARCHITECT
BID / PERMIT SET



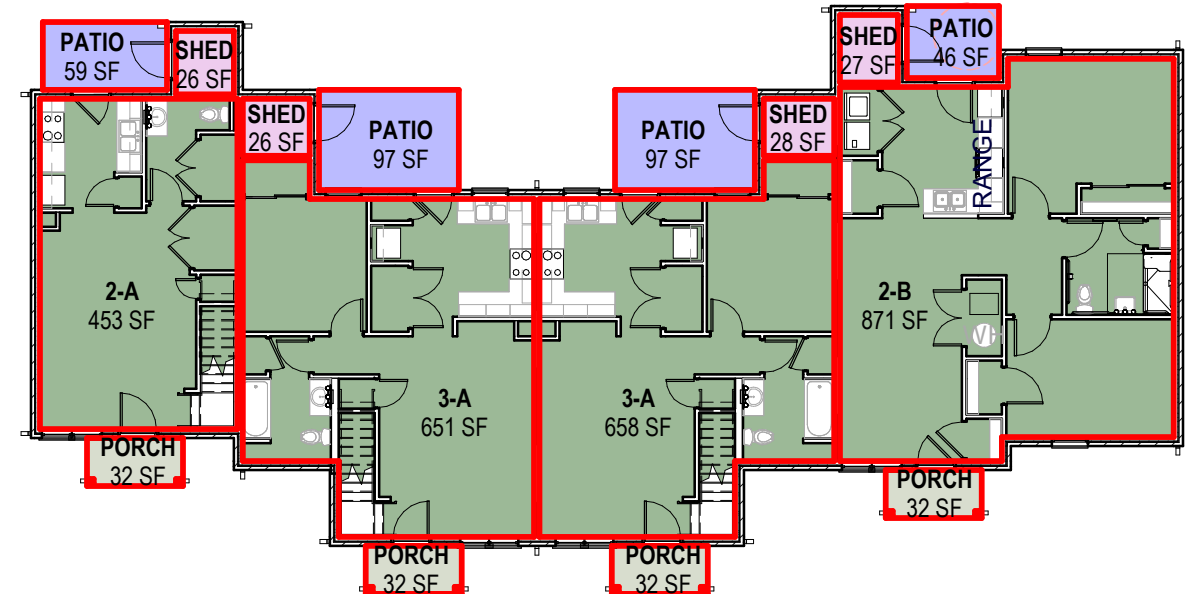
14 PLAN MAINTENANCE BUILDING - NET AREA
1/16" = 1'-0"



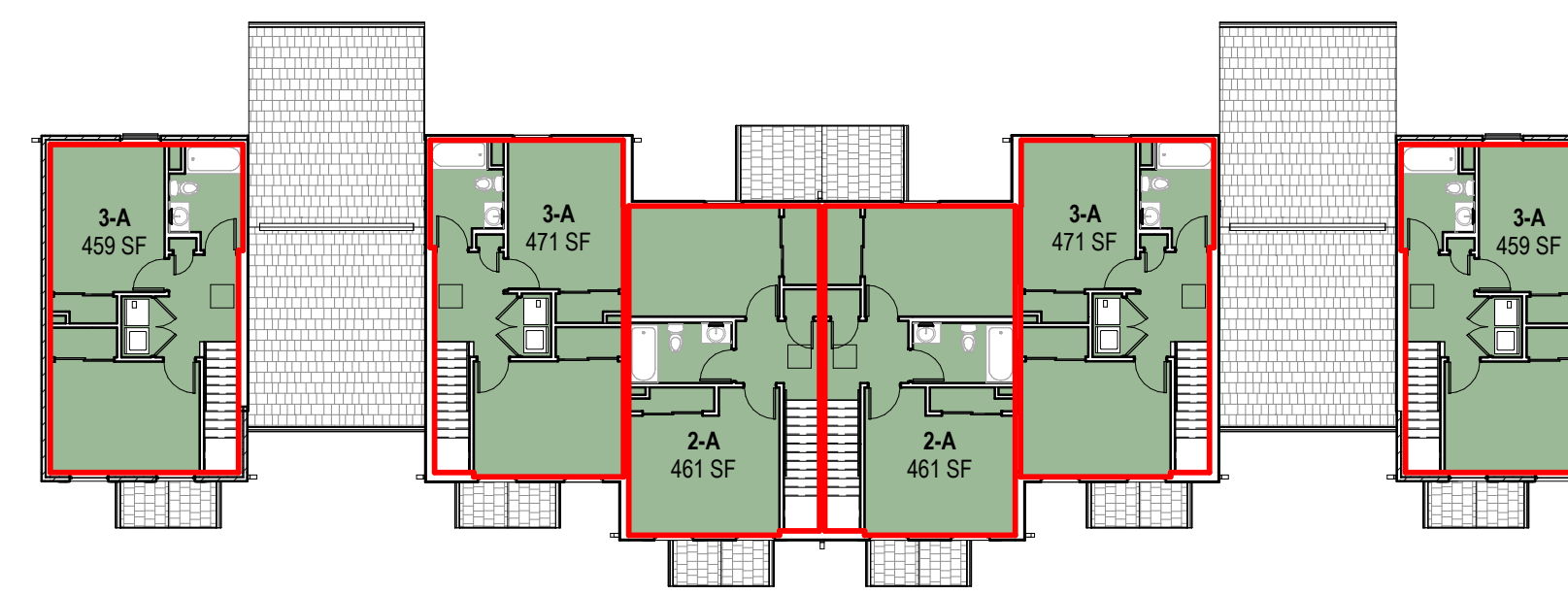
13 PLAN COMMUNITY CENTER - NET AREA
1/16" = 1'-0"



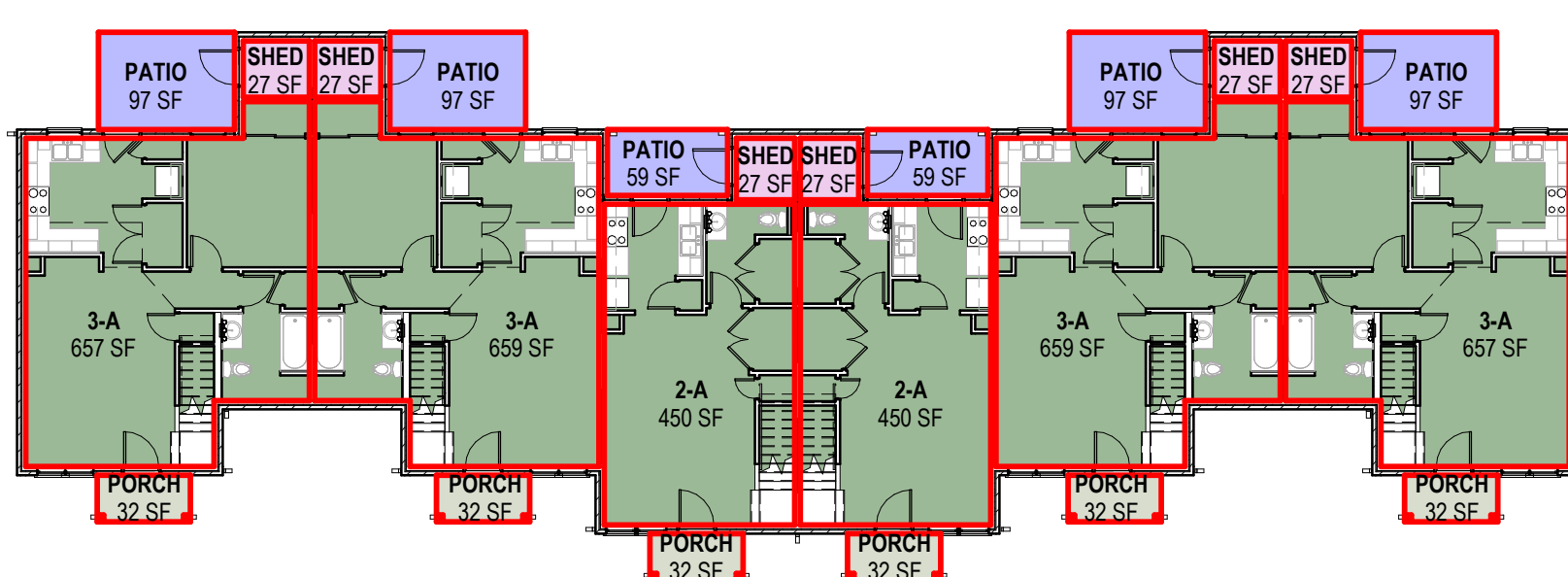
12 PLAN BUILDING TYPE VI - SECOND FLOOR NET AREA
1/16" = 1'-0"



11 PLAN BUILDING TYPE VI - FIRST FLOOR NET AREA
1/16" = 1'-0"

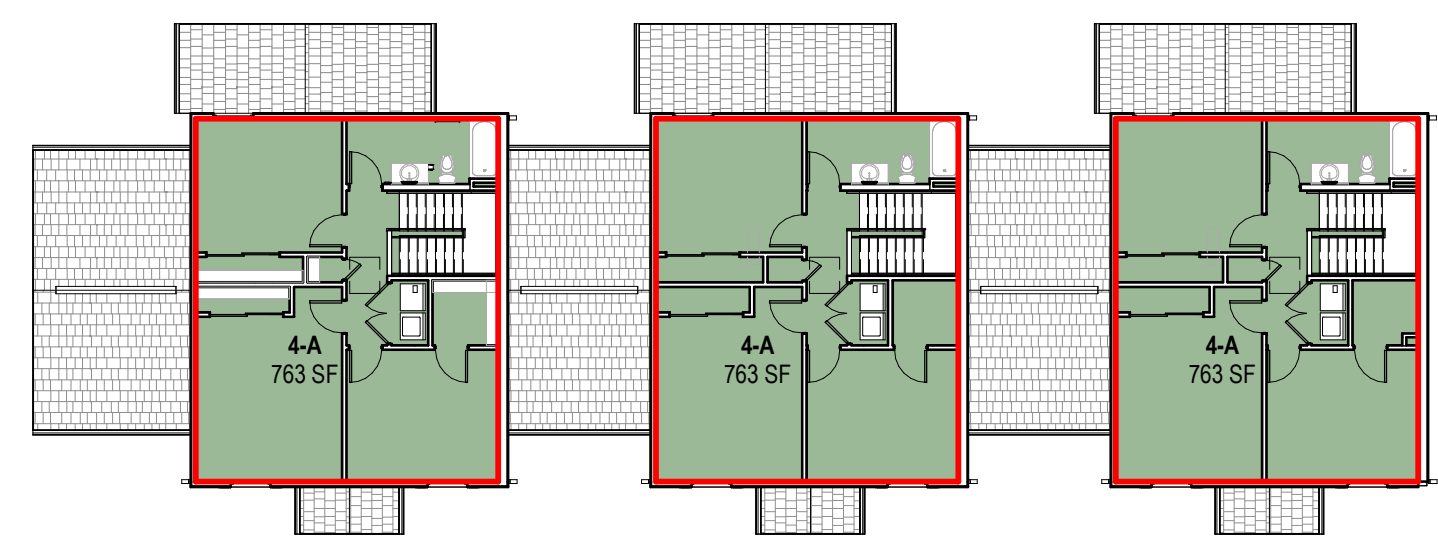


6 PLAN BUILDING TYPE III - SECOND FLOOR NET AREA
1/16" = 1'-0"

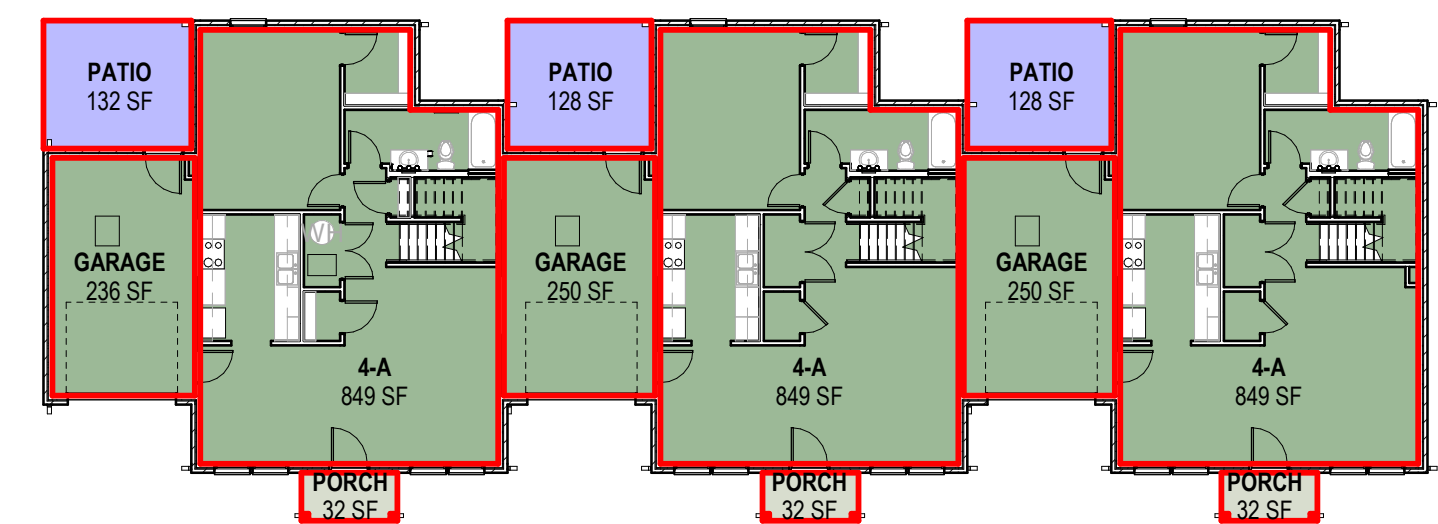


5 PLAN BUILDING TYPE III - FIRST FLOOR NET AREA
1/16" = 1'-0"

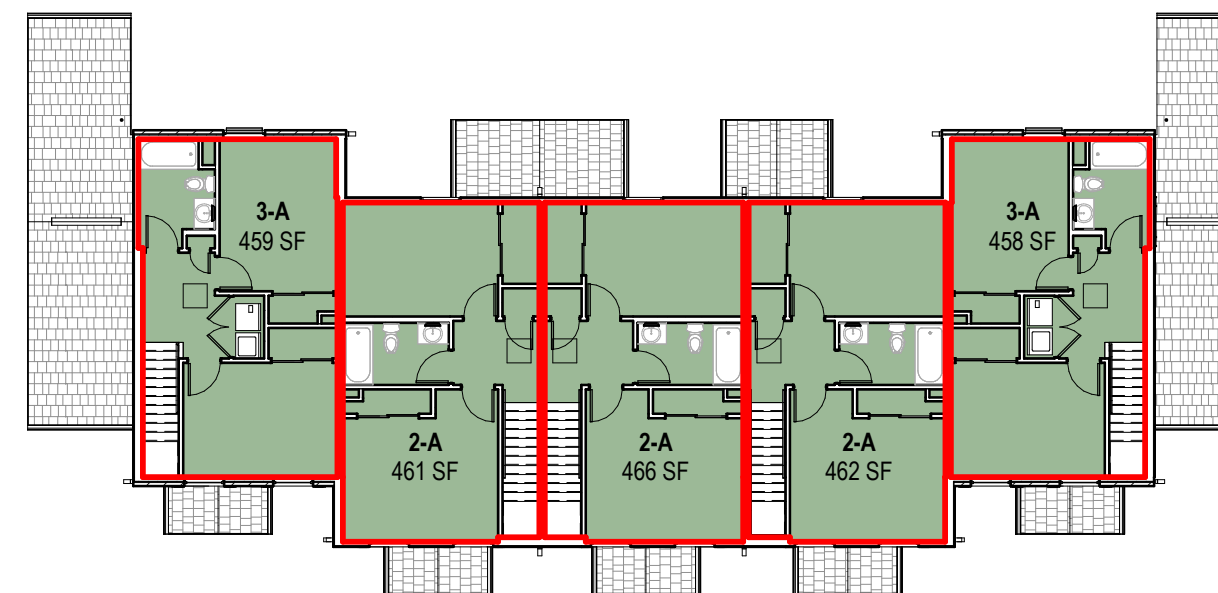
- C.A. PUBLIC
- PATIO
- PORCH
- PROGRAM SPACE
- RESIDENTIAL
- STORAGE
- SUPPORT



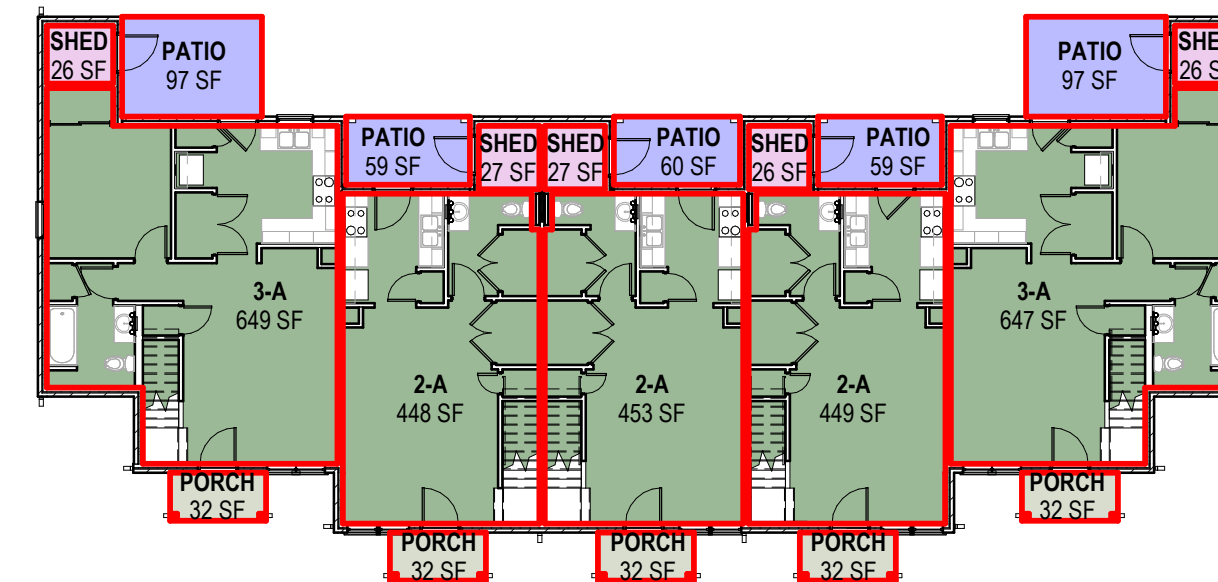
10 PLAN BUILDING TYPE V - SECOND FLOOR NET AREA
1/16" = 1'-0"



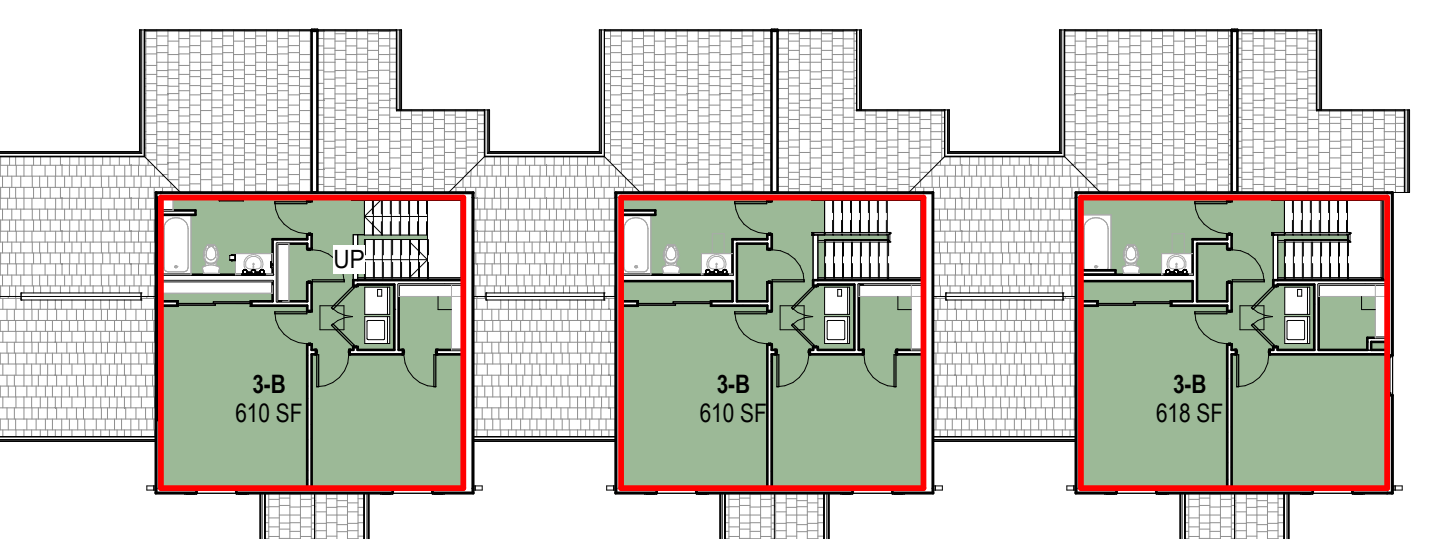
9 PLAN BUILDING TYPE V - FIRST FLOOR NET AREA
1/16" = 1'-0"



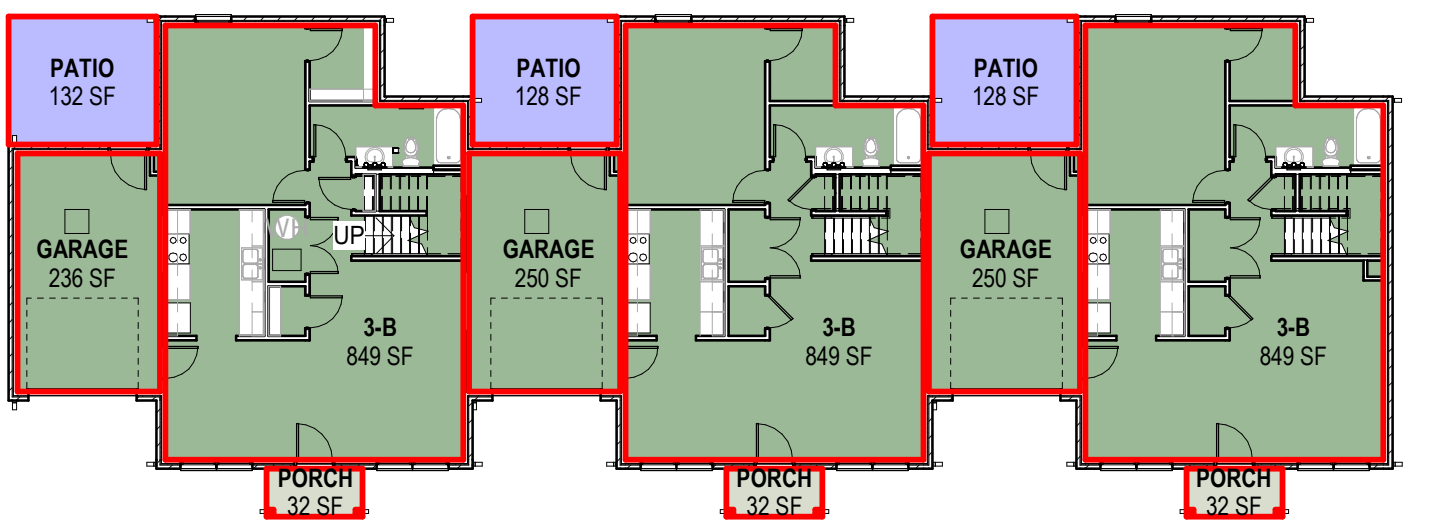
4 PLAN BUILDING TYPE II - SECOND FLOOR NET AREA
1/16" = 1'-0"



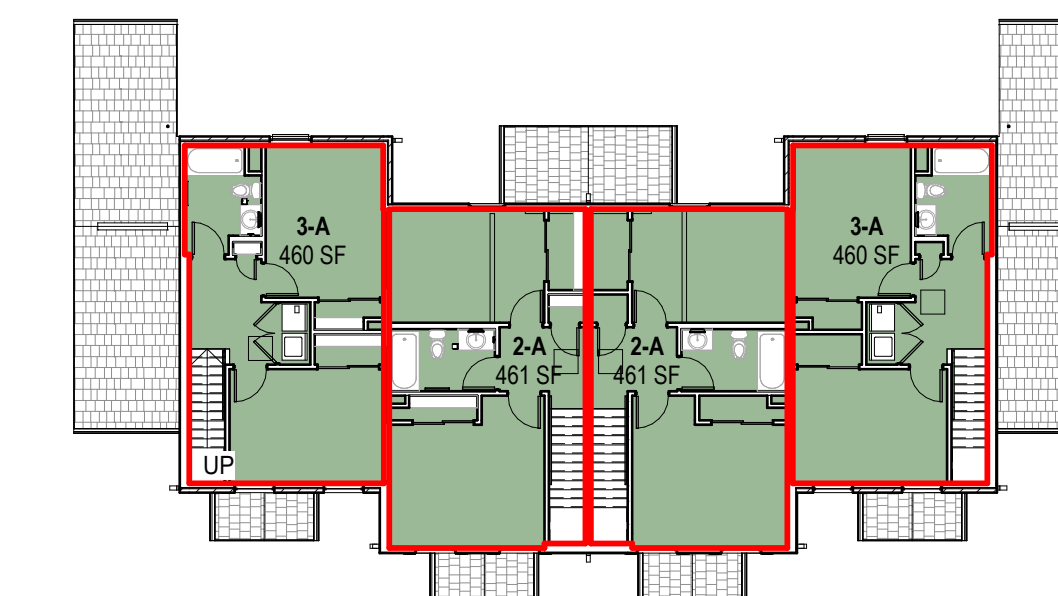
3 PLAN BUILDING TYPE II - FIRST FLOOR NET AREA
1/16" = 1'-0"



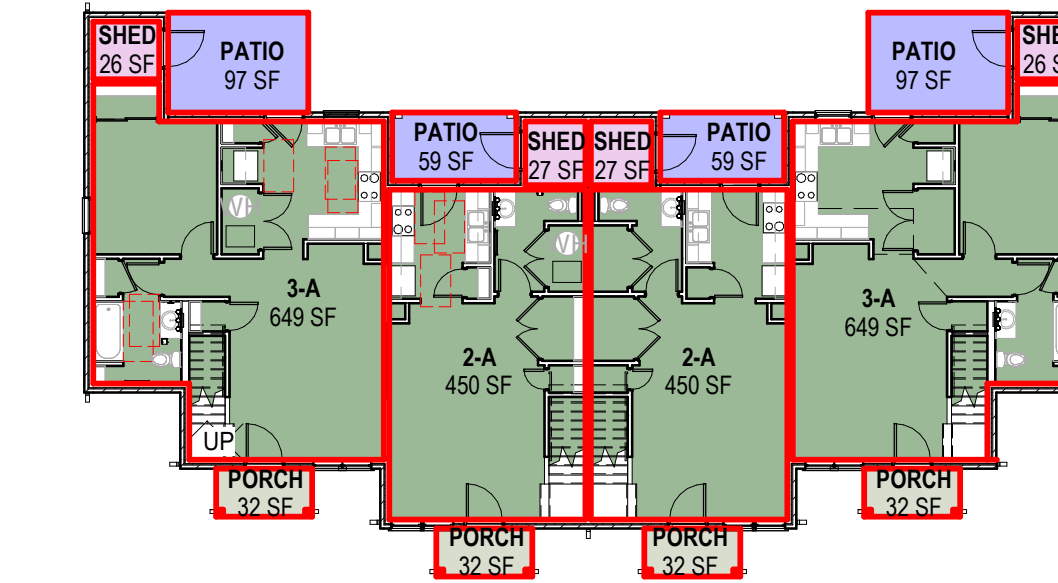
8 PLAN BUILDING TYPE IV - SECOND FLOOR NET AREA
1/16" = 1'-0"



7 PLAN BUILDING TYPE IV - FIRST FLOOR NET AREA
1/16" = 1'-0"



2 PLAN BUILDING TYPE I - SECOND FLOOR NET AREA
1/16" = 1'-0"



1 PLAN BUILDING TYPE I - FIRST FLOOR NET AREA
1/16" = 1'-0"

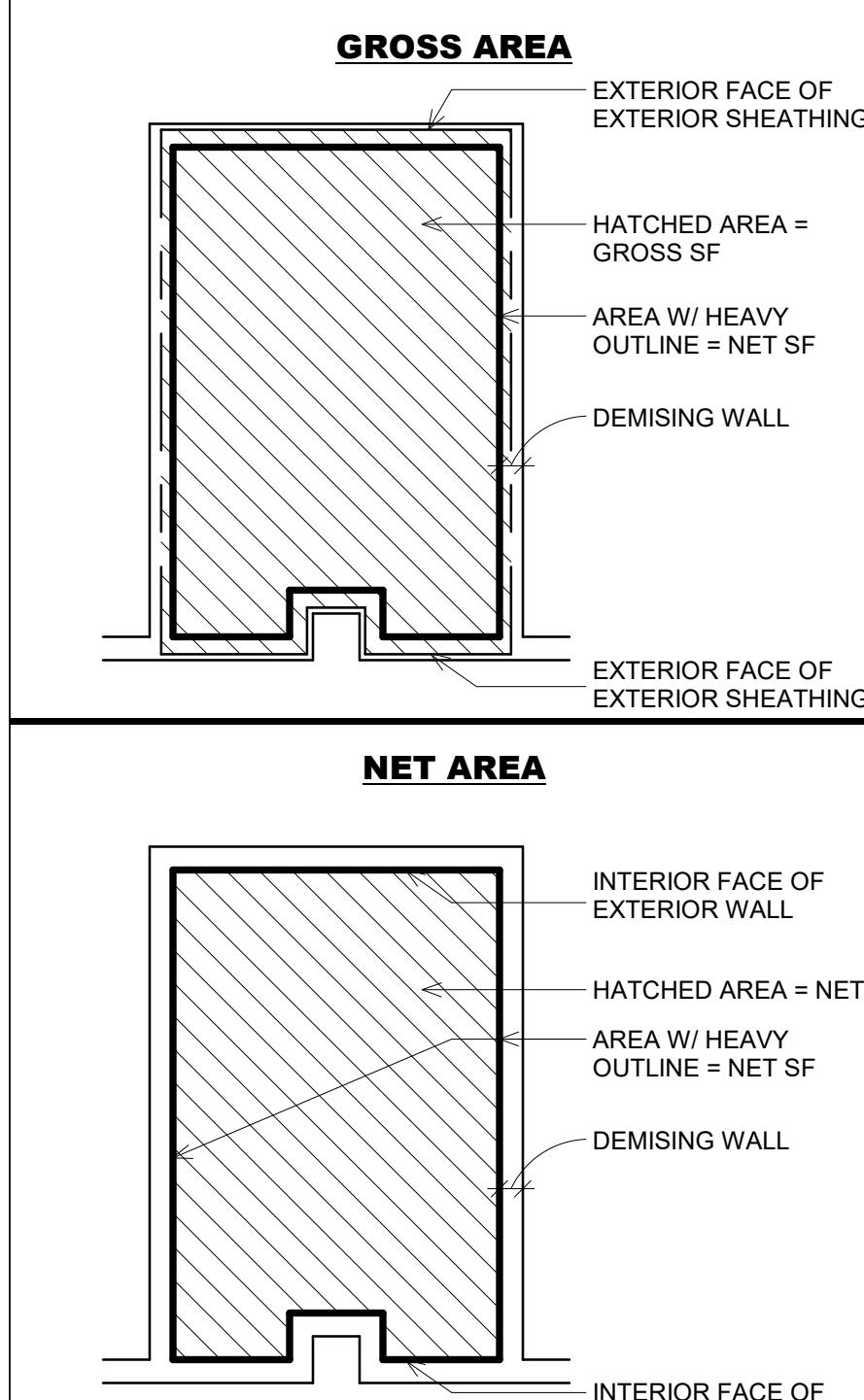
GENERAL NOTES - AREA PLANS

- A. REFER TO Q SERIES SHEETS FOR AREA SUMMARIES BY BUILDING TYPE AND UNIT TYPE.
- B. REFER TO G SERIES SHEETS FOR EXISTING SITE PLAN AND SITE INFORMATION.

AREA PLAN SCHEDULE (BUILDING NET)

DEPARTMENT	NAME	AREA	NO. OF BLDGS.	TOTAL AREA
BUILDING TYPE I				
PATIO	PATIO	312 SF	7	2,181 SF
PORCH	PORCH	127 SF	7	890 SF
RESIDENTIAL	2-A	1,821 SF	7	12,746 SF
RESIDENTIAL	3-A	2,216 SF	7	15,515 SF
STORAGE	SHED	106 SF	7	743 SF
BUILDING TYPE II				
PATIO	PATIO	371 SF	1	371 SF
PORCH	PORCH	159 SF	1	159 SF
RESIDENTIAL	2-A	2,738 SF	1	2,738 SF
RESIDENTIAL	3-A	2,214 SF	1	2,214 SF
STORAGE	SHED	133 SF	1	133 SF
BUILDING TYPE III				
PATIO	PATIO	506 SF	4	2,024 SF
PORCH	PORCH	191 SF	4	763 SF
RESIDENTIAL	2-A	1,821 SF	4	7,284 SF
RESIDENTIAL	3-A	4,491 SF	4	17,964 SF
STORAGE	SHED	163 SF	4	650 SF
BUILDING TYPE IV				
PATIO	PATIO	388 SF	4	1,550 SF
PORCH	PORCH	95 SF	4	381 SF
RESIDENTIAL	3-B	4,385 SF	4	17,541 SF
RESIDENTIAL	GARAGE	735 SF	4	2,939 SF
BUILDING TYPE V				
PATIO	PATIO	388 SF	2	776 SF
PORCH	PORCH	95 SF	2	191 SF
RESIDENTIAL	4-A	4,835 SF	2	9,671 SF
RESIDENTIAL	GARAGE	735 SF	2	1,469 SF
BUILDING TYPE VI				
PATIO	PATIO	299 SF	5	1,495 SF
PORCH	PORCH	127 SF	5	636 SF
RESIDENTIAL	2-A	903 SF	5	4,517 SF
RESIDENTIAL	2-B	871 SF	5	4,355 SF
RESIDENTIAL	3-A	2,255 SF	5	11,275 SF
STORAGE	SHED	107 SF	5	535 SF
COMMUNITY CTR				
C.A. PUBLIC	CONFERENCE ROOM	477 SF	1	477 SF
C.A. PUBLIC	CORRIDOR	108 SF	1	108 SF
C.A. PUBLIC	KITCHEN	53 SF	1	53 SF
C.A. PUBLIC	OFFICE	460 SF	1	460 SF
C.A. PUBLIC	STORAGE	124 SF	1	124 SF
C.A. PUBLIC	TOILET	93 SF	1	93 SF
C.A. PUBLIC	VESTIBULE	197 SF	1	197 SF
PORCH	PORCH	233 SF	1	233 SF
PROGRAM SPACE	EARLY LEARNING CENTER	3,586 SF	1	3,586 SF
SUPPORT	MECH	183 SF	1	183 SF
SUPPORT	STORAGE	274 SF	1	274 SF
MAINTENANCE BUILDING				
SUPPORT	MAINTENANCE	806 SF	1	806 SF
TOTAL		40,181 SF		130,103 SF

UNIT SQUARE FOOTAGE DIAGRAM



#	DATE	CHANGE DESCRIPTION

THE MEADOWS RAD RENOVATIONS
COLUMBUS METROPOLITAN HOUSING AUTHORITY
4855 PINTAL CREEK DRIVE
COLUMBUS, OH 43110
FOR COLUMBUS METROPOLITAN HOUSING AUTHORITY

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SUITE 300
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PHONE: (614) 461-4664
FAX: (614) 280-8881
Moody Nolan CERTIFICATE NO: FIRM 00197475

AREA PLANS - NET

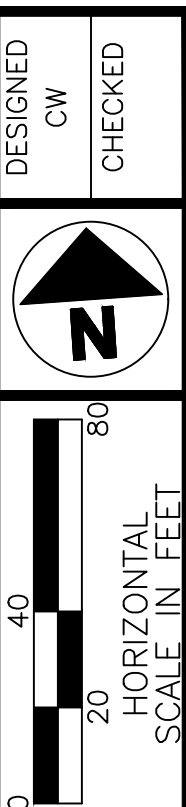
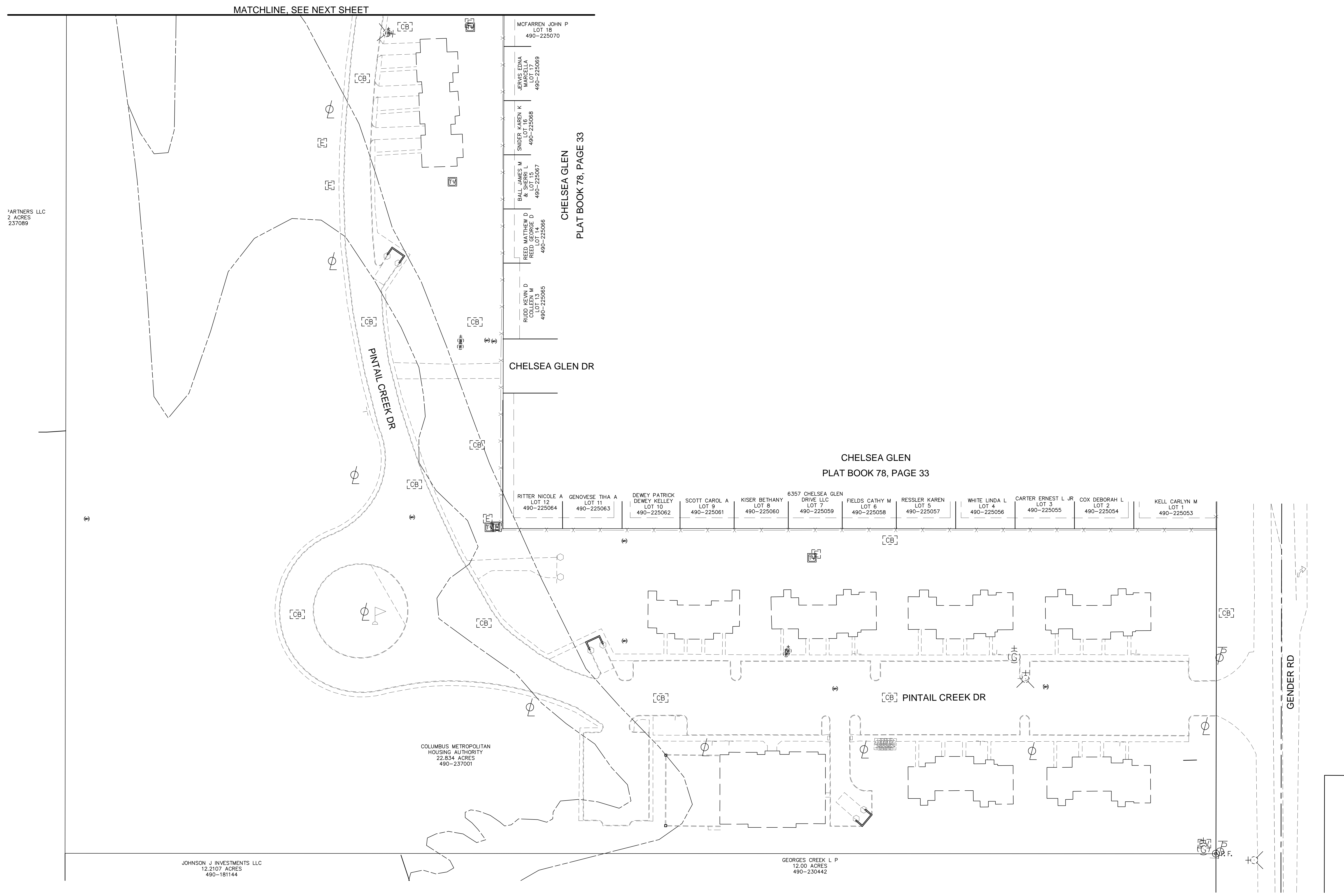
08/14/2025
DRAWN BY: XXXX CHECKED BY: XXXX
18076.04
G007
JAY W. BOONE, LIC. #10740
EXP. DATE: 12/31/2025
BID / PERMIT SET

[wagne@wdg.net] D:\Project\2018\180037\Drawing\Bose.dwg - October 17, 2018 @ 1:20pm



CW Design Group
ENGINEERS | SURVEYORS

PHONE: 614-846-9279
972 Linkfield Drive
Worthington, Ohio 43085



PRELIMINARY ALTA EXHIBIT

THE MEADOWS

1
2

[wagne@wdg.net] D:\Project\2018\180037\Drawing\Bose.dwg -- October 17, 2018 @ 1:22pm



CW Design Group
ENGINEERS | SURVEYORS

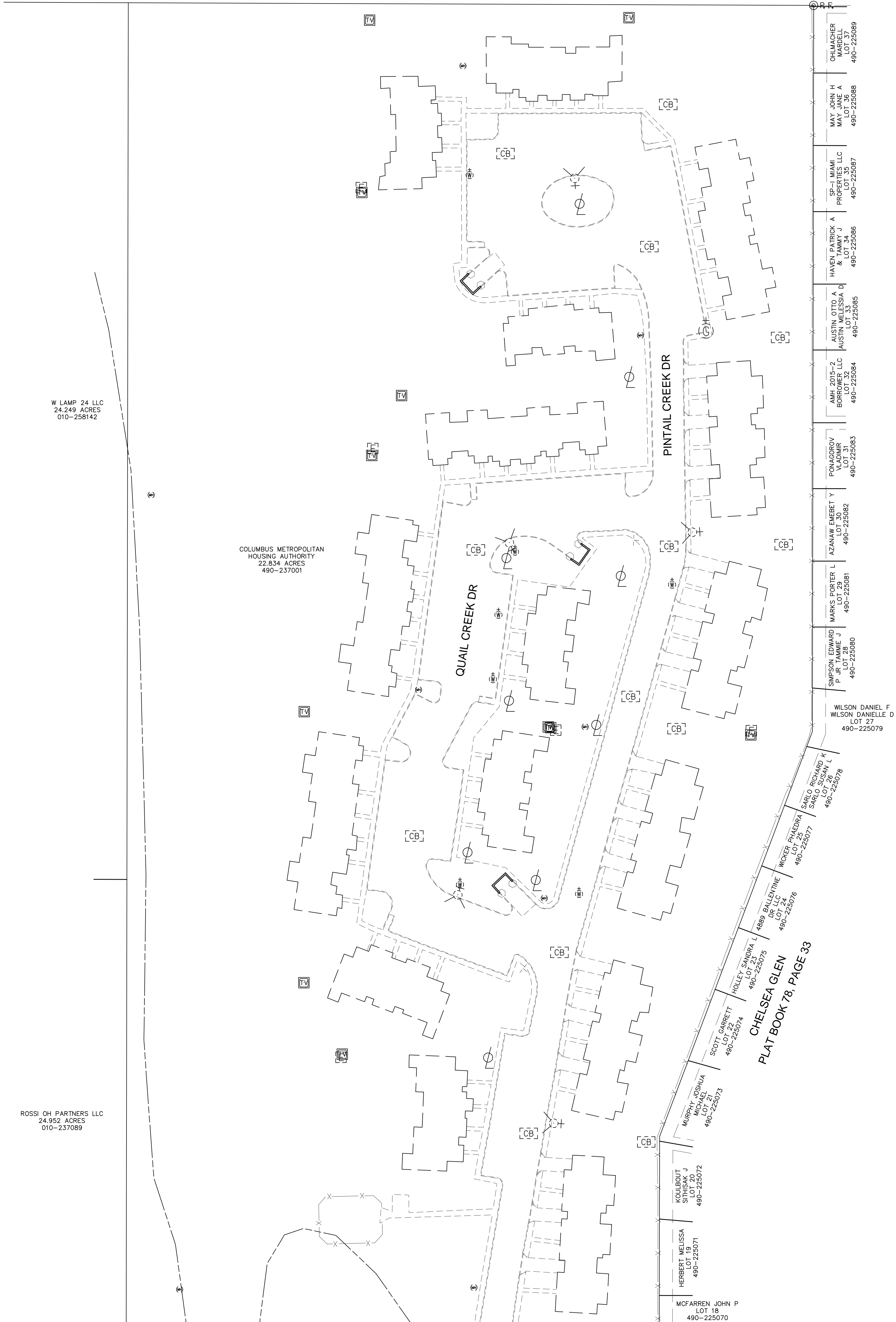
PHONE: 614-846-9279
972 Linkfield Drive
Worthington, Ohio 43085

ROSSI OH PARTNERS LLC
24.952 ACRES
010-237089

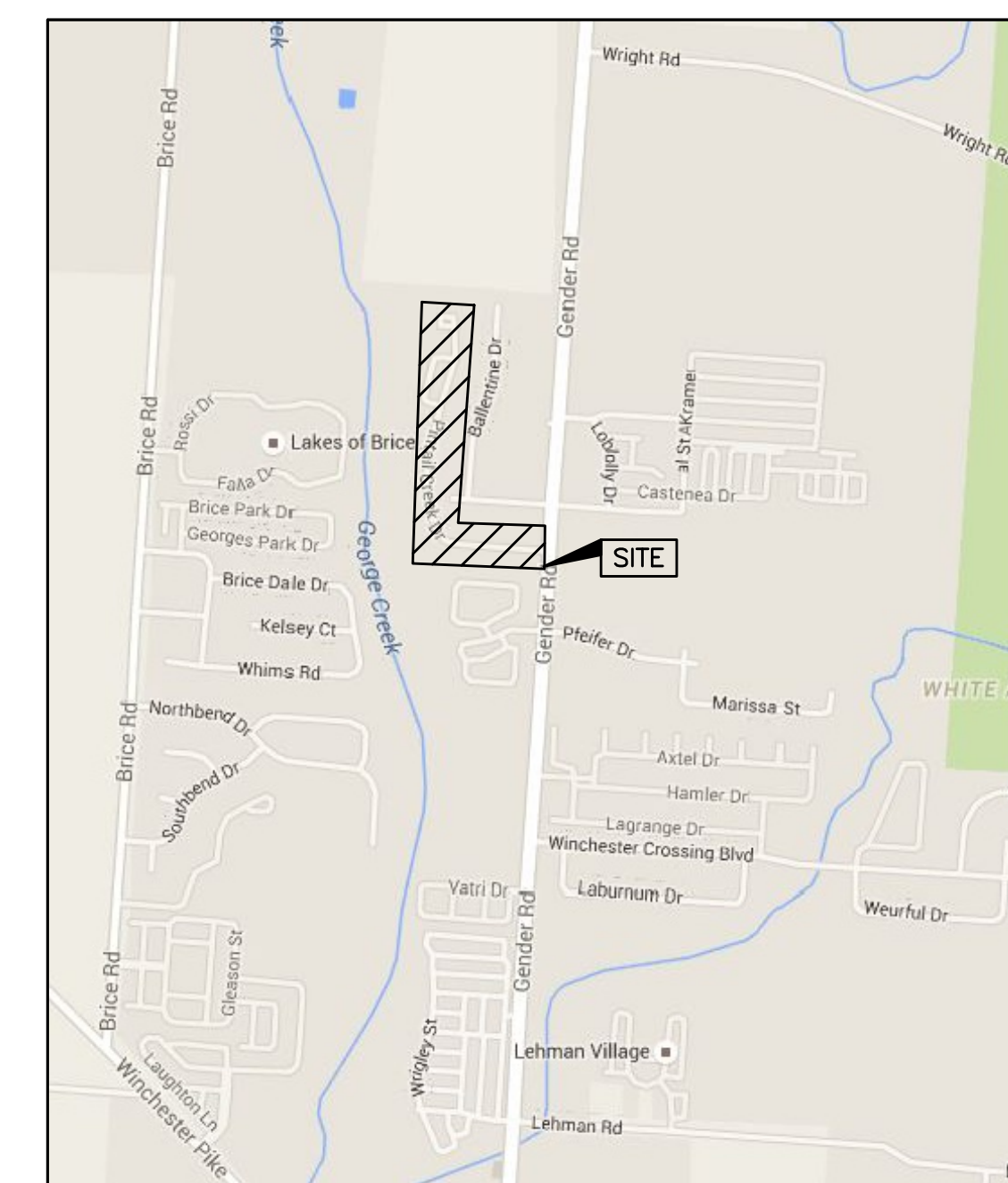
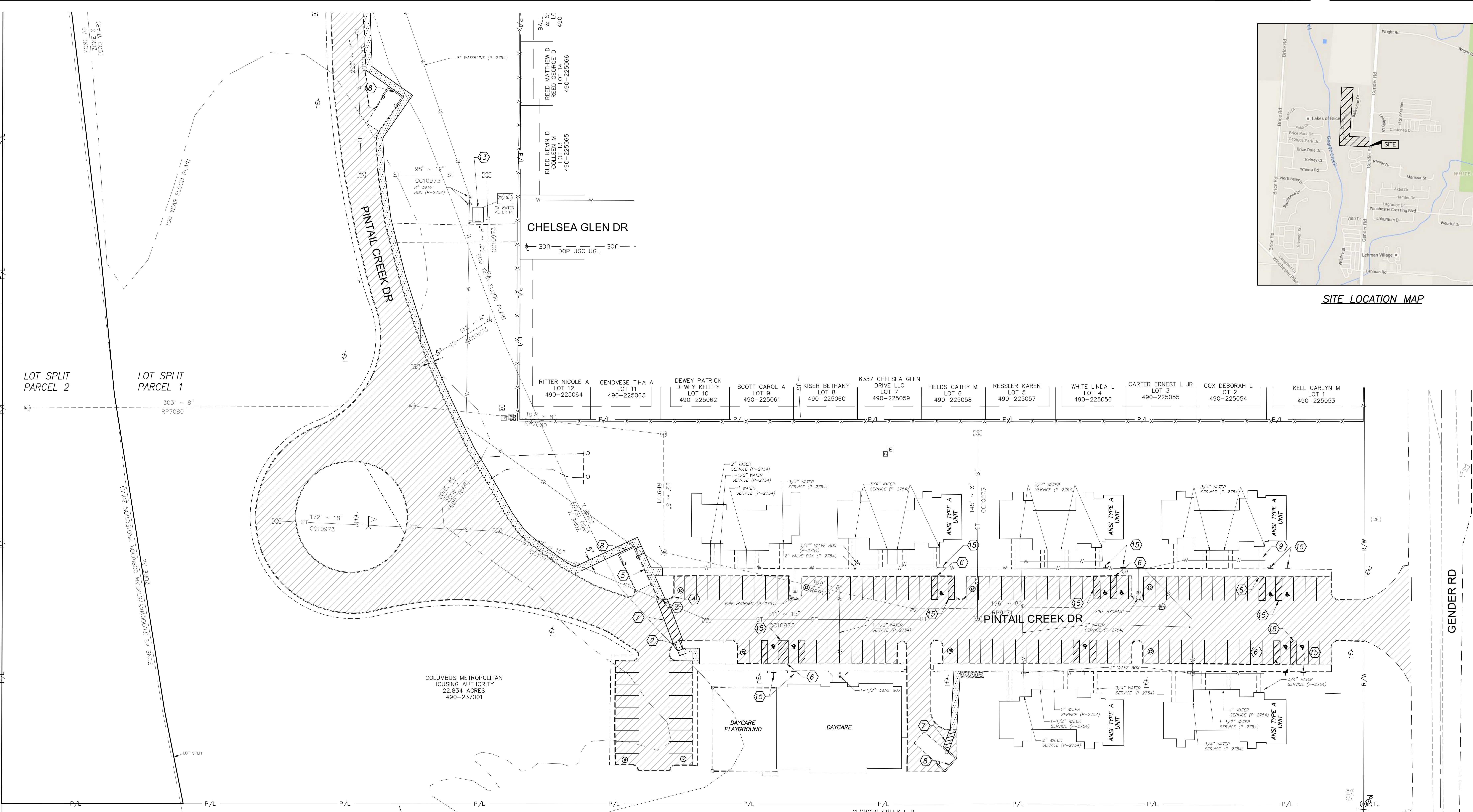
W LAMP 24 LLC
24.249 ACRES
010-258142

COLUMBUS METROPOLITAN
HOUSING AUTHORITY
22.834 ACRES
490-257001

WORLD HARVEST CHURCH INC
63.1292 ACRES
181-000079



MATCHLINE, SEE PREVIOUS SHEET



SITE LOCATION MAP

PROPERTY PARCEL

490-237001

PARKING DATA

228 SPACES (13 HANDICAPPED)

PARKING REQUIRED
95 UNITS X 1.5 SPACES=143 SPACES REQUIRED

SITE DATA TABLE

TOTAL SITE AREA:	22.83 ACRES
TOTAL DISTURBED AREA:	6944 SF
DISTURBED IMPERVIOUS AREA:	3,324 SF
PRE-DEVELOPED IMPERVIOUS:	3,324 SF
POST-DEVELOPED IMPERVIOUS:	5,207 SF

PROJECT ZONING INFORMATION

Project: Meadows
Certified Site Address: Not Applicable
Owner: Columbus Metropolitan Housing Authority
Owner Contact: Mike Wagner, Vice President of Design and Construction, (614) 421-6102, mwagner@cmhanet.com
Purpose: The purpose of this plan is to renovate the parking lot and road. The parking lot will be restriped and rescaled.
A. SITE PLAN: As Shown
B. SITE LOCATION MAP: As Shown
C. ZONING DISTRICT: 279-086, Multi-family, AR12 effective 7/16/1980, Height District H-35
D. AREA PER USE:
E. BUILDING HEIGHT:
F. FLOOD DESIGNATION: Some of this site is located within a special flood hazard area, which is zone AE and zone X, per the Federal Emergency Management Agency's Flood Insurance Rate Map, No. 39049C0364K, June 17, 2008.
G. DUMPSTER SCREENS: N/A-Existing
H. The proposed project will comply with the following Sections of the City of Columbus Codes:
 3321.01 Dumpster
 3321.07 Landscape
 3321.03 Lighting
 3312.21 Screens
 3312.39 Striping/Marking
 3312.43 Surface
 3312.45 Wheel Stops/Curbs

CODED NOTES

- EXISTING DRIVEWAY TO BE RESEALED
- PROPOSED CURB RAMP, SEE DETAIL SHEET 301
- PROPOSED FLUSH SIDEWALK
- TRANSITION CURB 0" TO 6" (TO MATCH EX.) OVER 2'
- FLUSH WALK
- PROPOSED PARALLEL RAMP, SEE DETAIL SHEET 301
- PAINT STRIPED CROSSWALK
- EXISTING DUMPSTERS
- REPLACE WALK TO UNIT
- REMOVE EXISTING FENCE AND MULCH AND REPLACE COORDINATING EXTENTS WITH EQUIPMENT PROVIDER. PROVIDE NEW POURED PLAY SURFACE AND PROVIDE AND INSTALL NEW TRASH RECEPTACLE TO MATCH EXISTING BENCHES.
- EXISTING CONCRETE PAD AND BENCHES TO REMAIN
- EXISTING PLAYGROUND
- PROPOSED HOT BOX, INSTALL PER WSP1754
- HANDICAPPED PARKING SIGN
- HANDICAPPED PARKING STRIPING

NOTES:

- PROVIDE 3" SDR 35 ROOF LEADERS FROM ALL FRONT DOWNSPOUTS TO THE CURB. WHERE THERE IS FLUSH WALK IN FRONT OF A DOWNSPOUT, TIE TO THE NEXT ADJACENT LINE THAT CAN OUTLET TO THE CURB, UNLESS A DIRECT CATCH BASIN TIE IN IS INDICATED ON PLAN. PROVIDE ADAPTER PER SHEET C301.
- THE ABOVE DISTURBANCE IS UNDER THE DE-MINIMIS REQUIREMENTS FOR DETENTION OF CREATING 10,000 SQ.FT. OR LESS OF IMPERVIOUS AREA DISTURBANCE AND/OR NOT CREATING MORE THAN 2,000 SQ.FT. OF NEW NET IMPERVIOUS AREA. HOWEVER, FOR ANY FUTURE DEVELOPMENTS ON THIS SITE, THE ABOVE DISTURBANCE WILL BE ADDED TO ANY NEW DISTURBANCE PROPOSED, AND HENCE ALL DEVELOPMENT WILL BE CUMULATIVE.
- FOLLOWING MILL AND OVERLAY, PARKING LOT IS TO BE RE-STRIPED PER PLAN
- CONTRACTOR IS TO CONFIRM GRADES AT PROPOSED HANDICAPPED RAMP LOCATIONS. IF ADA SLOPES CANNOT BE OBTAINED AT THE LOCATION CALLED FOR, COORDINATE WITH ARCHITECT/ENGINEER TO ADJUST HC PARKING/RAMP LOCATIONS

DIVISION OF POWER NOTE

THE DIVISION OF POWER (DOP) MAY HAVE OVERHEAD AND UNDERGROUND PRIMARY, SECONDARY, AND STREET LIGHTING AT THIS WORK LOCATION. THE CONTRACTOR IS HEREBY REQUIRED TO CONTACT CUPS AT 811 OR 1-800-369-2764 FORTY-EIGHT HOURS PRIOR TO CONDUCTING ANY ACTIVITY WITHIN THE CONSTRUCTION AREA.

ANY REQUIRED RELOCATION, SUPPORT, PROTECTION OR ANY OTHER ACTIVITY CONCERNED WITH THE CITY'S ELECTRICAL FACILITIES IN THE CONSTRUCTION AREA IS TO BE PERFORMED BY THE CONTRACTOR UNDER THE DIRECTION OF DOP PERSONNEL AND AT THE EXPENSE OF THE PROJECT. DOP SHALL MAKE ALL FINAL CONNECTIONS TO DOP'S EXISTING ELECTRICAL SYSTEM AT THE EXPENSE OF THE PROJECT. THE CONTRACTOR SHALL USE MATERIAL AND MAKE REPAIRS TO A CITY OF COLUMBUS STREET LIGHTING SYSTEM BY FOLLOWING DOP'S "MATERIAL AND INSTALLATION SPECIFICATIONS" (MIS) AND THE CITY OF COLUMBUS "CONSTRUCTION AND MATERIAL SPECIFICATIONS" (CMSC). ANY NEW OR REINSTALLED UNDERGROUND STREETLIGHT SYSTEM SHALL REQUIRE TESTING AS REFERRED TO IN SECTION 1000.18 OF THE CMSC MANUAL. THE CONTRACTOR SHALL CONFORM TO DOP'S EXISTING STREET LIGHT LOCKOUT/TAGOUT (LOTO) PROCEDURE, MIS-1, COPIES OF WHICH ARE AVAILABLE FROM DOP.

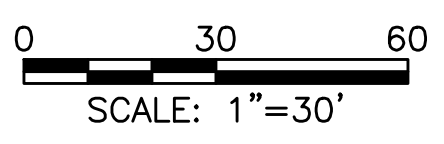
IF ANY ELECTRICAL FACILITY BELONGING TO DOP IS DAMAGED IN ANY MANNER BY THE CONTRACTOR, ITS AGENTS, SERVANTS, OR EMPLOYEES AND REQUIRES EMERGENCY REPAIRS, THE DOP DISPATCH OFFICE SHOULD BE CONTACTED IMMEDIATELY AT (614) 645-7627. DOP SHALL MAKE ALL NECESSARY REPAIRS AND THE EXPENSE OF SUCH REPAIRS AND OTHER RELATED COSTS SHALL BE PAID BY THE CONTRACTOR TO THE DIVISION OF POWER, CITY OF COLUMBUS, OHIO.

DIVISION OF WATER NOTE

PROPOSED HOT BOX AND BACKFLOW PREVENTER ON 8" SERVICE ARE TO BE INSTALLED UNDER AN APPROVED ADDENDUM TO WSP2754.

LEGEND

- 1 1/2" ASPHALT MILL AND OVERLAY
- PROPOSED CONCRETE WALK



#	DATE	CHANGE DESCRIPTION

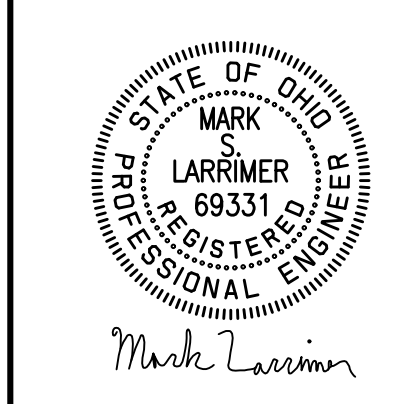
THE MEADOWS RAD RENOVATIONS
 8855 PINTAIL CREEK DRIVE
 COLUMBUS, OH 43110
COLUMBUS METROPOLITAN HOUSING AUTHORITY

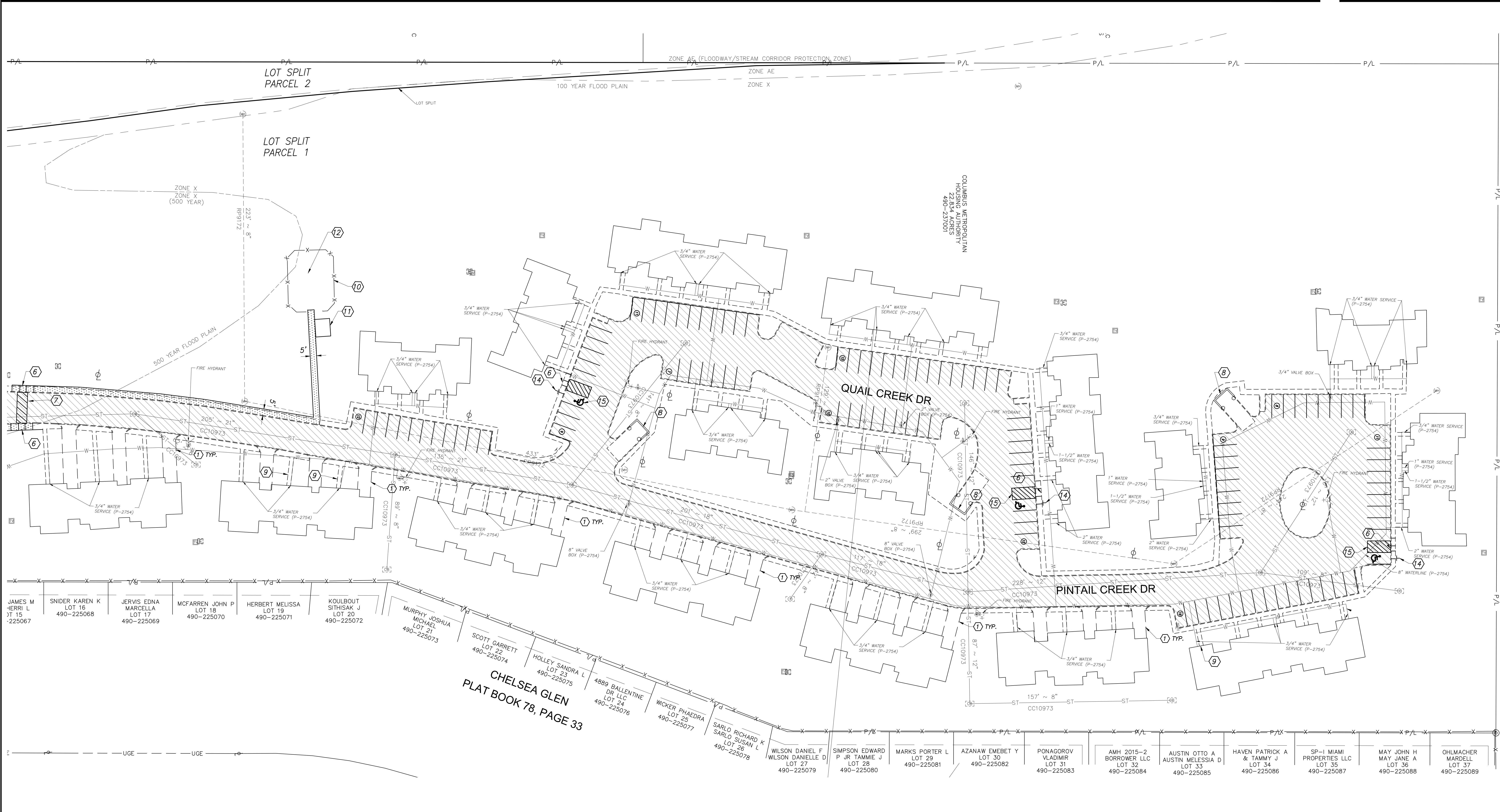
Moody Nolan
 300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881
 CERTIFICATE NO. FIRM 00197475

FINAL SITE COMPLIANCE PLAN

DRAWING TITLE: FINAL SITE COMPLIANCE PLAN
 DATE: 08/14/2025
 DRAWN BY: XXX CHECKED BY: MSL
 18076.04
C101
 BID/PERMIT SET

Final Site Compliance Plan #23345-00180		
DPS Improvements in the Right-of-Way		Other associated plans





CODING NOTES

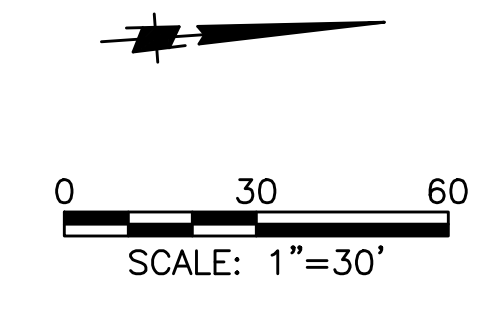
- EXISTING DRIVEWAY TO BE RESEALED
- PROPOSED CURB RAMP, SEE DETAIL SHEET 301
- PROPOSED FLUSH SIDEWALK
- TRANSITION CURB 0" TO 6" (TO MATCH EX.) OVER 2"
- FLUSH WALK
- PROPOSED PARALLEL RAMP, SEE DETAIL SHEET 301
- PAINT STRIPED CROSSWALK
- EXISTING DUMPSTERS
- REPLACE WALK TO UNIT
- REMOVE EXISTING FENCE AND MULCH AND REPLACE COORDINATING EXTENTS WITH EQUIPMENT PROVIDER. PROVIDE NEW POURED PLAY SURFACE AND PROVIDE AND INSTALL NEW TRASH RECEPTACLE TO MATCH EXISTING BENCHES.
- EXISTING CONCRETE PAD AND BENCHES TO REMAIN
- EXISTING PLAYGROUND
- PROPOSED HOT BOX, INSTALL PER WSP2754
- HANDICAPPED PARKING SIGN
- HANDICAPPED PARKING STRIPING

NOTES:

- PROVIDE 3" SDR 35 ROOF LEADERS FROM ALL FRONT DOWNSPOUTS TO THE CURB WHERE THERE IS FLUSH WALK IN FRONT OF A DOWNSPOUT, TIE TO THE NEXT ADJACENT LINE THAT CAN OUTLET TO THE CURB, UNLESS A DIRECT CATCH BASIN TIE IN IS INDICATED ON PLAN. PROVIDE ADAPTER PER SHEET C301.
- THE ABOVE DISTURBANCE IS UNDER THE DE-MINIMIS REQUIREMENTS FOR DETENTION OF CREATING 10,000 SQ.FT. OR LESS OF IMPERVIOUS AREA DISTURBANCE AND/OR NOT CREATING MORE THAN 2,000 SQ.FT. OF NEW, NET IMPERVIOUS AREA. HOWEVER, FOR ANY FUTURE DEVELOPMENTS ON THIS SITE, THE ABOVE DISTURBANCE WILL BE ADDED TO ANY NEW DISTURBANCE PROPOSED, AND HENCE ALL DEVELOPMENT WILL BE CUMULATIVE.
- FOLLOWING MILL AND OVERLAY, PARKING LOT IS TO BE RE-STRIPED PER PLAN
- CONTRACTOR IS TO CONFIRM GRADES AT PROPOSED HANDICAPPED RAMP LOCATIONS. IF ADA SLOPES CANNOT BE OBTAINED AT THE LOCATION CALLED FOR, COORDINATE WITH ARCHITECT/ENGINEER TO ADJUST HC PARKING/RAMP LOCATIONS

LEGEND

- 1 1/2" ASPHALT MILL AND OVERLAY
- PROPOSED CONCRETE WALK



CHelsea GLEN
PLAT BOOK 78, PAGE 33

#	DATE	CHANGE DESCRIPTION

THE MEADOWS RAD RENOVATIONS
4855 PINTAIL CREEK DRIVE
COLUMBUS, OH 43115
FOR
COLUMBUS METROPOLITAN HOUSING AUTHORITY

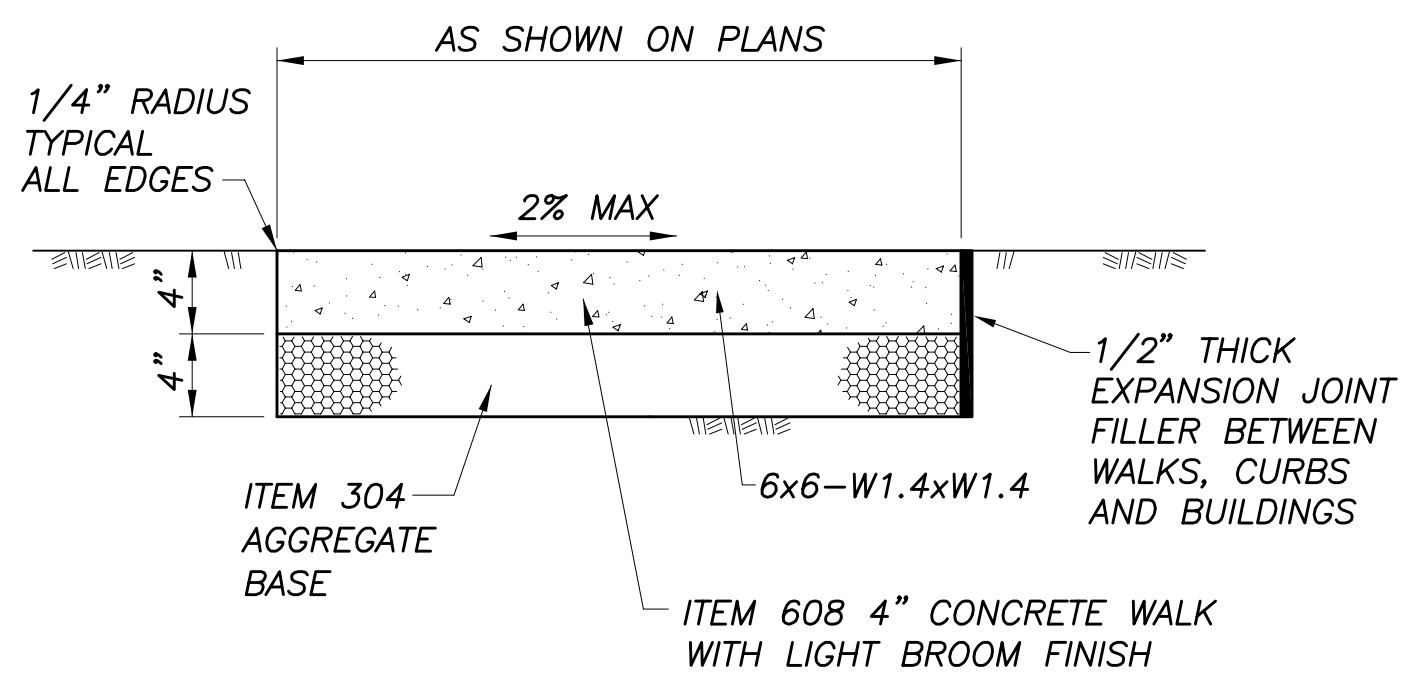
Moody Nolan
300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881
CERTIFICATE NO. FIRM 00197475

FINAL SITE COMPLIANCE PLAN

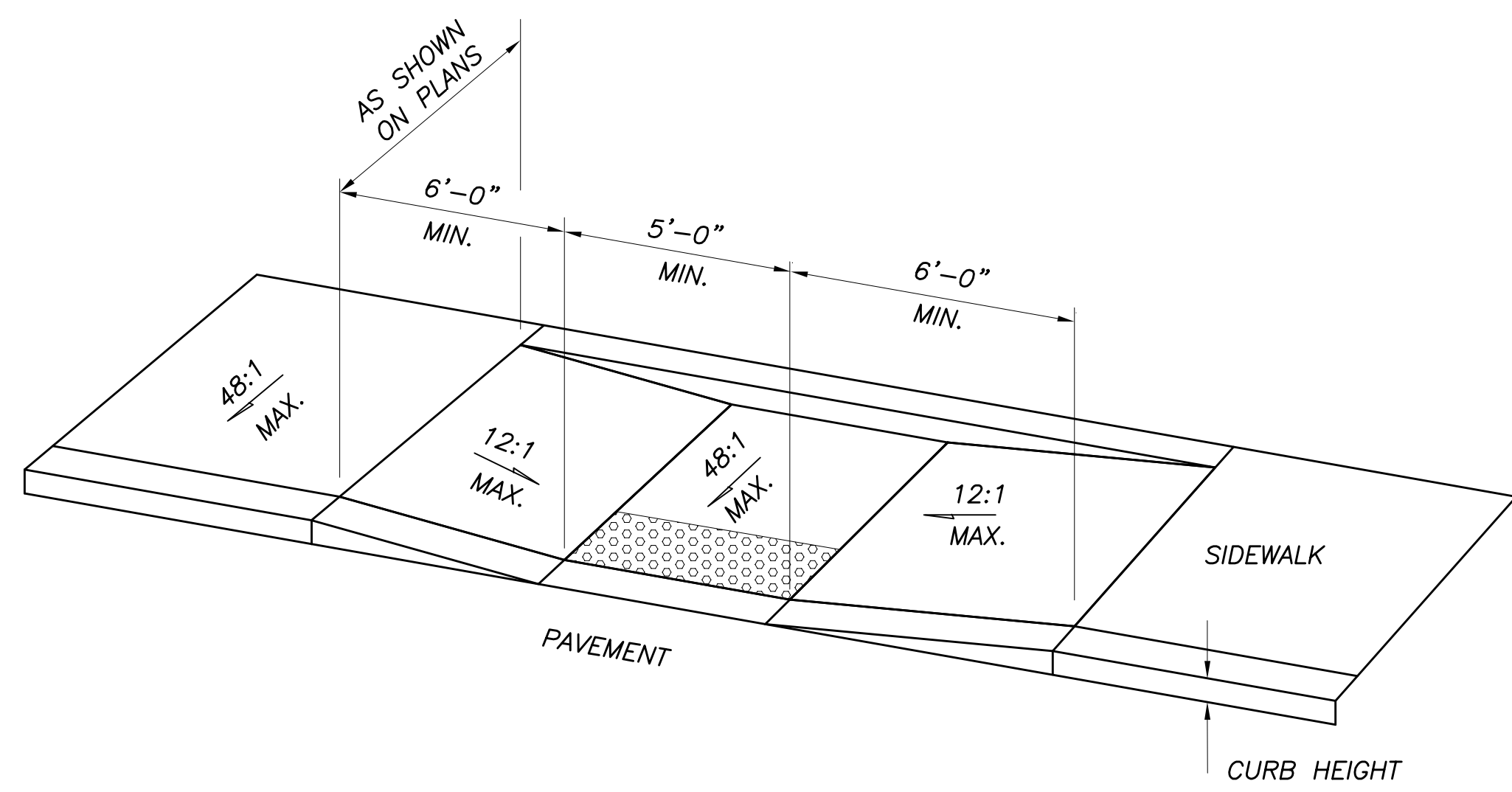
DRAWING TITLE:
FINAL SITE COMPLIANCE PLAN

DATE: 08/14/2025
DRAWN BY: XXXX CHECKED BY: MSL
18076.04

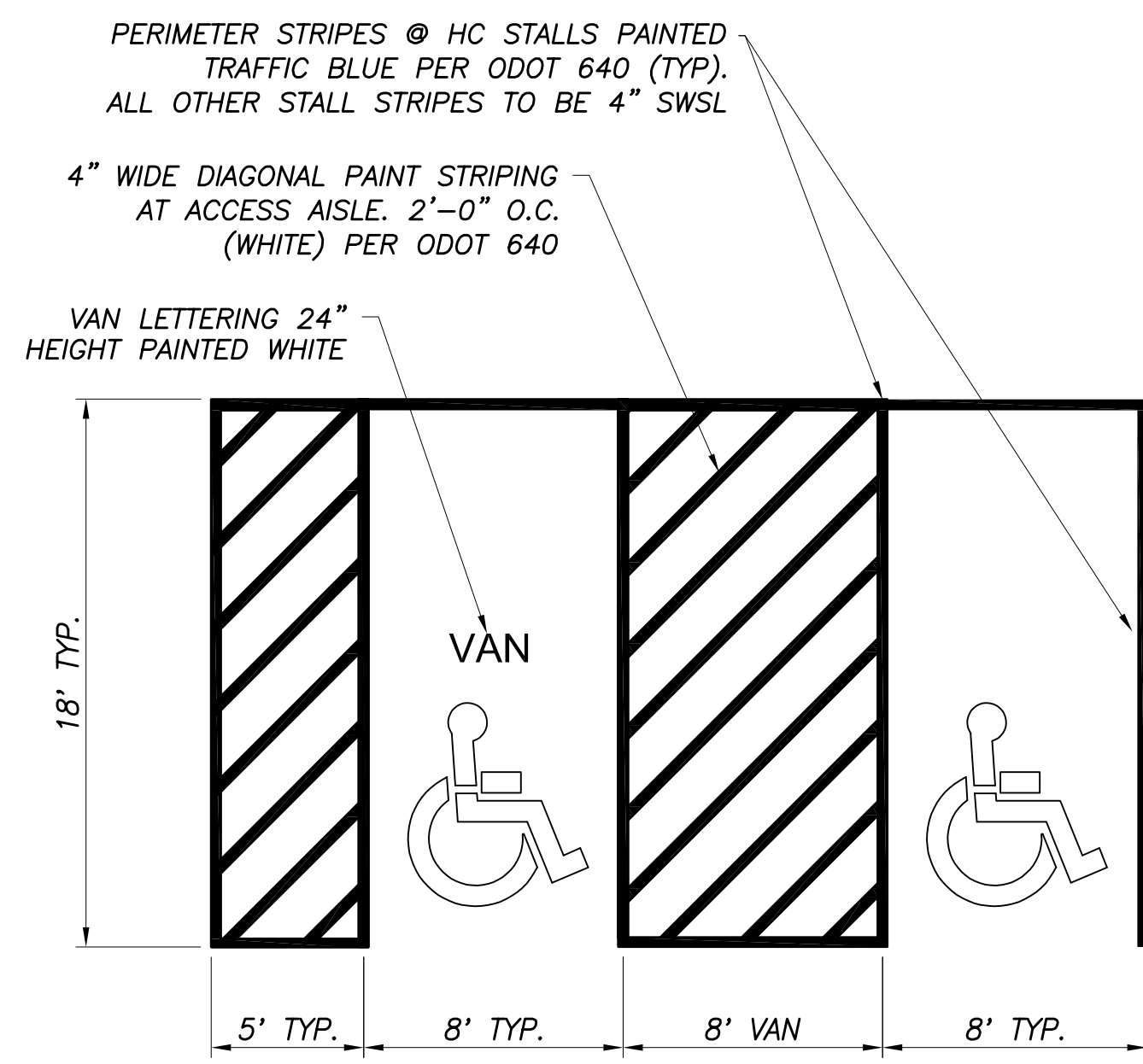
C102
BID/PERMIT SET



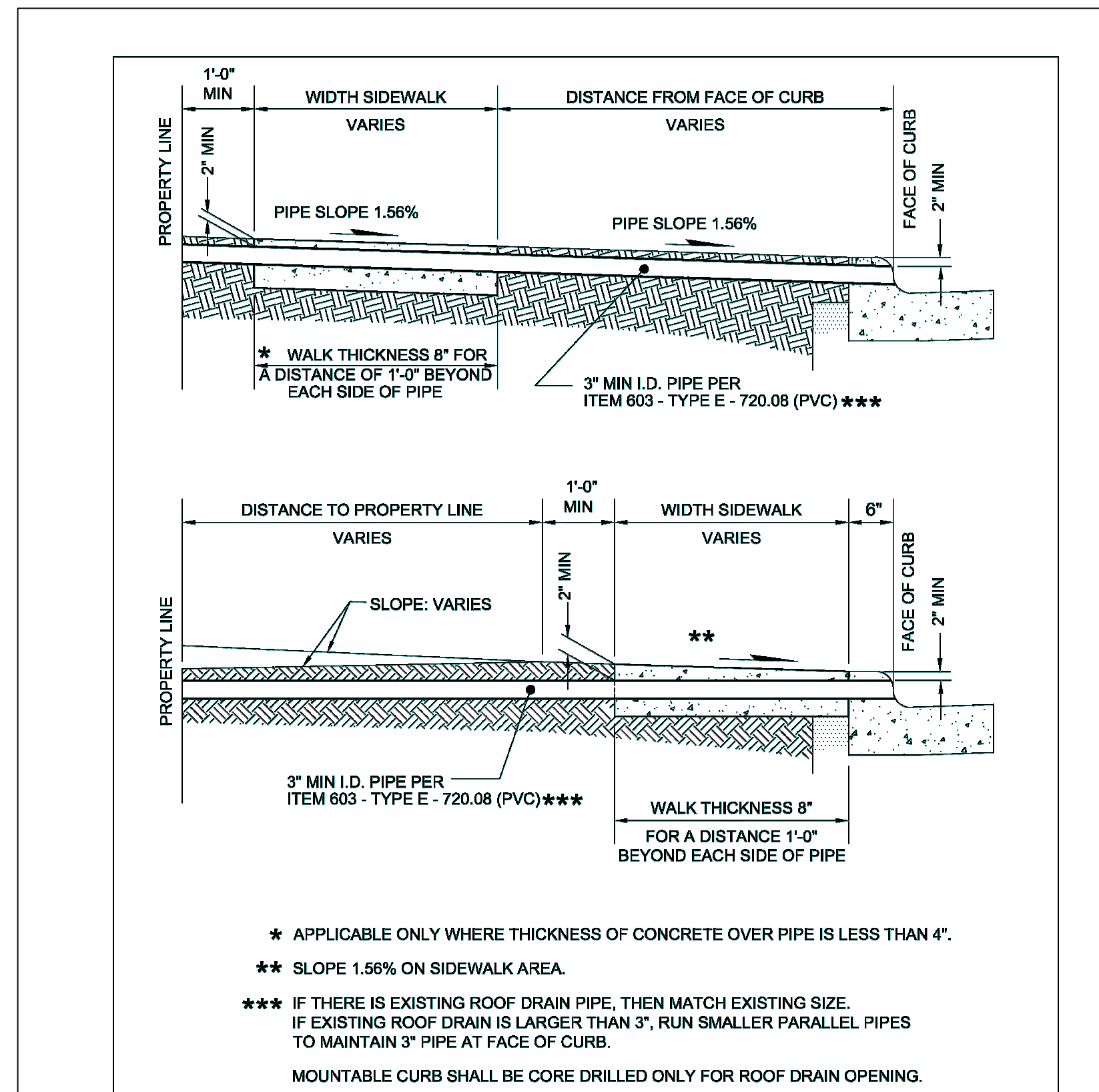
CONCRETE WALKS
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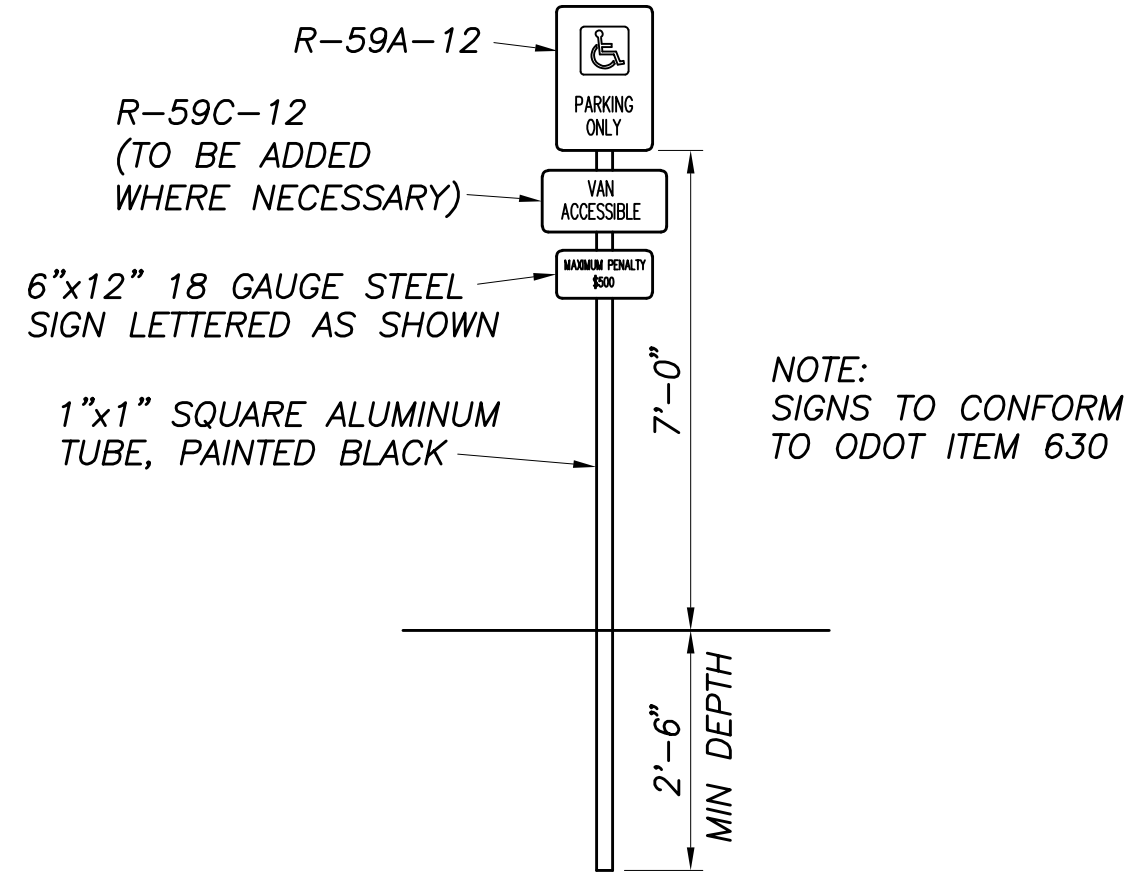
HANDICAP RAMP
NO SCALE
WITH DETECTABLE WARNING



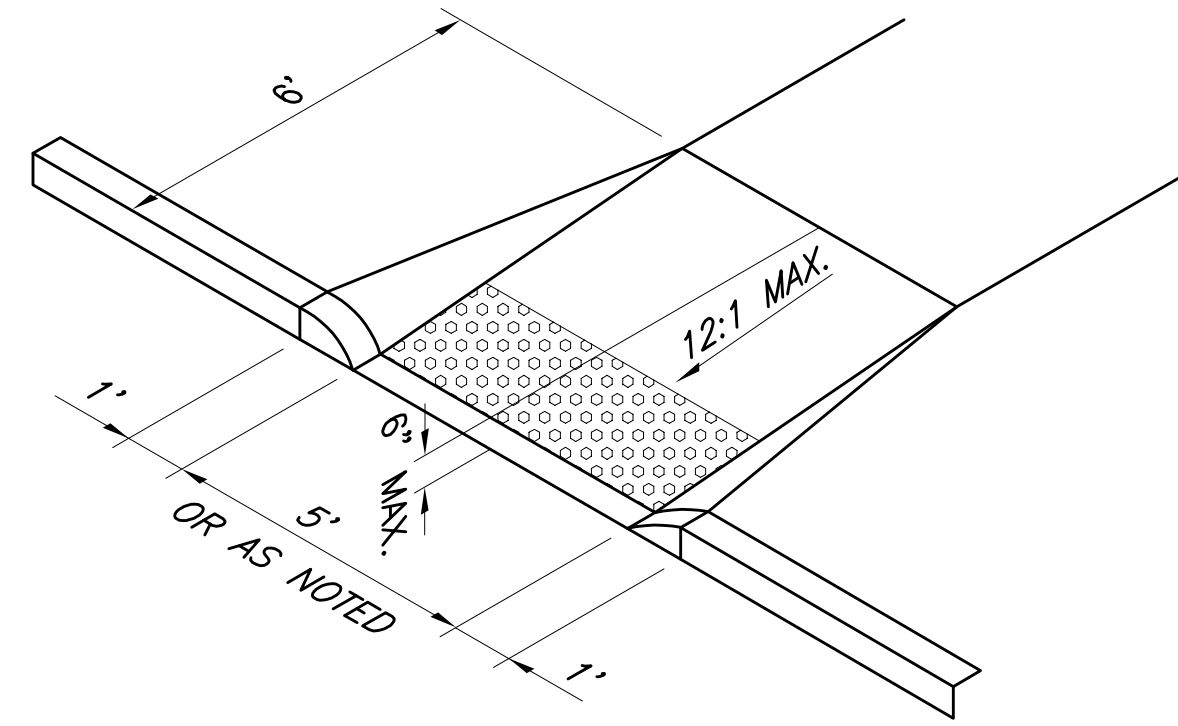
HANDICAP PARKING STALL STRIPING
NO SCALE



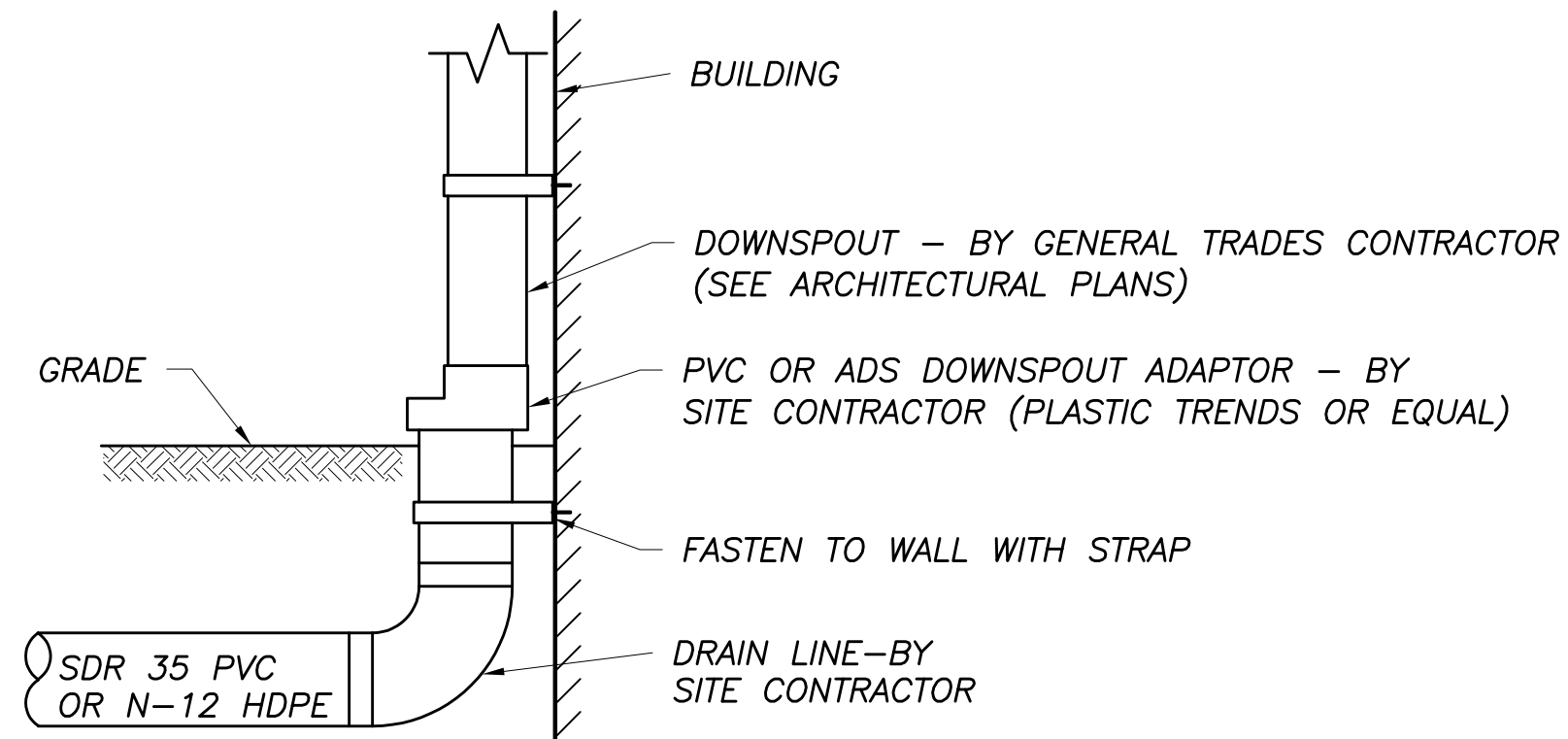
ROOF LEADER
NO SCALE



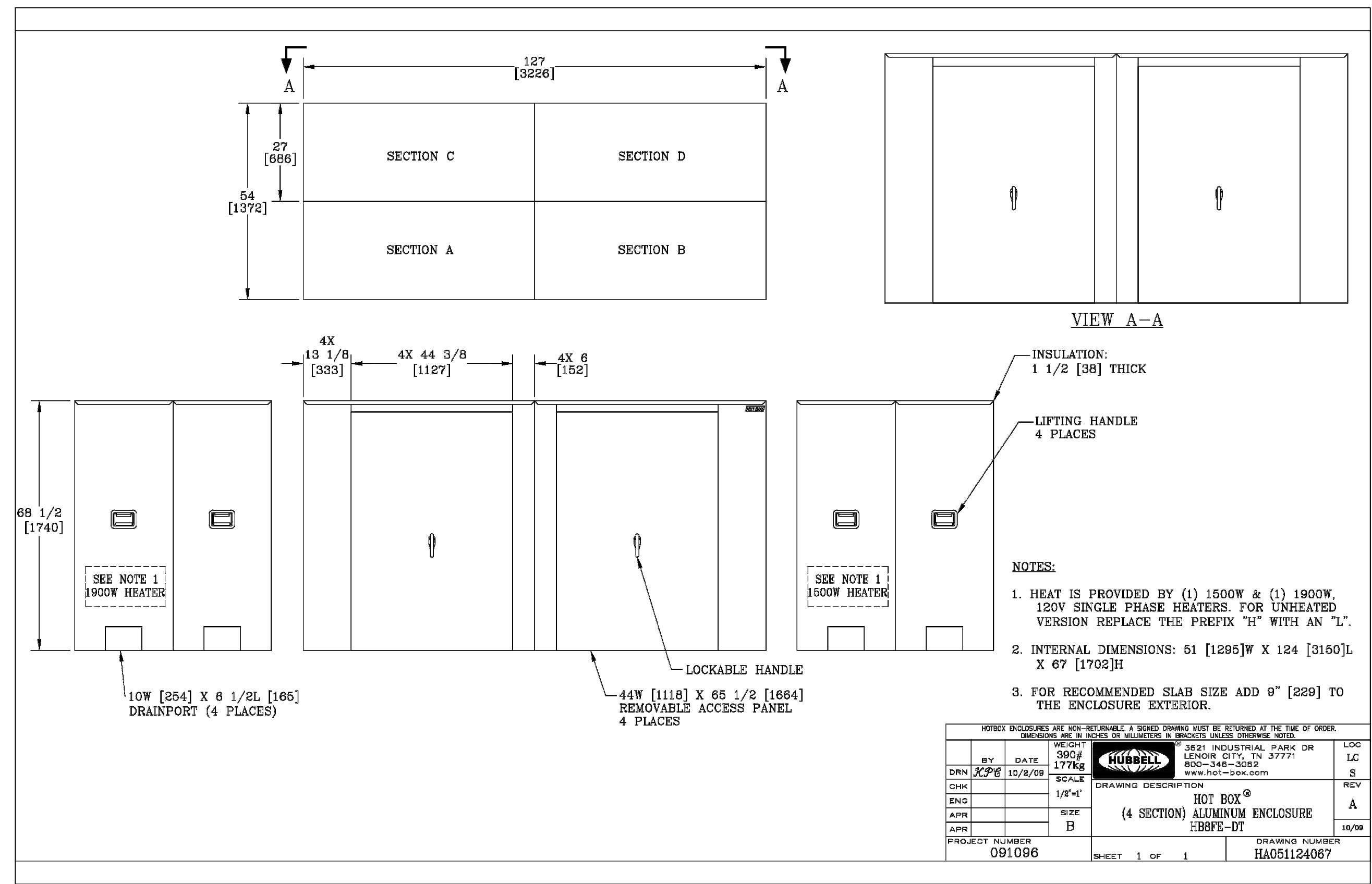
HANDICAP PARKING SIGN
NO SCALE



HANDICAP RAMP
NO SCALE
WITH DETECTABLE WARNING



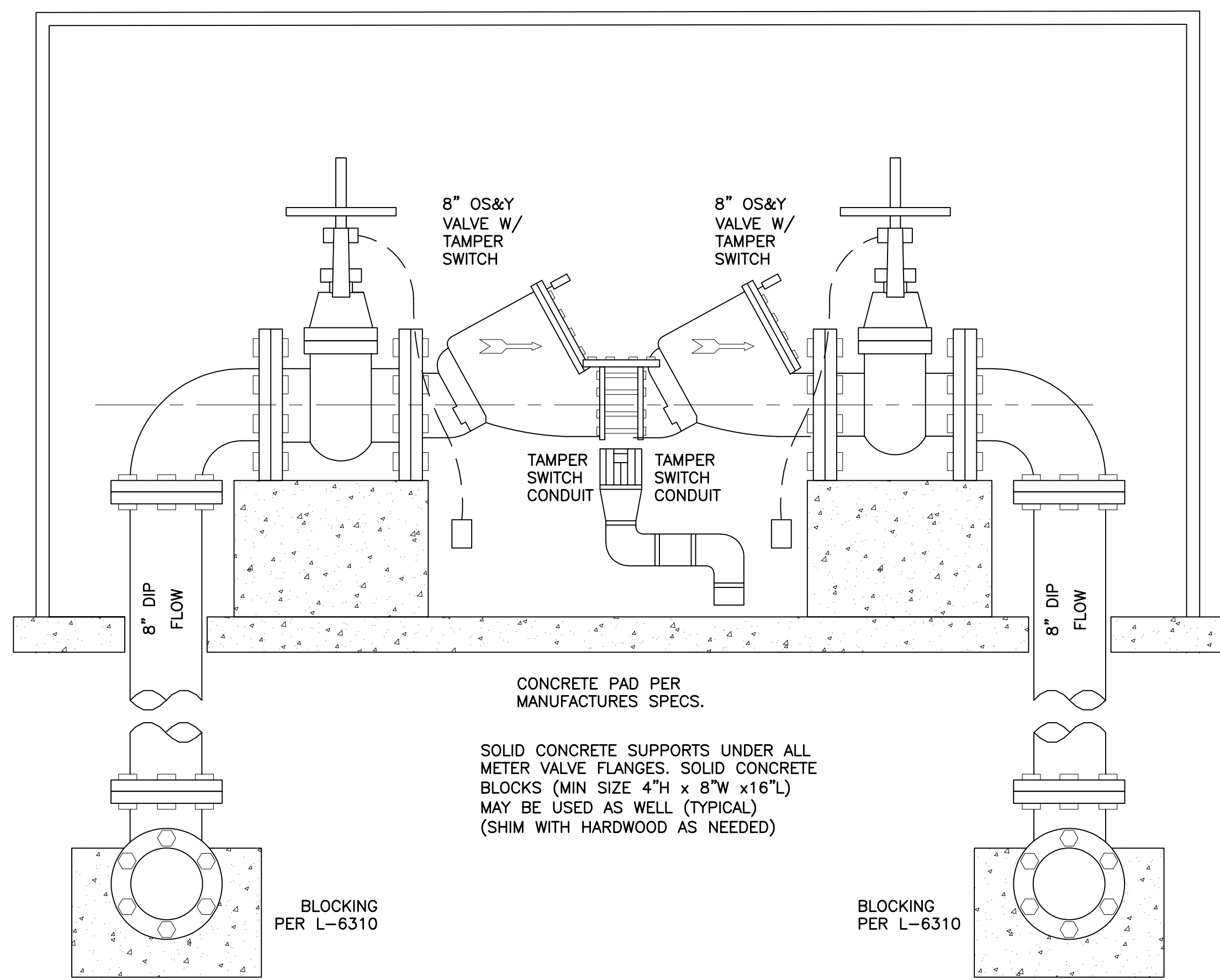
DOWNSPOUT w/ ADAPTER CONNECTION
NO SCALE



NOTE:
A CUSTOM DIMENSION HOT BOX WILL BE REQUIRED FOR INSTALLATION. DETAIL PROVIDED FOR GENERAL GUIDANCE ONLY.

FOR RECOMMENDED SLAB SIZE, ADD 24" TO THE EXTERIOR SIDES (WITH DOORS) AND 6" TO THE EXTERIOR SIDES (WITHOUT DOORS).

ENCLOSURE DETAIL
NO SCALE



FIRE R.P.D.A. TO BE OS&Y VALVES ONLY.
R.P.D.A. DETECTOR METER SHALL MEASURE IN CUBIC FEET AND MEET THE AWWA C-700 STANDARD AND BE EQUIPPED WITH ITRON 100W (TOWER) OR A 100R (REMOTE)

8" HOT BOX WITH BACKFLOW PREVENTER
SCALE: 1"=1'

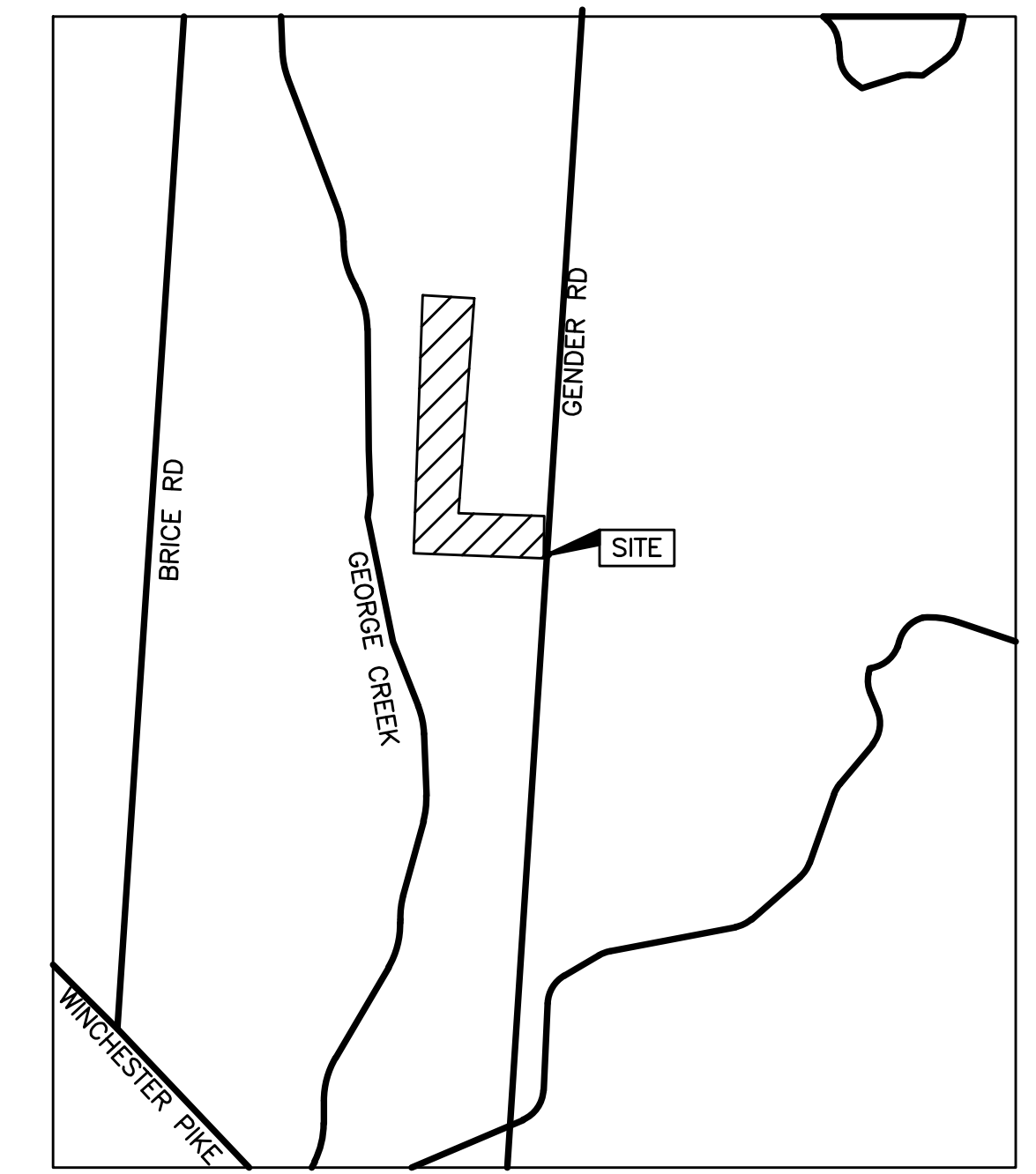
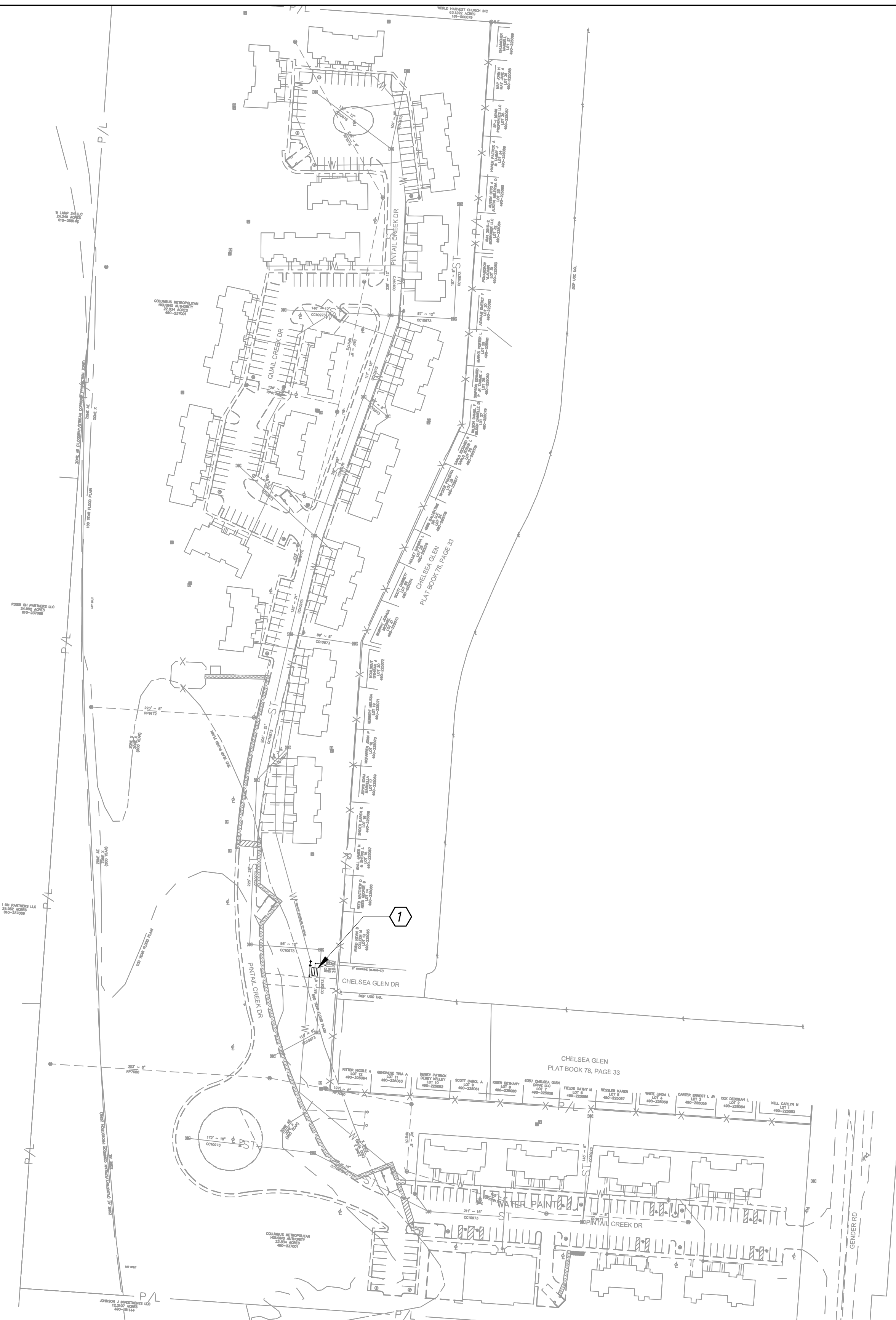
#	DATE	CHANGE DESCRIPTION

THE MEADOWS RAD RENOVATIONS
4855 PINTAL CREEK DRIVE
COLUMBUS, OH 43110
FOR
COLUMBUS METROPOLITAN HOUSING AUTHORITY

Moody Nolan
300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881
CERTIFICATE NO: FIRM 00197475

DRAWING TITLE: **DETAILS**

DATE: 08/14/2025
DRAWN BY: XXXX CHECKED BY: MSL
18076.04
C301
BID/PERMIT SET



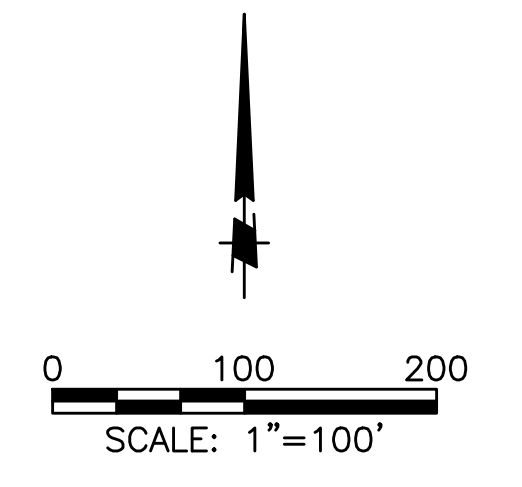
LOCATION MAP
NO SCALE

CODED NOTES

- ① INSTALL NEW 8" BACKFLOW PREVENTER IN HEATED ENCLOSURE PER DETAILS ON SHEET 4.

INSTALLATION SEQUENCE

1. MAINTAIN EXISTING PRIVATE CWS WATER SERVICE AND METER WHILE INSTALLING NEW SERVICE PIPING, ABOVE GROUND ENCLOSURE AND BACKFLOW PREVENTER.
2. INSTALL 8" COMBINED SERVICE LINE TO NEW ABOVE GROUND ENCLOSURE
3. TURN OFF EXISTING PRIVATE SERVICE.
4. CUT EXISTING PRIVATE SERVICE AND INSTALL 90 DEGREE HORIZONTAL BEND & TEE TO SERVICE.
5. REINSTATE PRIVATE WATER SERVICE.



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DATE: 02/20/24 4:59pm

EASEMENT REFERENCE			GRANTOR
CITY NO.	COUNTY RECORDER VOL.	PAGE	

REVISIONS		
NO.	DESCRIPTION	APPROVAL/DATE

PLAN PREPARED BY:

**300 SPRUCE STREET
SUITE 200
COLUMBUS, OHIO 43215**

P: 614 280 8999

MOODY-ENG.COM

Mark Larrimer
REGISTERED ENGINEER
1/5/2023
DATE

CITY OF COLUMBUS DIVISION OF WATER APPROVAL

SIGNATURES BELOW SIGNIFY ONLY CONCURRENCE WITH THE GENERAL PURPOSES AND GENERAL LOCATION OF THE PROJECT. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE ENGINEER PREPARING THE PLANS.

JKM

DocuSigned by: [Signature]

12/13/2024

DATE

PROJECT TITLE:

**WATER SERVICE PLAN
COLUMBUS METROPOLITAN HOUSING
AUTHORITY MEADOWS
PINTAIL CREEK ROAD
PARCEL ID # 490-237001
COLUMBUS, OHIO 43110**

WSP P-2754

SHEET: 1/3

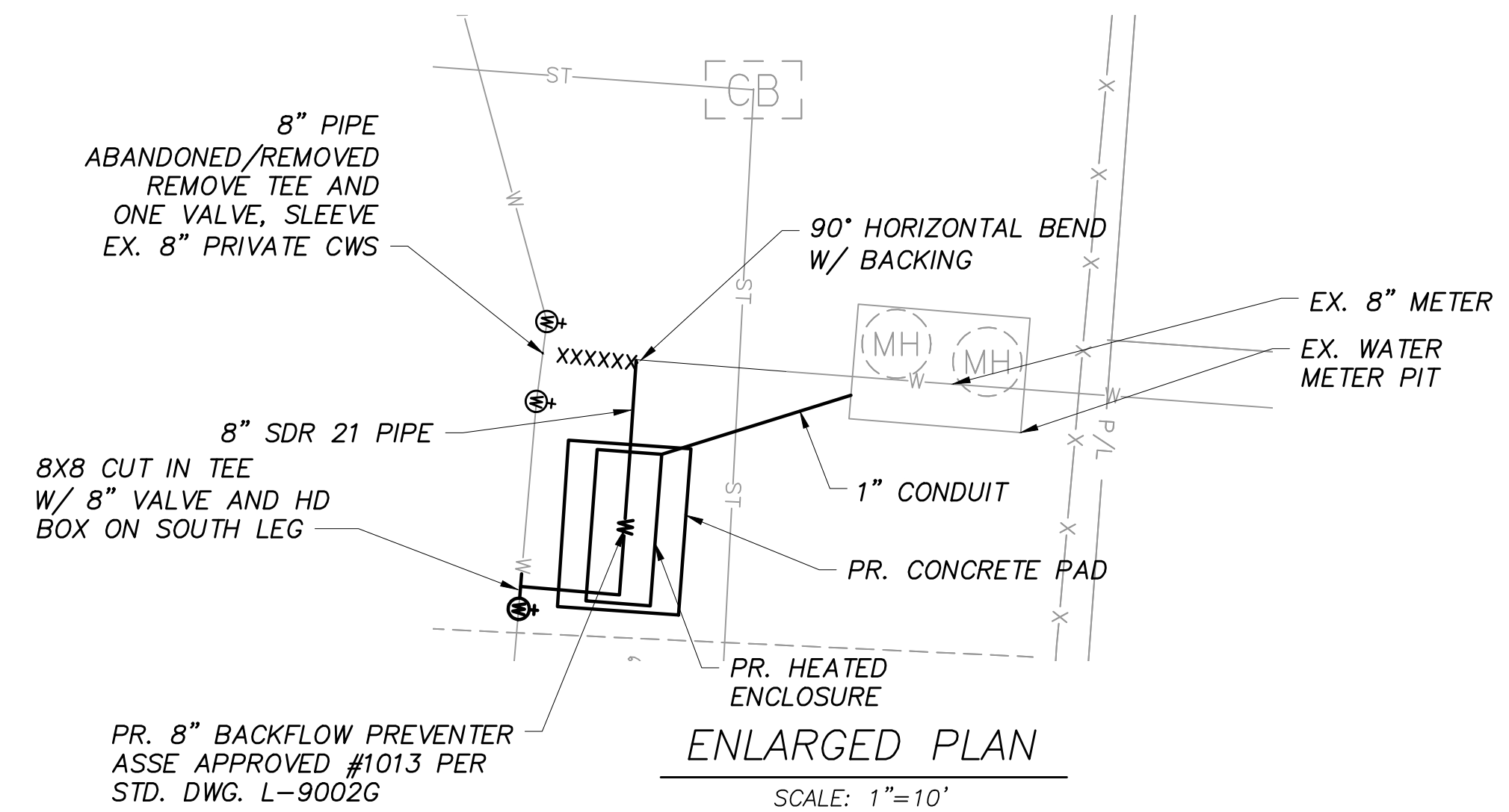
WATER SERVICE NOTES (SEPTEMBER 2023 EDITION)

1. N/A
2. NO WATER SERVICE CONSTRUCTION, BEFORE OR AFTER THE WATER METER(S), SHALL BEGIN PRIOR TO FEE PAYMENT TO THE UTILITY PERMITS OFFICE AT 111 N. FRONT STREET (614-645-7330).
3. THE CITY OF COLUMBUS, CONSTRUCTION AND MATERIAL SPECIFICATIONS (CMSC), 2018 EDITION AND ALL REVISIONS, INCLUDING SPECIAL PROVISIONS AND SUPPLEMENTAL SPECIFICATIONS SHALL GOVERN THIS IMPROVEMENT, UNLESS OTHERWISE NOTED.
4. ALL WATER LINE MATERIALS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE CURRENT APPROVED MATERIALS LIST AND RULES AND REGULATIONS OF THE CITY OF COLUMBUS, DIVISION OF WATER, UNLESS OTHERWISE SHOWN ON THE PLANS OR APPROVED BY THE CITY OF COLUMBUS, DIVISION OF WATER. ONLY PRODUCTS LISTED ON THE CURRENT APPROVED MATERIALS LIST WILL BE PERMITTED TO BE INSTALLED.
5. IT SHALL BE UNLAWFUL FOR ANY PERSON TO PERFORM ANY WORK ON THE PUBLIC WATER DISTRIBUTION SYSTEM WITHOUT FIRST SECURING A LICENSE TO ENGAGE IN SUCH WORK, AS INDICATED IN COLUMBUS CITY CODE SECTIONS 1103.02 AND 1103.06. THIS WORK INCLUDES ANY ATTACHMENTS, ADDITIONS TO OR ALTERATIONS IN ANY CITY SERVICE PIPE OR APPURTENANCES (INCLUDING WATER SERVICE LINES AND WATER SERVICE TAPS). THIS REQUIREMENT MAY BE MET BY UTILIZATION OF A SUBCONTRACTOR WHO POSSESSES A CITY OF COLUMBUS WATER CONTRACTOR LICENSE OR A COMBINED WATER/SEWER CONTRACTOR LICENSE TO PERFORM THIS WORK. UTILIZATION OF A SUBCONTRACTOR MUST MEET THE LICENSING REQUIREMENTS OF CITY OF COLUMBUS BUILDING CODE SECTIONS 4114.119 AND 4114.529.
6. FOR ANY EMERGENCIES THAT OCCUR AFTER NORMAL WORKING HOURS INVOLVING THE WATER DISTRIBUTION SYSTEM, PLEASE CONTACT THE DIVISION OF WATER DISTRIBUTION MAINTENANCE OFFICE AT 614-645-7788.
7. SITE UTILITY CONTRACTOR SHALL OBTAIN A RIGHT OF WAY PERMIT PRIOR TO THE START OF ANY WATER SERVICE LINE AND/OR WATER SERVICE TAP INSTALLATION OR ANY PLACEMENT OF WATER SERVICE MATERIALS INTO THE PUBLIC RIGHT OF WAY.
8. EXISTING RIGHT OF WAY LINE(S), PROPOSED RIGHT OF WAY LINE(S) AND/OR WATER MAIN EASEMENT LINE(S) SHALL BE STAKED AT 10 FOOT INCREMENTS BY A STATE OF OHIO LICENSED SURVEYOR WHEN THE WATER SERVICE TAP(S) AND/OR WATER SERVICE(S) ARE INSTALLED AND INSPECTED BY THE CITY OF COLUMBUS, DIVISION OF WATER.
9. SITE UTILITY CONTRACTOR SHALL OBTAIN A PERMIT FROM THE CITY OF COLUMBUS--CITY FORESTER AT 614-645-6640 FOR ANY WORK DONE WITHIN 10 FEET OF A TREE IN THE RIGHT OF WAY.
10. THERE SHALL BE A 10 FOOT MINIMUM HORIZONTAL AND 18 INCH VERTICAL SEPARATION BETWEEN WATER SERVICE TAP(S), WATER SERVICE LINE(S), PRIVATE WATER SYSTEMS AND ANY SANITARY AND/OR STORM SEWER SYSTEMS, UNLESS OTHERWISE APPROVED BY THE CITY OF COLUMBUS, DIVISION OF WATER.
11. ALL INSPECTIONS REQUIRE A 24 HOUR ADVANCE NOTICE.
12. N/A
13. N/A
14. SITE UTILITY CONTRACTOR SHALL FLUSH ALL WATER SERVICES PRIOR TO ANY WATER METER INSTALLATION. THE CITY OF COLUMBUS IS NOT RESPONSIBLE FOR ANY CITY WATER METER DAMAGE CAUSED BY NON-FLUSHING.
15. N/A
16. N/A
17. N/A
18. N/A
19. N/A
20. N/A
21. N/A
22. SITE UTILITY CONTRACTOR SHALL CALL COLUMBUS DIVISION OF WATER AT 614-645-7330 FOR INSPECTION AND HYDROSTATIC TEST OF 4" AND LARGER WATER SERVICE TAPS FROM THE WATER MAIN THRU THE CONTROL VALVE AND WATER SERVICES FROM THE CONTROL VALVE THRU THE WATER METER SETTING. HYDROSTATIC TEST SHALL BE PER CMSC ITEM 805.05 AND SHALL BE PERFORMED FROM THE WATER MAIN THRU THE WATER METER SETTING.
23. ALL 4" THRU 12" WATER SERVICE PIPE SHALL BE ONLY DUCTILE IRON FROM THE CITY WATER MAIN THRU THE CITY WATER METER SETTING(S) INCLUDING THE METER BYPASS.
24. N/A
25. N/A
26. N/A
27. N/A

28. N/A
29. BACKFLOW PREVENTION ASSEMBLY(S) SHALL BE INSTALLED, WHERE REQUIRED, PER COLUMBUS DIVISION OF WATER STANDARD DETAIL DRAWINGS L-9002 A THRU G. CONTRACTOR(S) SHALL CALL 614-645-6674 WITH BACKFLOW PREVENTION QUESTIONS. CONTRACTOR(S) SHALL CALL 614-645-8119 TO SCHEDULE BACKFLOW PREVENTION INSPECTION REQUESTS.
30. N/A
31. COMBINATION WATER SERVICE BACKFLOW PREVENTER(S) SHALL MEET THE ASSE #1013 APPROVAL/STANDARD.
32. N/A
33. N/A
34. N/A
35. A 1" I.D. CONDUIT WITH 1 DRAWSTRING PER WATER METER SHALL BE PROVIDED BY THE SITE UTILITY CONTRACTOR FROM THE WATER METER VAULT TO THE HEATED ENCLOSURE. CONDUIT SHALL EXTEND 6" INTO THE METER VAULT AND BE CLEAR OF ALL ACCESS PORTALS. CONDUIT SHALL BE CORE DRILLED AND EXTEND 24" UP ABOVE THE CONCRETE SLAB FOR THE RATED ENCLOSURE ALONG THE HEATER WALL. CONDUIT SHALL HAVE A MINIMUM BURY OF 24" FROM THE VAULT TO THE HEATED ENCLOSURE. CONDUIT SHALL BE FOR THE REMOTE WIRES ONLY. ANY OTHER WIRING SHALL HAVE A SEPARATE CONDUIT.
36. IF DOMESTIC AND/OR FIRE WATER SERVICE METER(S) AND/OR THEIR BACKFLOW PREVENTER(S) ARE TO BE LOCATED INSIDE AN ABOVE GROUND HEATED ENCLOSURE, THE ENCLOSURE SHALL BE ASSE #1060 CLASS 1 APPROVED. THE ENCLOSURE SHALL HAVE A THERMOSTATICALLY OPERATED HEATER. THE SIZE AND NUMBER OF HEATER(S) SHALL BE PER THE ENCLOSURE MANUFACTURER'S SPECS TO MAINTAIN A 40 DEGREE FAHRENHEIT INSIDE TEMPERATURE AT AN OUTSIDE TEMPERATURE OF MINUS 30 DEGREE FAHRENHEIT. HEAT TAPE/RODS WILL NOT BE PERMITTED.
37. BACKFLOW PREVENTION DEVICES MUST BE TESTED AT THE TIME OF INSTALLATION BY A TESTER APPROVED BY THE DIVISION OF WATER BACKFLOW COMPLIANCE OFFICE. A COMPLETE LIST OF APPROVED TESTERS CAN BE FOUND AT WWW.COLUMBUS.GOV/BACKFLOW/CONSUMERS. RESULTS MUST BE SUBMITTED THROUGH THE ONLINE WEB SUBMITTAL SYSTEM AT [HTTPS://CORE.COLUMBUS.GOV/TOKAYFLOW/](https://CORE.COLUMBUS.GOV/TOKAYFLOW/).

UNDERGROUND PRIVATE WATER SYSTEM(S) AFTER THE CITY WATER METER(S)


38. SITE UTILITY CONTRACTOR SHALL CALL THE LOCAL BUILDING AUTHORITY FOR INSPECTION OF UNDERGROUND PRIVATE DOMESTIC AND/OR FIRE WATER SYSTEM(S) AFTER THE CITY WATER METER(S). THIS WILL INCLUDE DOMESTIC WATER LOOPS AND FIRE WATER LOOPS INCLUDING PRIVATE FIRE HYDRANTS THRU THE SITE BEFORE COVERING.
39. N/A
40. SITE UTILITY CONTRACTOR SHALL CALL COLUMBUS DIVISION OF FIRE AT 614-645-8673 FOR FLUSHING AND/OR PRESSURE TEST INSPECTION OF PRIVATE COMBINED (I.E. DOMESTIC AND FIRE) SYSTEM AFTER THE CITY WATER SERVICE METER AND BACKFLOW PREVENTER.
41. ALL PIPE MATERIAL FOR THE UNDERGROUND PRIVATE WATER SYSTEM AFTER THE CITY WATER METER SHALL MEET THE REQUIREMENTS OF THE LOCAL BUILDING AUTHORITY HAVING JURISDICTION.



CONTRACTOR SHALL PREPARE NEW HEATED ENCLOSURE WITH BACK FLOW PREVENTER, DO ALL TESTS AND DO TIE IN WITH ONE SHUTDOWN (SHOULD NOT BE MORE THAN 4 HOURS) AND COMPLETE. SHUT DOWN PERIOD IS TO BE COORDINATED WITH OWNER AT LEAST TWO WEEKS IN ADVANCE.

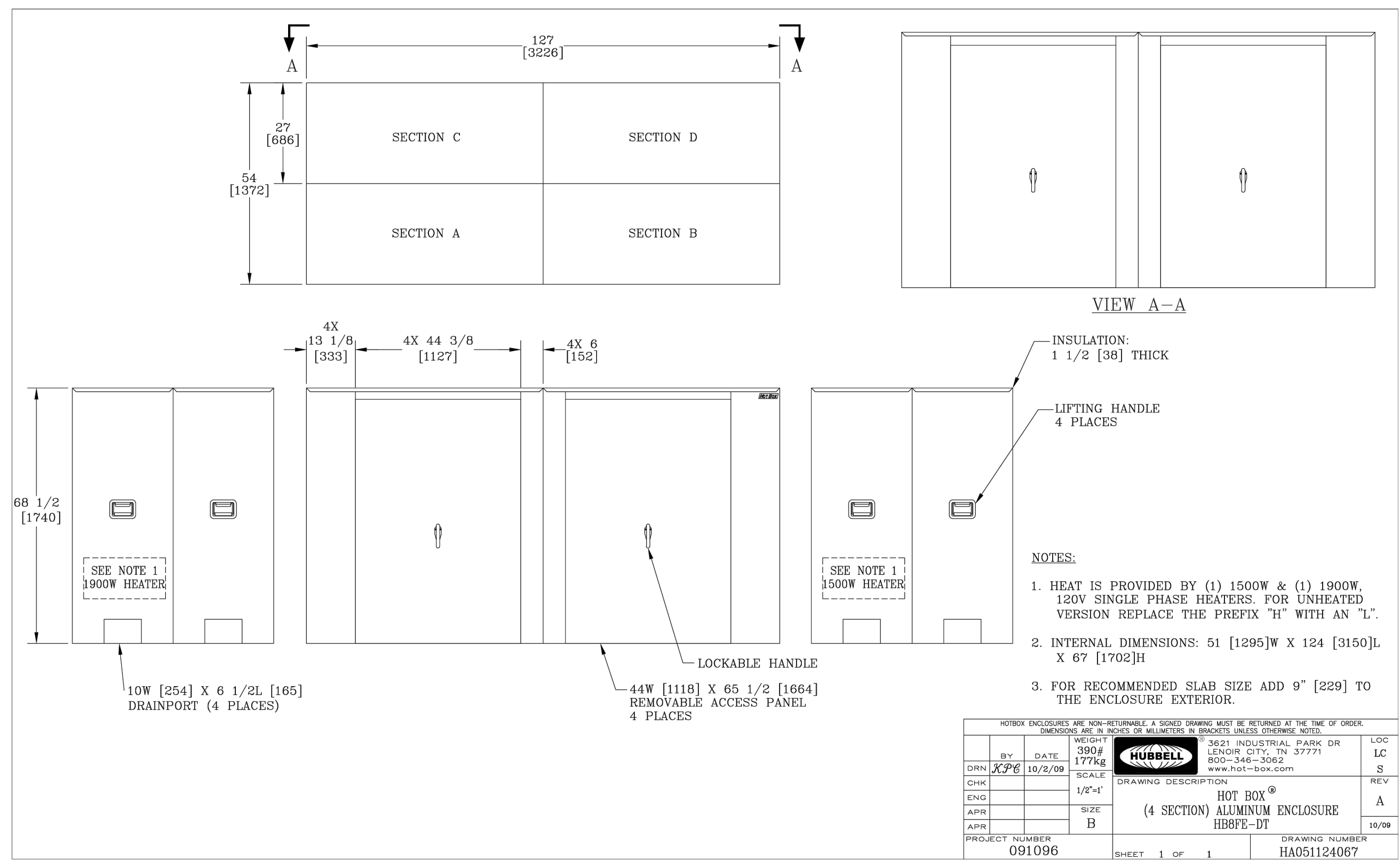
THE METER VAULT SHALL BE CORE DRILLED FOR A 1" I/D METER READING CONDUIT, WILL BE BURIED AT A MIN. OF 24" IN DEPTH AND SHALL BE LOCATED INSIDE THE DOMESTIC WATER SERVICE ENCLOSURE (IN A CORNER) AT LEAST 24" ABOVE THE CONCRETE ENCLOSURE SLAB.

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Created: 02/23/24, 4:59pm

EASEMENT REFERENCE			REVISIONS			PLAN PREPARED BY:  300 SPRUCE STREET SUITE 200 COLUMBUS, OHIO 43215 P: 614 280 8999 MOODY-ENG.COM	PROJECT TITLE: WATER SERVICE PLAN COLUMBUS METROPOLITAN HOUSING AUTHORITY MEADOWS PINTAIL CREEK ROAD PARCEL ID # 490-237001 COLUMBUS, OHIO 43110
CITY NO.	COUNTY RECORDER VOL. PAGE	GRANTOR	NO.	DESCRIPTION	APPROVAL/DATE		

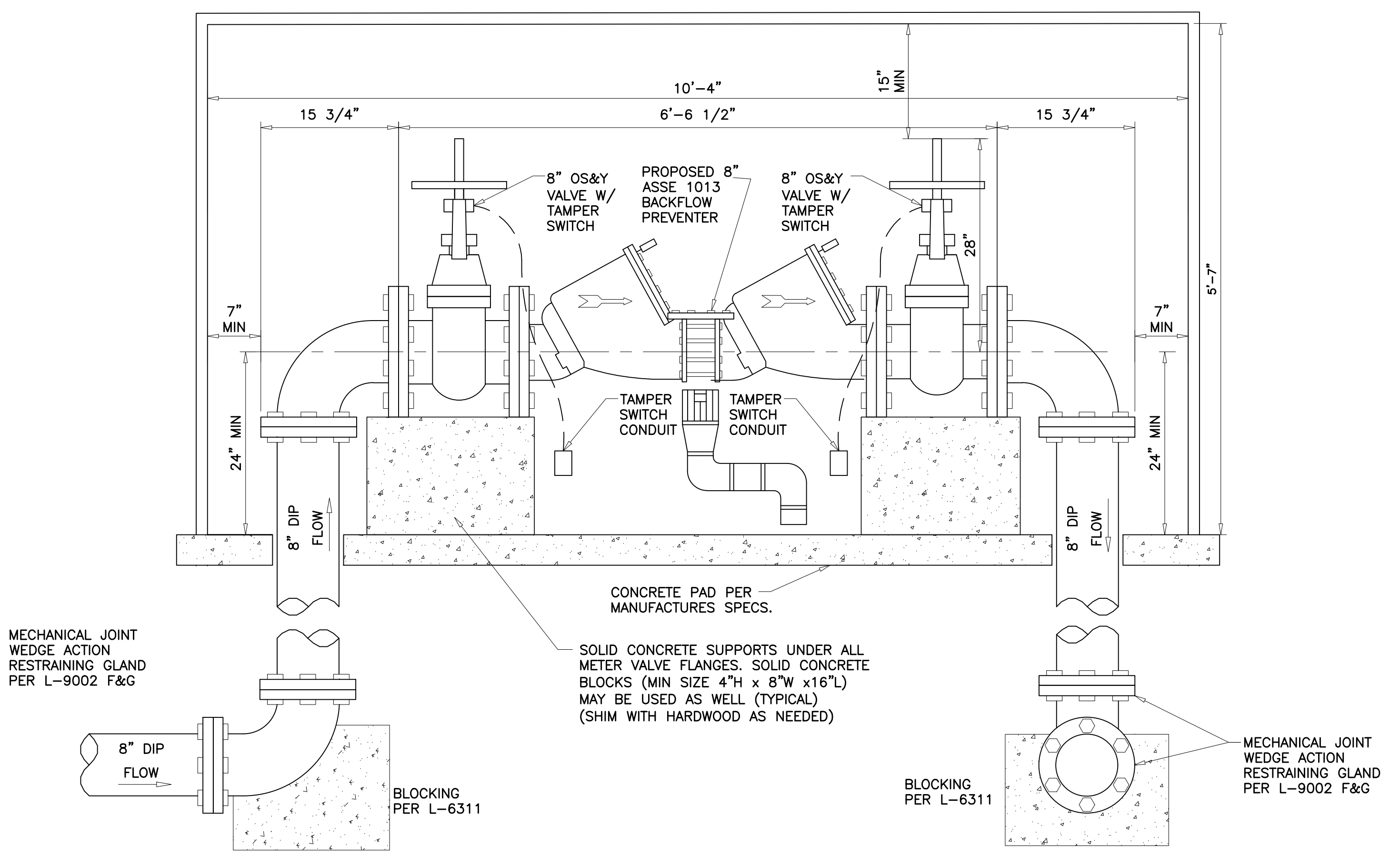
WSP P-2754

SHEET: 2/3



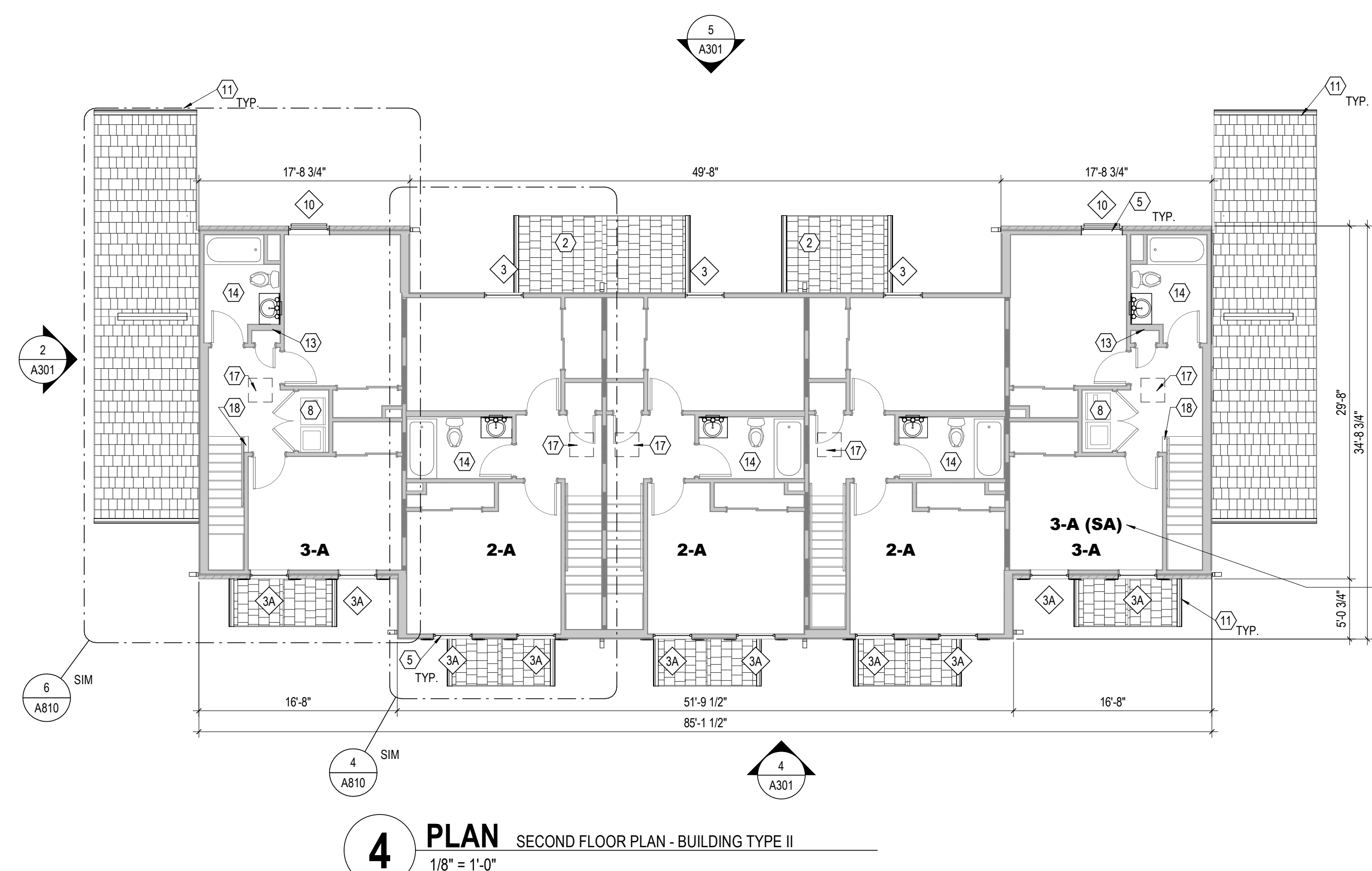
NOTE:
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FOR RECOMMENDED SLAB SIZE, ADD 24" TO THE EXTERIOR SIDES (WITH DOORS) AND 6" TO THE EXTERIOR SIDES (WITHOUT DOORS).

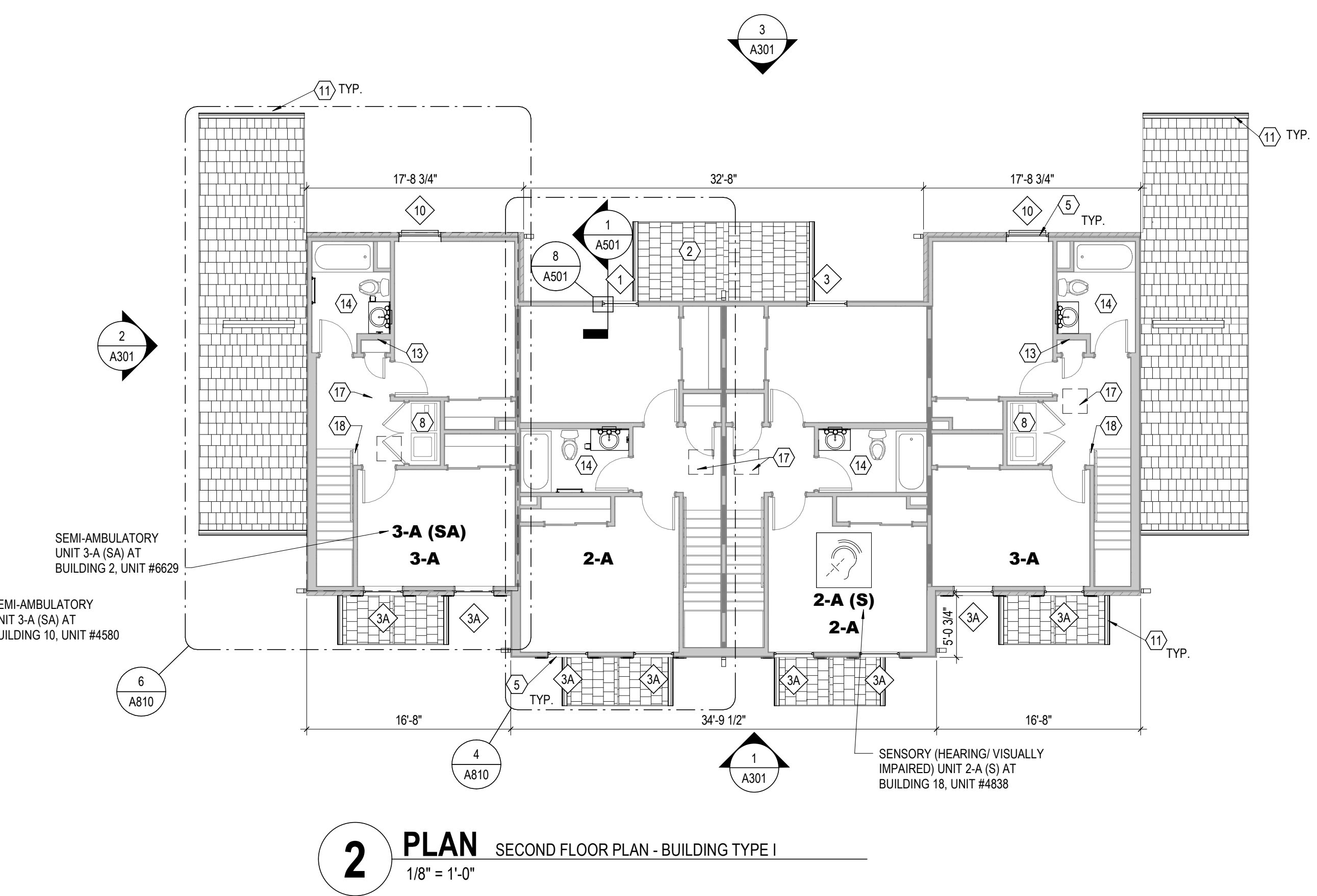


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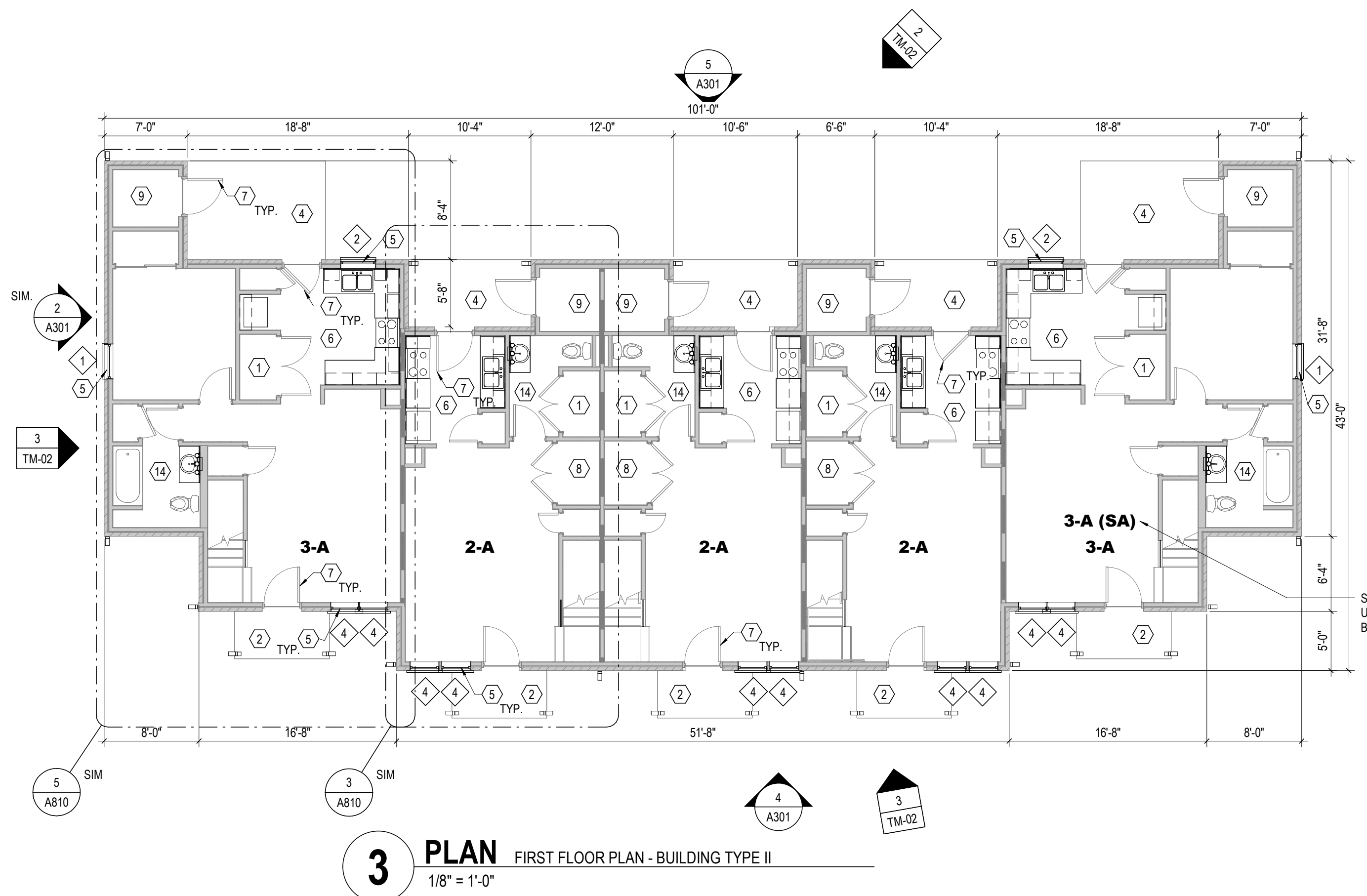
EASEMENT REFERENCE			REVISIONS			PLAN PREPARED BY:			PROJECT TITLE:			
CITY NO.	COUNTY RECORDER		NO.	DESCRIPTION	APPROVAL/DATE	300 SPRUCE STREET SUITE 200 COLUMBUS, OHIO 43215 P: 614 280 8999 MOODY-ENG.COM	WATER SERVICE PLAN COLUMBUS METROPOLITAN HOUSING AUTHORITY MEADOWS PINTAIL CREEK ROAD PARCEL ID # 490-237001 COLUMBUS, OHIO 43110			WSP P-2754 SHEET: 3/3		
	VOL.	PAGE										



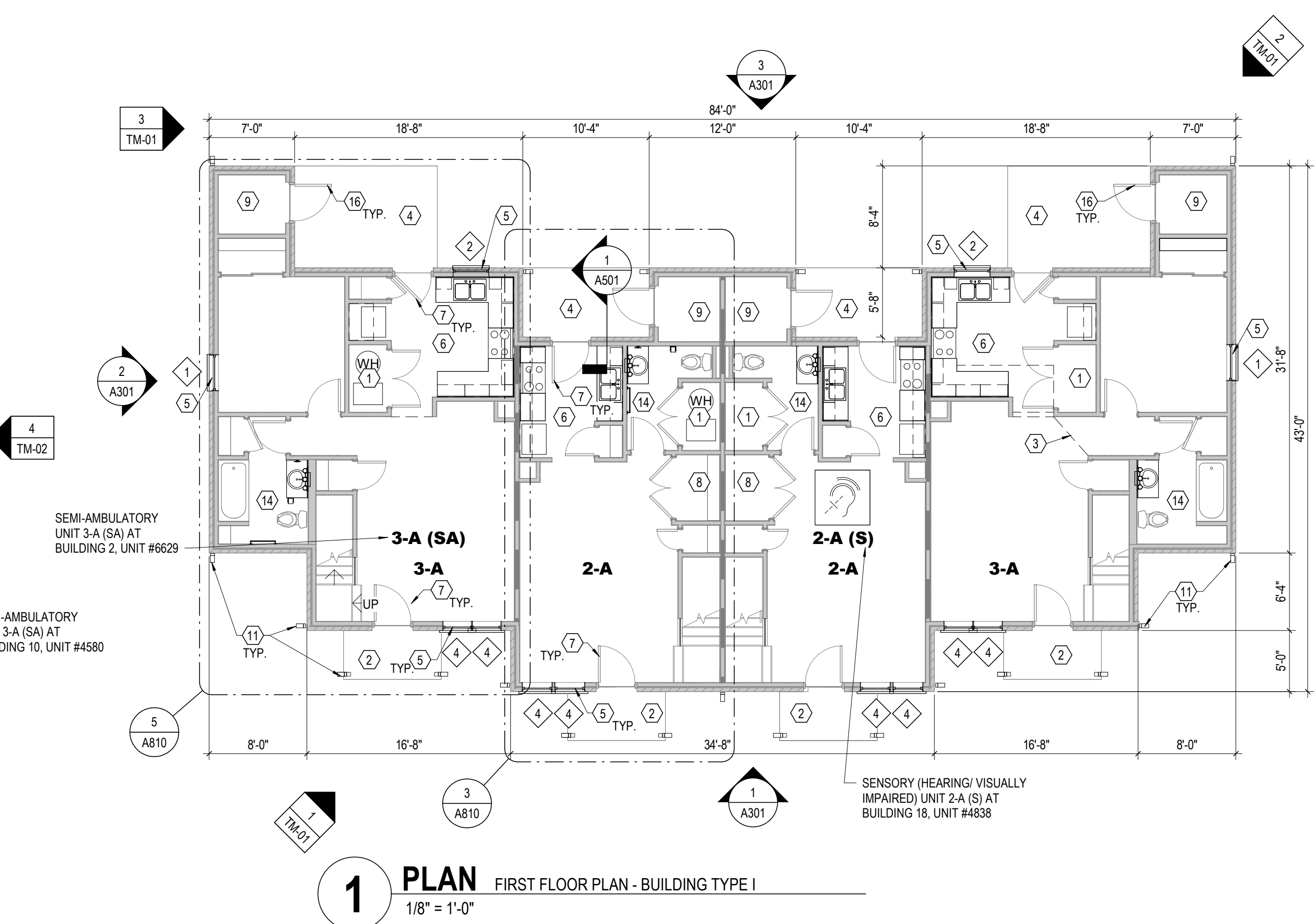
4 PLAN SECOND FLOOR PLAN - BUILDING TYPE II
 1/8" = 1'-0"



2 PLAN SECOND FLOOR PLAN - BUILDING TYPE I
 1/8" = 1'-0"



3 PLAN FIRST FLOOR PLAN - BUILDING TYPE II
 1/8" = 1'-0"



1 PLAN FIRST FLOOR PLAN - BUILDING TYPE I
 1/8" = 1'-0"

- GENERAL NOTES - DEMOLITION**
- THE FOLLOWING GENERAL NOTES APPLY TO ALL DWELLING UNITS IN THE PROJECT, U.N.O. (98 UNITS).
 - REFER TO MEP DRAWINGS FOR ADDITIONAL SCOPE OF DEMOLITION WORK.
 - CONTRACTOR SHALL VERIFY ALL CONDITIONS/ DIMENSIONS PRIOR TO WORK. EXISTING CONDITIONS AND CONTRACT DOCUMENTS.
 - EXISTING VCT FLOOR FINISH IS TO REMAIN U.N.O. CLEAN AND PREPARE SURFACE TO RECEIVE NEW FLOOR FINISH OVER EXISTING.
 - REMOVE EXISTING RUBBER BASE IN UNITS WITHOUT DAMAGE TO SUBSTRATE AND PREPARE SURFACE TO RECEIVE NEW BASE. SEE FINISH SCHEDULE.
 - ANY DAMAGE TO EXISTING WORK TO REMAIN SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR TO MATCH EXISTING SIMILAR WORK IN PLACE WHEN NEW. REPAIR ALL DAMAGED WORK IN CONNECTION WITH DEMOLITION WORK INCLUDING DAMAGE CAUSED BY REMOVAL OR INSTALLATION OF MECHANICAL OR ELECTRICAL ITEMS OR EQUIPMENT.
 - WHERE WALLS ARE BEING REMOVED, FILL ALL VOIDS IN FLOORING WITH CEMENTITIOUS INFILL. FINISH FLOOR TO BE LEVEL WITH ANY ADJACENT FLOOR FINISHES.
 - U.N.O. REMOVE ALL EXISTING WALL FINISHES (WALL COVERINGS, BASES, ETC.) FROM EXISTING WALLS. SEE PLANS FOR LOCATION AND FINISH SCHEDULE FOR ADDITIONAL INFORMATION ON NEW FINISHES.
 - DO NOT CUT INTO, REMOVE OR ALTER ANY STRUCTURAL MEMBER OR PORTION OF THE FLOOR, WALL OR ROOF SYSTEM UNLESS SPECIFICALLY NOTED OR INDICATED ON THE DRAWINGS. IF UNCLEAR, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 - MAINTAIN & PROTECT EXISTING LAUNDRY EQUIPMENT (TENANT FURNISHED) IN UNITS. REMOVE & REINSTALL FOR FINISH WORK INSTALLATION.
 - REMOVE EXISTING WINDOW TREATMENTS AT ALL BUILDINGS.
 - AT ALL RESIDENTIAL BUILDINGS, REMOVE EXISTING WINDOWS AND PREPARE FOR INSTALLATION OF NEW WINDOW.
 - REMOVE ALL EXISTING UNIT ENTRY DOORS, STORM DOORS.
 - REMOVE GYPSUM BD. AT KITCHEN WALL CABINETS AND BACKSPLASH AREAS.
 - REMOVE GYPSUM BD. BEHIND BATH VANITIES, WALL SINKS AND WHERE TUBS/SHOWERS ARE BEING REPLACED.
 - AT ALL UNITS WITH GARAGES, REMOVE EXISTING GARAGE DOOR, ALL ATTACHMENTS AND OPERATOR AND PREPARE FOR NEW DOOR AND OPERATOR.

- FLOOR PLAN LEGEND**
- REFERENCE ELEVATION (SEE PROJECT MANUAL FOR PHOTOS)
 X VIEW NUMBER
 XX-SH SHEET NUMBER
- 3-A** UNIT DESIGNATION, SEE ENLARGED UNIT PLAN SHEETS
- WINDOW TYPE (NEW WINDOWS - SEE SCHEDULE SHEET A701)
- FLOORING TYPE AND DIRECTION, REFER TO ENLARGED UNIT PLANS AND FINISH SCHEDULE
- DOOR TYPE
- ANSI TYPE A UNIT- ALL ANSI TYPE A UNITS TO ALSO INCLUDE SENSORY UNIT FEATURES. REFER TO SITE PLAN FOR LOCATIONS. LOCATE MEP EQUIPMENT AND DEVICES TO MAINTAIN CLEARANCES AS NOTED AND AS DASHED IN FLOOR PLANS. SEE MEP INFO FOR ADDITIONAL REQUIREMENTS.
- HEARING/VISUALLY IMPAIRED (SENSORY) UNIT- ALL ANSI TYPE A UNITS TO ALSO INCLUDE SENSORY UNIT FEATURES. REFER TO SITE PLAN FOR LOCATIONS. LOCATE MEP EQUIPMENT AND DEVICES TO MAINTAIN CLEARANCES AS NOTED AND AS DASHED IN FLOOR PLANS. SEE MEP INFORMATION FOR ADDITIONAL REQUIREMENTS.
- REQUIRED CLEAR FLOOR AREA, CENTER AT SINKS & APPLIANCES
- UNOBSTRUCTED CLEARANCE FOR PATH OF ACCESSIBLE MEANS OF EGRESS MIN. 36" REQUIRED
- GYPSUM CEILING SOFFIT - EXACT SOFFIT SIZE / LOCATION MAY VARY, FIELD VERIFY EXISTING CONDITIONS PER UNIT
- EXISTING 1 HOUR FIRE RATED WALL
- NOTE: THE INTEGRITY OF THE EXISTING FIRE PARTITIONS HAVE NOT BEEN VERIFIED. THE LOCATIONS FOR FIRE-RATED WALLS SHOWN ON THE PLANS INDICATES WHERE WALL WOULD BE REQUIRED TO BE FIRE-RATED BASED UPON CURRENT CODE REQUIREMENTS. ALL NEW PENETRATIONS MADE THROUGH THESE WALLS ARE TO BE FIRESTOPPED.

- CODED NOTES - FLOOR PLAN**
- NOTE: SEE ENLARGED UNIT PLAN SHEETS, SPECIFICATIONS AND PROJECT DETAILS SHEETS FOR ADDITIONAL INFORMATION.
- EXISTING MECHANICAL ROOM. REFER TO MEP DRAWINGS FOR WORK IN MECHANICAL ROOMS.
 - EXISTING COVERED ENTRY WITH CONCRETE SLAB ON GRADE TO REMAIN.
 - LINE OF CEILING STRUCTURE ABOVE, TYP.
 - EXISTING PATIO WITH CONCRETE SLAB ON GRADE, TYP.
 - NEW VINYL WINDOW SYSTEM AT ALL RESIDENTIAL BUILDINGS. PROVIDE AND INSTALL NEW WINDOW TREATMENTS. SEE ELEVATIONS & SPECIFICATIONS.
 - NEW ENERGY-EFFICIENT KITCHEN APPLIANCES (REFRIGERATOR, STOVE, ETC.), NEW COUNTERTOPS, BACKSPLASH & CASEWORK. SEE SPECIFICATIONS & ENLARGED UNIT PLANS, TYPICAL ALL UNITS.
 - NEW STEEL INSULATED EXTERIOR DOORS & FRAMES AT ALL RESIDENTIAL BUILDINGS. PAINT ALL DOORS & FRAMES, TYP. AT ALL UNITS, FIELD VERIFY EXACT QUANTITY AND LOCATIONS.
 - LOCATION OF EXISTING WASHER DRYER HOOKUP. EQUIPMENT PROVIDED BY TENANT. CLEAN DRYER VENTS, TYP.
 - TENANT SHED STORAGE ROOM. NO INTERIOR WORK IN ROOM.
 - NOT USED.
 - NEW GUTTERS, DOWNSPOUTS AND ALUMINUM SOFFITS SYSTEM ON ALL BUILDINGS. ADD LEAF GUARDS TO ALL GUTTERS.
 - NOT USED.
 - PATCH/REPAIR EXISTING SURFACES AFTER INSTALLATION OF PIPING.
 - EXISTING VANITY, TOWEL BARS & TOILET PAPER DISPENSER TO BE REMOVED & REPLACED WITH NEW. EXISTING MIRROR/MEDICINE CABINET TO REMAIN IN TYPICAL UNITS & LOWERED IN ANSI TYPE A UNITS. CLEAN & RECAULK. NEW CULTURED MARBLE VANITY COUNTERTOP WITH INTEGRAL BOWL & BACKSPLASH. EXISTING WATER CLOSET, TUB & SURROUND TO REMAIN. CLEAN & RECAULK. SEE PROJECT DETAILS & SPECS.
 - NEW GARAGE DOORS & FRAMES AT RESIDENTIAL BUILDINGS. FIELD VERIFY EXACT QUANTITY AND LOCATIONS.
 - PAINT EXISTING DOORS AND FRAME AT EXTERIOR SHED STORAGE, TYP.
 - EXISTING ATTIC ACCESS PANEL.
 - PAINT WD. CAP.

- GENERAL NOTES - FLOOR PLAN**
- THESE DRAWINGS ARE TO BE USED IN CONJUNCTION WITH EXTERIOR CONSTRUCTION DOCUMENT PHOTOGRAPHS & SPECIFICATIONS INCLUDED IN PROJECT MANUAL. THE EXTERIOR PHOTOGRAPHS AND NOTES ILLUSTRATE THE SCOPE OF WORK REQUIRED FOR THE EXTERIOR OF THE BUILDING ALONG WITH NOTES & DETAILS INCLUDED IN THE DRAWINGS. SEE EXTERIOR ELEVATIONS FOR EXTENT OF EXTERIOR WORK AT BUILDINGS.
 - THE FOLLOWING GENERAL NOTES APPLY TO ALL UNITS IN ALL BUILDINGS (98 UNITS) UNLESS NOTED OTHERWISE.
 - ALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD SHEATHING, U.N.O. ALL EXTERIOR DIMENSIONS ARE TO THE OUTSIDE OF THE STRUCTURE. CONTRACTOR IS TO FIELD VERIFY ALL DIMENSIONS.
 - REFER TO SHEET G001 FOR UNIVERSAL DESIGN FEATURES THAT HAVE BEEN INCORPORATED IN THE PROJECT.
 - REFER TO SPECIFICATIONS FOR UNIT PRICE INFORMATION.
 - ALL CONSTRUCTION TO OCCUR IN UNOCCUPIED EMPTY UNITS. TENANTS WILL BE PERMANENTLY RELOCATED FROM THE UNITS IN A MULTI-PHASED PATH DURING THE DURATION OF CONSTRUCTION. TENANT FURNITURE AND BELONGINGS WILL BE MOVED PRIOR TO WORK IN ANY UNIT. CONTRACTOR IS RESPONSIBLE FOR PHASING CONSTRUCTION IN COORDINATION WITH OWNER. ALL UNITS TO BE READY AT THE END OF CONSTRUCTION WITH OWNER.
 - NEW WORK INSTALLED INVOLVES DEMOLITION & REMOVAL OF ALL EXISTING LIKE MATERIALS NECESSARY FOR THE INSTALLATION OF NEW WORK, U.N.O., INCLUDING BUT NOT LIMITED TO KITCHEN CABINETS, BATH VANITIES, DOORS & FRAMES, PLUMBING FIXTURES, PLUMBING & ELECTRICAL DEVICES.
 - SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION. WORK IS TO BE COORDINATED THROUGH THE GENERAL TRADES CONTRACTOR.
 - ADD AUDIOVISUAL ALARM NOTIFICATION IN TWO PERCENT OF EXISTING UNITS THAT ARE DESIGNATED FOR PERSONS WITH SENSORY IMPAIRMENTS; ADDITIONALLY ADD SENSORY UNIT FEATURES TO THE FIVE PERCENT OF UNITS DESIGNATED AS ANSI TYPE A UNITS. SEE SITE PLAN FOR LOCATIONS.
 - LOCATION OF EXISTING MOBILITY UNITS (S) TO REMAIN AND WILL BE DESIGNATED AS ANSI TYPE A UNITS. SEE SITE PLAN FOR LOCATIONS AND ENLARGED UNIT PLAN FOR SCOPE OF WORK IN ANSI TYPE A UNITS.
 - PROVIDE SEMI-AMBULATORY UNITS IN FIVE PERCENT OF EXISTING UNITS THAT ARE DESIGNATED AS SA. SEE SITE PLAN FOR LOCATIONS AND ENLARGED UNIT PLAN FOR SCOPE OF WORK IN SA UNITS.
 - IN BASE BID, EXISTING SHINGLE ROOF SYSTEM IS TO REMAIN AT ALL BUILDINGS. SEE MEP DRAWINGS FOR NOTATIONS THROUGH EXISTING ROOF SYSTEM AND WORK IN ATTIC SPACE. CONTRACTOR TO FLASH AND SEAL ALL PENETRATIONS PER MFR RECOMMENDATIONS. ROOF PENETRATIONS NOT SHOWN ON DRAWINGS. SEE ROOF PLANS FOR ADDITIONAL INFORMATION.
 - INTEGRITY OF EXISTING FIRE SEPARATION WALLS IS TO BE MAINTAINED DURING CONSTRUCTION. ALL NEW PENETRATIONS THROUGH FLOOR OR CEILING ASSEMBLY AT UNITS ARE TO BE FIRESTOPPED. SEAL ALL MEP PENETRATIONS IN EXTERIOR AND DEMISING WALLS.
 - ALL EXISTING UNIT ENTRY DOORS AND FRAMES (FRONT & REAR) TO BE REPLACED WITH NEW, INSULATED STEEL DOORS INCLUDING NEW LEVER-TYPE HARDWARE AT ALL DOORS (LOCKSET, HINGES, SEALS, ETC.) AND WALL MOUNTED DOOR STOPS AT ALL SINKS. PROVIDE NOTATIONS THROUGH SCHEDULE AND SPECS FOR ADDITIONAL INFO. NEW ENTRY DOORS TO HAVE ONE DOOR VIEWER. AT ANSI TYPE A UNITS AND SECOND DOOR VIEWER AT 48" A.F.F.
 - IN BASE BID, INCLUDE UNIT COST FOR REPLACING 20 EXTERIOR INSULATED STEEL DOORS AND FRAMES AT SHED ROOM ATTACHED TO RESIDENTIAL BUILDINGS. EXISTING FRAMES TO REMAIN. PAINT NEW DOORS & ASSOCIATED FRAMES.
 - ALL EXISTING WINDOW SYSTEMS ARE TO BE REPLACED AT ALL RESIDENTIAL BUILDINGS. U.N.O. REPLACE WITH NEW ENERGY-STAR RATED WINDOW SYSTEM PER SPECS AND DETAILS. CAULK STRIP ALL WINDOW INSTALLATIONS.
 - WHERE GYPSUM WALL BOARD INSTALLATION, PATCHING OR REPAIR WORK IS BEING DONE, PROVIDE PAPERLESS GYPSUM BOARD (PGB) BEHIND TOILET TANKS. PROVIDE PGB AT SHOWER WALLS WHERE THE PGB WILL NOT HAVE AN EXPOSED FINISH EXCEPT 6 INCHES BEYOND SHOWER JAMBS (6 INCHES ABOVE SHOWER NIPPLE). PROVIDE PAPER-FACED MOISTURE-RESISTANT GYPSUM BOARD ON CEILINGS WHERE BATHROOMS ARE ABOVE AND WITHIN 8" (4 FEET) HORIZONTALLY AND VERTICALLY OF ANY WATER SOURCES, EXCEPT AT TOILET LOCATIONS WITH PGB. CONTRACTOR TO INSTALL ANY NEW DRYWALL TO ALIGN WITH FACE OF ADJACENT EXISTING DRYWALL PARTITIONS, TYP.
 - SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION ON LOCATIONS AND TYPES OF FINISH MATERIALS. SEE ENLARGED PLANS FOR ADDITIONAL FINISH INFORMATION AND EXTENT OF INTERIOR WORK.
 - NEW WINDOW TREATMENT (BLINDS) & HEAVY-DUTY WINDOW SCREENS AT ALL WINDOWS. FIELD VERIFY EXACT SIZE & QUANTITY.
 - SEAL ALL ACCESSIBLE CRACKS IN CONCRETE FLOOR SLAB WITH POLYURETHANE CAULKING.
 - CLEAN CONCRETE FLOOR SLAB AT MECH/UTILITY CLOSET. CLEAN ANY CLOGGED FLOOR DRAIN, DRAIN LINE, AND CONDENSATE LINE.
 - SEAL ALL ACCESSIBLE CRACKS, GAPS AND HOLES IN BUILDING ENVELOPE. SEAL ALL WALL, FLOOR & JOINT PENETRATIONS CREATED BY PLUMBING, GAS LINES, ELECTRICAL BOXES & OUTLETS, ETC. W/ LOW VOC CAULKING. ALL HOLES INTO STUD & JOIST CAVITIES MUST BE SEALED.
 - SEAL JOINTS BETWEEN WALLS AND FOUNDATION. BETWEEN CONDITIONED SPACES AND ATTICS, AND AT DEMISING WALLS.
 - SEAL AT ALL JOINTS AROUND EXTERIOR DOORS AND WINDOWS.
 - GASKET ATTIC ACCESS PANELS. SEAL DRYWALL TO FRAME OF PANEL.
 - SEAL AT EXTERIOR SHEATHING AND HOUSE WRAP.
 - SEAL ALL MEP PENETRATIONS IN EXTERIOR AND DEMISING WALLS.
 - SEAL ALL SUPPLY BOOTS TO REGISTER TO REDUCE OUTSIDE DUCT LEAKAGE.
 - REFER TO ROOF PLAN FOR FULL SCOPE OF WORK.
 - IN BASE BID, INCLUDE COST FOR REPLACING 95 UNIT INTERIOR DOORS (36" X 80" SWING DOORS) AND FRAMES IN ADDITION TO THE DOORS BEING CALLED OUT TO BE REPLACED IN DOOR SCHEDULE AND NOTES.
 - POWER WASH ALL REAR CONCRETE PATIOS AND PORCH SLABS.

#	DATE	CHANGE DESCRIPTION

THE MEADOWS RAD RENOVATIONS
 COLUMBUS METROPOLITAN HOUSING AUTHORITY
 4865 PENTACREEK DRIVE
 COLUMBUS, OH 43110
 FOR COLUMBUS METROPOLITAN HOUSING AUTHORITY

300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881

Moody Nolan CERTIFICATE NO: FIRM 00197475

DRAWING TITLE:
OVERALL FLOOR PLANS - TYPE - I & II

08/14/2025
 DRAWN BY: XXXX CHECKED BY: XXXX
 18076.04
A101
 BID / PERMIT SET
 JAY W. BOONE, LIC. #10740
 EXP. DATE: 12/31/2025

CODED NOTES - FLOOR PLAN

- NOTE: SEE ENLARGED UNIT PLAN SHEETS, SPECIFICATIONS AND PROJECT DETAILS SHEETS FOR ADDITIONAL INFORMATION.
- EXISTING MECHANICAL ROOM. REFER TO MEP DRAWINGS FOR WORK IN MECHANICAL ROOMS.
 - EXISTING COVERED ENTRY WITH CONCRETE SLAB ON GRADE TO REMAIN.
 - LINE OF CEILING STRUCTURE ABOVE. TYP.
 - EXISTING PATIO WITH CONCRETE SLAB ON GRADE. TYP.
 - NEW VINYL WINDOW SYSTEM AT ALL RESIDENTIAL BUILDINGS. PROVIDE AND INSTALL NEW WINDOW TREATMENTS. SEE ELEVATIONS & SPECIFICATIONS.
 - NEW ENERGY-EFFICIENT KITCHEN APPLIANCES (REFRIGERATOR, STOVE, ETC.). NEW COUNTERTOPS, BACKSPLASH & CASEWORK. SEE SPECIFICATIONS & ENLARGED UNIT PLANS. TYPICAL ALL UNITS.
 - NEW STEEL INSULATED EXTERIOR DOORS & FRAMES AT ALL RESIDENTIAL BUILDINGS. PAINT ALL DOORS & FRAMES. TYP. AT ALL UNITS. FIELD VERIFY EXACT QUANTITY AND LOCATIONS.
 - LOCATION OF EXISTING WASHER DRYER HOOKUP. EQUIPMENT PROVIDED BY TENANT. CLEAN DRYER VENTS. TYP.
 - TENANT SHED/STORAGE ROOM. NO INTERIOR WORK IN ROOM.
 - NOT USED.
 - NEW GUTTERS, DOWNSPOUTS AND ALUMINUM SOFFITS SYSTEM ON ALL BUILDINGS. ADD LEAF GUARDS TO ALL GUTTERS.
 - NOT USED.
 - PATCH/REPAIR EXISTING SURFACES AFTER INSTALLATION OF PIPING.
 - EXISTING VANITY, TOWEL BARS & TOILET PAPER DISPENSER TO BE REMOVED & REPLACED WITH NEW. EXISTING MIRROR/MEDICINE CABINET TO REMAIN IN TYPICAL UNITS AS NOTED IN ANSI TYPE A UNITS. CLEAN & RECALK. NEW CULTURED MARBLE VANITY COUNTERTOP WITH INTEGRAL BOWL & BACKSPLASH. EXISTING WATER CLOSET, TUB & SURROUND TO REMAIN. CLEAN & RECALK. SEE PROJECT DETAILS & SPECS.
 - NEW GARAGE DOORS & FRAMES AT RESIDENTIAL BUILDINGS. FIELD VERIFY EXACT QUANTITY AND LOCATIONS.
 - PAINT EXISTING DOORS AND FRAME AT EXTERIOR SHED/STORAGE. TYP.
 - EXISTING ATTIC ACCESS PANEL.
 - PAINT WD. CAP.

FLOOR PLAN LEGEND

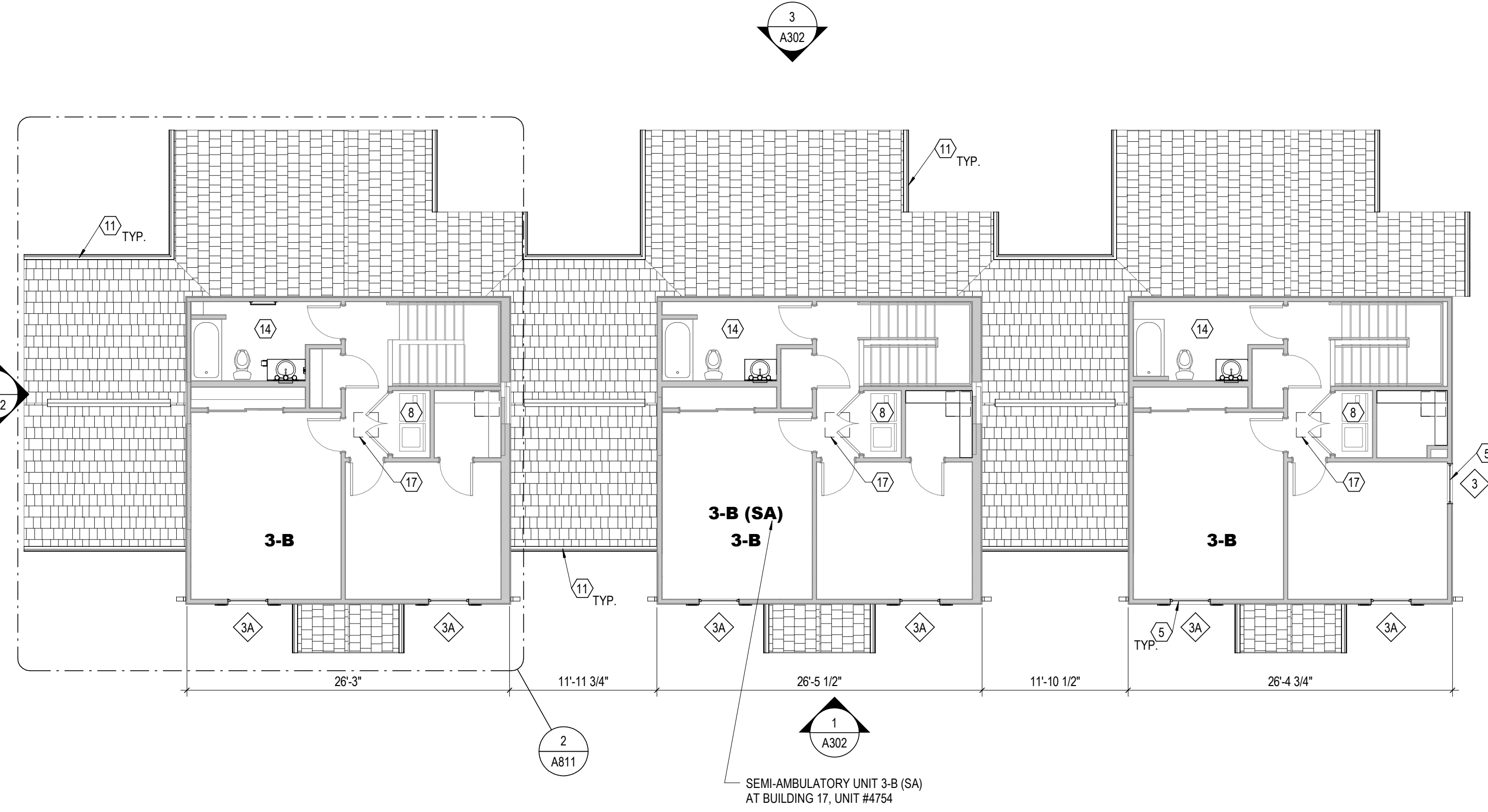
- REFERENCE ELEVATION**
(SEE PROJECT MANUAL FOR PHOTOS)
- VIEW NUMBER
XX-XX
- 3-A** UNIT DESIGNATION, SEE ENLARGED UNIT PLAN SHEETS
- WINDOW TYPE (NEW WINDOWS - SEE SCHEDULE SHEET A701)
- FLOORING TYPE AND DIRECTION. REFER TO ENLARGED UNIT PLANS AND FINISH SCHEDULE
- DOOR TYPE
- ANSI TYPE A UNIT - ALL ANSI TYPE A UNITS TO ALSO INCLUDE SENSORY UNIT FEATURES. REFER TO SITE PLAN FOR LOCATIONS. LOCATE MEP EQUIPMENT AND DEVICES TO MAINTAIN CLEARANCES AS NOTED AND AS DASHED IN FLOOR PLANS. SEE MEP INFO FOR ADDITIONAL REQUIREMENTS.
- HEARING/VISUALLY IMPAIRED (SENSORY) UNIT - ALL ANSI TYPE A UNITS TO ALSO INCLUDE SENSORY UNIT FEATURES. REFER TO SITE PLAN FOR LOCATIONS. LOCATE MEP EQUIPMENT AND DEVICES TO MAINTAIN CLEARANCES AS NOTED AND AS DASHED IN FLOOR PLANS. SEE MEP INFO FOR ADDITIONAL REQUIREMENTS.
- SEMI-AMBULATORY (SA) UNIT - REFER TO SITE PLAN FOR LOCATIONS. LOCATE MEP EQUIPMENT AND DEVICES TO MAINTAIN CLEARANCES AS NOTED AND AS DASHED IN FLOOR PLANS. SEE MEP INFORMATION FOR ADDITIONAL REQUIREMENTS.
- REQUIRED CLEAR FLOOR AREA, CENTER AT SINKS & APPLIANCES
- UNOCCUPIED CLEARANCE FOR PATH OF ACCESSIBLE MEANS OF EGRESS (MIN. 36" REQUIRED)
- GYPSONUM CEILING SOFFIT - EXACT SOFFIT SIZE / LOCATION MAY VARY. FIELD VERIFY EXISTING CONDITIONS PER UNIT
- EXISTING 1 HOUR FIRE RATED WALL

GENERAL NOTES - DEMOLITION

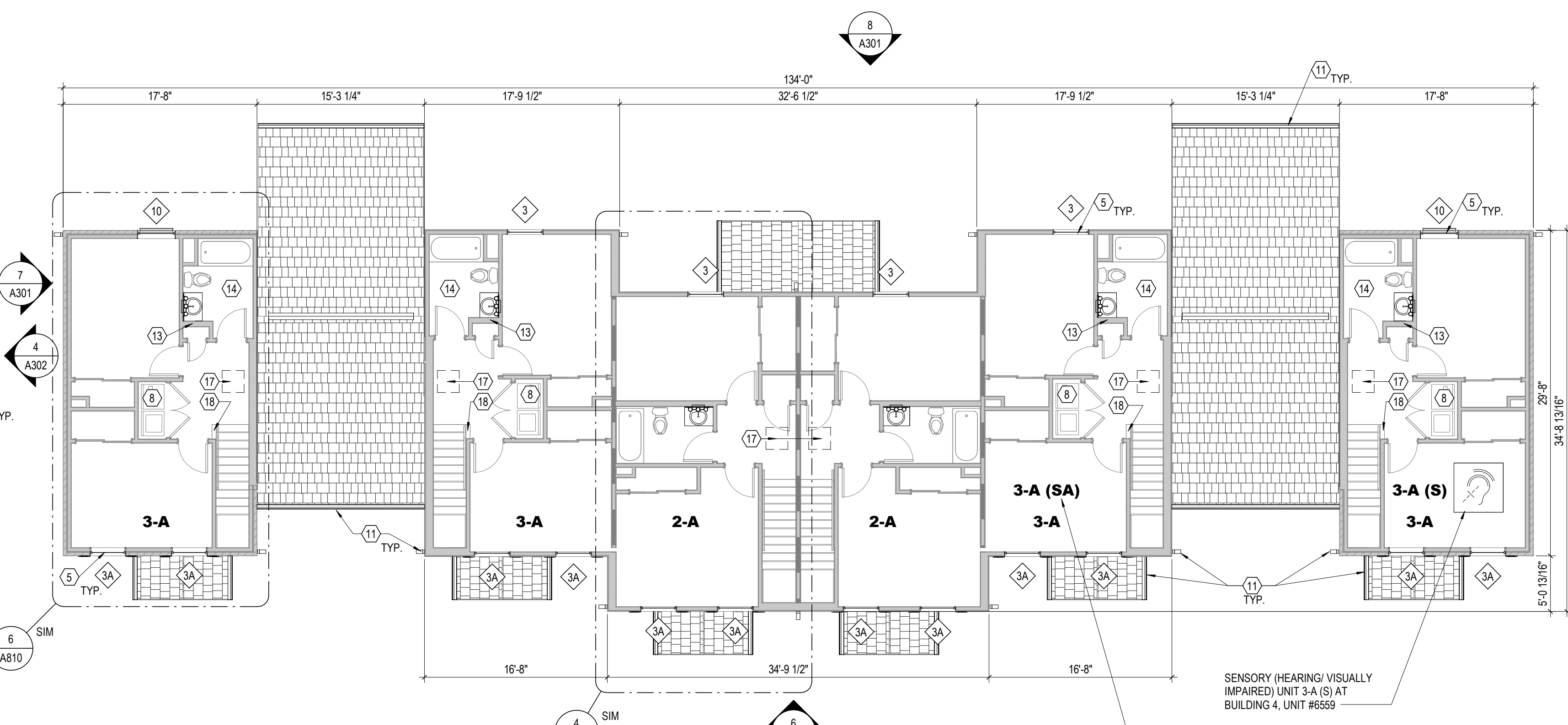
- THE FOLLOWING GENERAL NOTES APPLY TO ALL DWELLING UNITS IN THE PROJECT (U.O. 95 UNITS).
- REFER TO MEP DRAWINGS FOR ADDITIONAL SCOPE OF DEMOLITION WORK.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS/ DIMENSIONS PRIOR TO WORK. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND CONTRACT DOCUMENTS.
- EXISTING VCT FLOOR FINISH IS TO REMAIN U.O. CLEAN AND PREPARE SURFACE TO RECEIVE NEW FLOOR FINISH OVER EXISTING.
- REMOVE EXISTING RUBBER BASE IN UNITS WITHOUT DAMAGE TO SUBSTRATE AND PREPARE SURFACE TO RECEIVE NEW BASE. SEE FINISH SCHEDULE.
- ANY DAMAGE TO EXISTING WORK TO REMAIN SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR TO MATCH EXISTING SIMILAR WORK IN PLACE WHEN NEW. REPAIR ALL DAMAGED WORK IN CONNECTION WITH DEMOLITION WORK INCLUDING DAMAGE CAUSED BY REMOVAL OR INSTALLATION OF MECHANICAL OR ELECTRICAL ITEMS OR EQUIPMENT.
- WHERE WALLS ARE BEING REMOVED, FILL ALL VOIDS IN FLOORING WITH CEMENTITIOUS INFILL. FINISH FLOOR TO BE LEVEL WITH ANY ADJACENT FLOOR FINISHES.
- U.O. REMOVE ALL EXISTING WALL FINISHES (WALL COVERINGS, BASES, ETC.) FROM EXISTING WALLS. SEE PLANS FOR LOCATION AND FINISH SCHEDULE FOR ADDITIONAL INFORMATION ON NEW FINISHES.
- DO NOT CUT INTO, REMOVE OR ALTER ANY STRUCTURAL MEMBER OR PORTION OF THE FLOOR, WALL OR ROOF SYSTEM UNLESS SPECIFICALLY NOTED OR INDICATED ON THE DRAWINGS. IF UNCLEAR, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- MAINTAIN & PROTECT EXISTING LAUNDRY EQUIPMENT (TENANT FURNISHED) IN UNITS. REMOVE & REINSTALL FOR FINISH WORK INSTALLATION.
- REMOVE EXISTING WINDOW TREATMENTS AT ALL BUILDINGS.
- AT ALL RESIDENTIAL BUILDINGS, REMOVE EXISTING WINDOWS AND PREPARE FOR INSTALLATION OF NEW WINDOW.
- REMOVE ALL EXISTING UNIT ENTRY DOORS, STORM DOORS.
- REMOVE GYPSUM BD. AT KITCHEN WALL CABINETS AND BACKSPLASH AREAS.
- REMOVE GYPSUM BD. BEHIND BATH VANITIES, WALL SINKS AND WHERE TUBS/SHOWERS ARE BEING REPLACED.
- AT ALL UNITS WITH GARAGES, REMOVE EXISTING GARAGE DOOR, ALL ATTACHMENTS AND OPERATOR AND PREPARE FOR NEW DOOR AND OPERATOR.

GENERAL NOTES - FLOOR PLAN

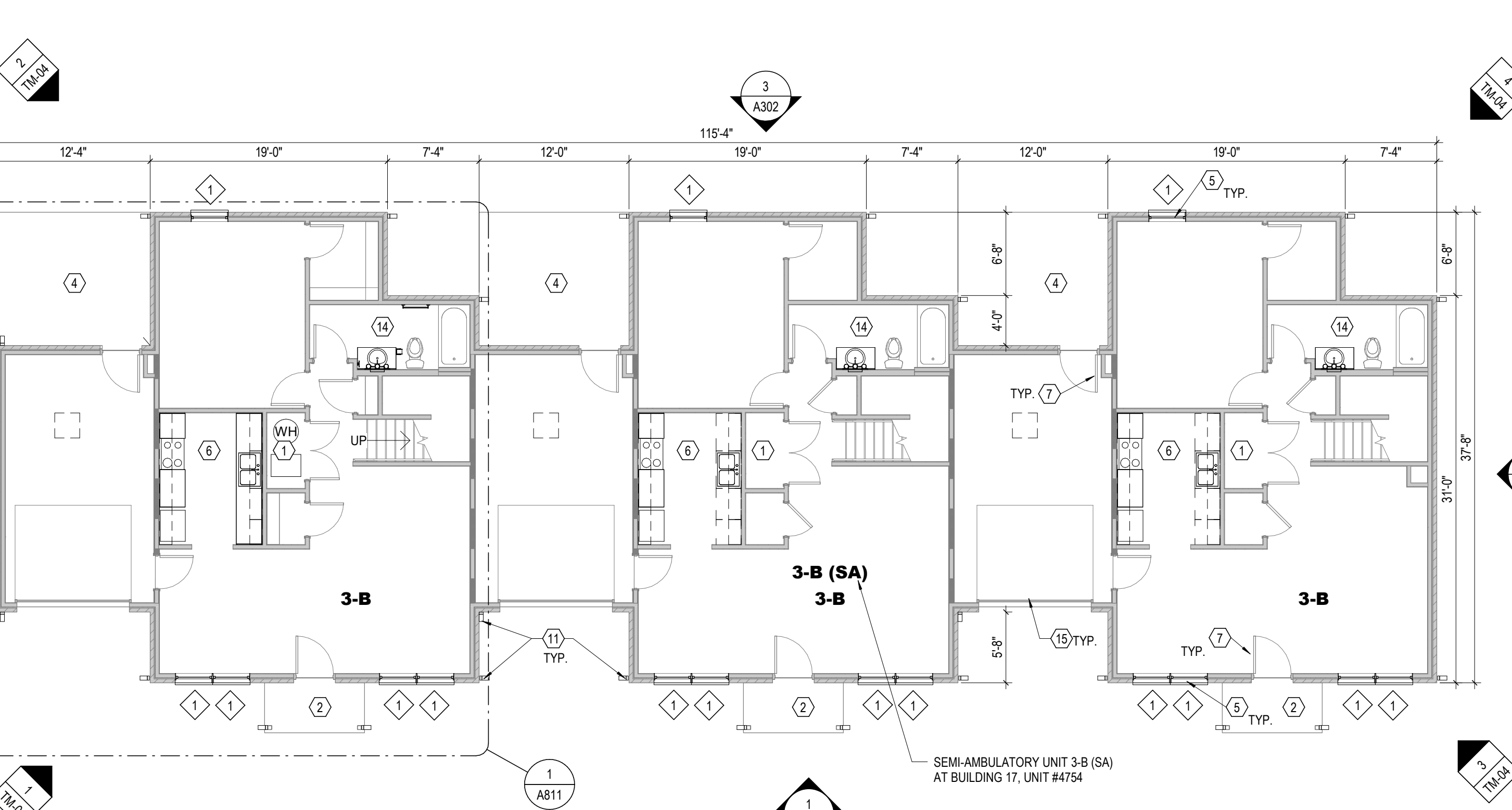
- THESE DRAWINGS ARE TO BE USED IN CONJUNCTION WITH EXTERIOR CONSTRUCTION DOCUMENT PHOTOGRAPHS & SPECIFICATIONS INCLUDED IN PROJECT MANUAL. THE EXTERIOR PHOTOGRAPHS AND NOTES ILLUSTRATE THE SCOPE OF WORK REQUIRED FOR THE EXTERIOR OF THE BUILDING ALONG WITH NOTES & DETAILS INCLUDED IN THE DRAWINGS. SEE EXTERIOR ELEVATIONS FOR EXTENT OF EXTERIOR WORK AT BUILDINGS.
- THE FOLLOWING GENERAL NOTES APPLY TO ALL UNITS IN ALL BUILDINGS.
- ALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD SHEATHING, U.O. ALL EXTERIOR DIMENSIONS ARE TO THE OUTSIDE OF THE STRUCTURE. CONTRACTOR IS TO FIELD VERIFY ALL DIMENSIONS.
- REFER TO SHEET 6001 FOR UNIVERSAL DESIGN FEATURES THAT HAVE BEEN INCORPORATED IN THE PROJECT.
- REFER TO SPECIFICATIONS FOR UNIT PRICE INFORMATION.
- ALL CONSTRUCTION TO OCCUR IN UNOCCUPIED EMPTY UNITS. TENANTS WILL BE PERMANENTLY RELOCATED FROM THE UNITS IN A MULTI-PHASED PATH DURING THE DURATION OF CONSTRUCTION. TENANT FURNITURE AND BELONGINGS WILL BE MOVED PRIOR TO WORK IN ANY UNIT. CONTRACTOR IS RESPONSIBLE FOR PHASING CONSTRUCTION IN COORDINATION WITH OWNER. ALL UNITS TO BE READY AT THE END OF CONSTRUCTION.
- NEW WORK INSTALLED INVOLVES DEMOLITION & REMOVAL OF ALL EXISTING LIKE MATERIALS NECESSARY FOR THE INSTALLATION OF NEW WORK. U.O. INCLUDING BUT NOT LIMITED TO KITCHEN CABINETS, BATH VANITIES, DOORS & FRAMES, PLUMBING FIXTURES, PLUMBING & ELECTRICAL DEVICES.
- SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION. WORK IS TO BE COORDINATED THROUGH THE GENERAL TRADES CONTRACTOR.
- ADD AUDIOVISUAL ALARM NOTIFICATION IN TWO PERCENT OF EXISTING UNITS THAT ARE DESIGNATED FOR PERSONS WITH SENSORY IMPAIRMENTS; ADDITIONALLY ADD SENSORY UNIT FEATURES TO THE FIVE PERCENT OF UNITS DESIGNATED AS ANSI TYPE A UNITS. SEE SITE PLAN FOR LOCATIONS.
- LOCATION OF EXISTING MOBILITY UNITS (S) TO REMAIN AND WILL BE DESIGNATED AS ANSI TYPE A UNITS. SEE SITE PLAN FOR LOCATIONS AND ENLARGED UNIT PLAN FOR SCOPE OF WORK IN ANSI TYPE A UNITS.
- PROVIDE SEMI-AMBULATORY UNITS IN FIVE PERCENT OF EXISTING UNITS THAT ARE DESIGNATED AS SA. SEE SITE PLAN FOR LOCATIONS AND ENLARGED UNIT PLAN FOR SCOPE OF WORK IN SA UNITS.
- IN BASE BID, EXISTING SHINGLE ROOF SYSTEM IS TO REMAIN AT ALL BUILDINGS. SEE MEP DRAWINGS FOR NEW PIPE PENETRATIONS THROUGH EXISTING ROOF SYSTEM AND WORK IN ATTIC SPACE. CONTRACTOR TO FLASH AND SEAL ALL PENETRATIONS PER MFR RECOMMENDATIONS. ROOF PENETRATIONS NOT SHOWN ON DRAWINGS. SEE ROOF PLANS FOR ADDITIONAL INFORMATION.
- INTEGRITY OF EXISTING FIRE SEPARATION WALLS IS TO BE MAINTAINED DURING CONSTRUCTION. ALL NEW PENETRATIONS THROUGH FLOOR/CEILING ASSEMBLY AT UNITS ARE TO BE FIRESTOPPED. SEAL ALL MEP PENETRATIONS IN EXTERIOR AND DEMISING WALLS.
- EXISTING UNIT ENTRY DOORS AND FRAMES, FRONT & REAR TO BE REPLACED WITH NEW, INSULATED STEEL DOORS INCLUDING NEW LEVER-TYPE HARDWARE AT ALL DOORS (LOCKSET, HINGES, SEALS, ETC.) AND WALL MOUNTED DOOR STOPS AT ALL SWING DOORS. REFER TO DOOR SCHEDULE AND SPECS FOR ADDITIONAL INFO. NEW ENTRY DOORS TO HAVE ONE DOOR VIEWER. AT ANSI TYPE A UNITS AND SECOND DOOR VIEWER AT 48" A.F.F.
- IN BASE BID, INCLUDE UNIT COST FOR REPLACING 20 EXTERIOR INSULATED STEEL DOORS AND FRAMES AT SHED ROOM ATTACHED TO RESIDENTIAL BUILDINGS. EXISTING FRAMES TO REMAIN. PAINT NEW DOORS & ASSOCIATED FRAMES.
- ALL EXISTING WINDOW SYSTEMS ARE TO BE REPLACED AT ALL RESIDENTIAL BUILDINGS. U.O. REPLACE WITH NEW ENERGY STAR RATED WINDOW SYSTEM PER SPECS AND DETAILS. CAULK STRIP ALL WINDOW INSTALLATIONS.
- WHERE GYPSUM WALL BOARD INSTALLATION, PATCHING OR REPAIR WORK IS BEING DONE, PROVIDE PAPERLESS GYPSUM BOARD (PGB) BEHIND TOILETS, THE SPACE BETWEEN THE SHOWER ENCLOSURE, AND TO THE TOP OF TOILET TANKS. PROVIDE PGB AT SHOWER WALLS WHERE THE PGB WILL NOT HAVE AN EXPOSED FINISH EXCEPT 6 INCHES BEYOND SHOWER JAMBS (6 INCHES ABOVE SHOWER NIPPLE). PROVIDE PAPER-FACED MOISTURE-RESISTANT GYPSUM BOARD ON CEILINGS WHERE BATHROOMS ARE ABOVE AND WITHIN FOUR (4) FEET HORIZONTALLY AND VERTICALLY OF ANY WATER SOURCES, EXCEPT AT TOILET LOCATIONS WITH PGB. CONTRACTOR TO INSTALL ANY NEW DRYWALL TO ALIGN WITH FACE OF ADJACENT EXISTING DRYWALL PARTITIONS. TYP.
- SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION ON LOCATIONS AND TYPES OF FINISH MATERIALS. SEE ENLARGED PLANS FOR ADDITIONAL FINISH INFORMATION AND EXTENT OF INTERIOR WORK.
- NEW WINDOW TREATMENT (BLINDS) & HEAVY-DUTY WINDOW SCREENS AT ALL WINDOWS. FIELD VERIFY EXACT SIZE & QUANTITY.
- SEAL ALL ACCESSIBLE CRACKS IN CONCRETE FLOOR SLAB WITH POLYURETHANE CAULKING.
- CLEAN CONCRETE FLOOR SLAB AT MECH/UTILITY CLOSET. CLEAN ANY CLOGGED FLOOR DRAIN, DRAIN LINE, AND CONDENSATE LINE.
- SEAL ALL ACCESSIBLE CRACKS, GAPS AND HOLES IN BUILDING ENVELOPE. SEAL ALL WALL, FLOOR & JOINT PENETRATIONS CREATED BY PLUMBING, GAS LINES, ELECTRICAL BOXES & OUTLETS, ETC. W/ LOW VOC CAULKING. ALL HOLES INTO STUD & JOIST CAVITIES MUST BE SEALED.
- SEAL JOINTS BETWEEN WALLS AND FOUNDATION, BETWEEN CONDITIONED SPACES AND ATTICS, AND AT DEMISING WALLS.
- SEAL AT ALL JOINTS AROUND EXTERIOR DOORS AND WINDOWS.
- GASKET ATTIC ACCESS PANELS. SEAL DRYWALL TO FRAME OF PANEL.
- SEAL AT EXTERIOR SHEATHING AND HOUSE WRAP.
- SEAL ALL MEP PENETRATIONS IN EXTERIOR AND DEMISING WALLS.
- SEAL ALL SUPPLY BOOTS TO REGISTER TO REDUCE OUTSIDE DUCT LEAKAGE.
- REFER TO ROOF PLAN FOR FULL SCOPE OF WORK.
- IN BASE BID, INCLUDE COST FOR REPLACING 95 UNIT INTERIOR DOORS (36" X 80" SWING DOORS) AND FRAMES IN ADDITION TO THE DOORS BEING CALLED OUT TO BE REPLACED IN DOOR SCHEDULE AND NOTES.
- POWER WASH ALL REAR CONCRETE PATIOS AND PORCH SLABS.



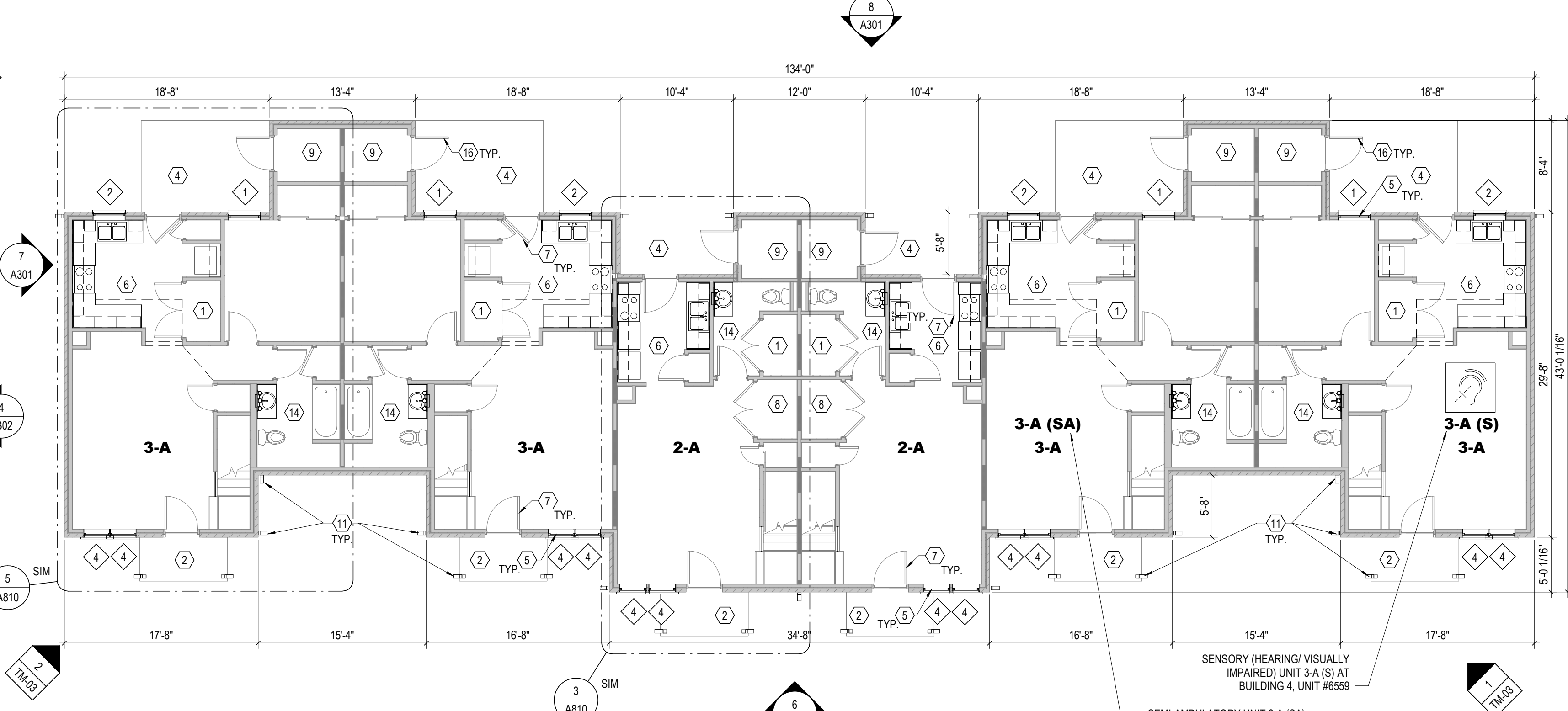
4 PLAN SECOND FLOOR PLAN - BUILDING TYPE IV
1/8" = 1'-0"



2 PLAN SECOND FLOOR PLAN - BUILDING TYPE III
1/8" = 1'-0"



3 PLAN FIRST FLOOR PLAN - BUILDING TYPE IV
1/8" = 1'-0"



1 PLAN FIRST FLOOR PLAN - BUILDING TYPE III
1/8" = 1'-0"

#	DATE	CHANGE DESCRIPTION

THE MEADOWS RAD RENOVATIONS
COLUMBUS METROPOLITAN HOUSING AUTHORITY
300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215
PHONE: (614) 461-4664 FAX: (614) 280-8881

Moody Nolan CERTIFICATE NO. FIRM 00197475

OVERALL FLOOR PLANS - TYPE - III & IV

08/14/2025
DRAWN BY: xxx CHECKED BY: xxx
18076.04
A102
BID / PERMIT SET
JAY W BOONE, LIC. #10740 EXP. DATE: 12/31/2025

CODED NOTES - FLOOR PLAN

- NOTE: SEE ENLARGED UNIT PLAN SHEETS, SPECIFICATIONS AND PROJECT DETAILS SHEETS FOR ADDITIONAL INFORMATION.
- EXISTING MECHANICAL ROOM. REFER TO MEP DRAWINGS FOR WORK IN MECHANICAL ROOMS.
 - EXISTING COVERED ENTRY WITH CONCRETE SLAB ON GRADE TO REMAIN.
 - LINE OF CEILING STRUCTURE ABOVE. TYP.
 - EXISTING PATIO WITH CONCRETE SLAB ON GRADE. TYP.
 - NEW VINYL WINDOW SYSTEM AT ALL RESIDENTIAL BUILDINGS. PROVIDE AND INSTALL NEW WINDOW TREATMENTS. SEE ELEVATIONS & SPECIFICATIONS.
 - NEW ENERGY EFFICIENT KITCHEN APPLIANCES: REFRIGERATOR, STOVE, ETC.). NEW COUNTERTOPS, BACKSPLASH & CASEWORK. SEE SPECIFICATIONS & ENLARGED UNIT PLANS. TYPICAL ALL UNITS.
 - NEW STEEL INSULATED EXTERIOR DOORS & FRAMES AT ALL RESIDENTIAL BUILDINGS. PAINT ALL DOORS & FRAMES. TYP. AT ALL UNITS. FIELD VERIFY EXACT QUANTITY AND LOCATIONS.
 - LOCATION OF EXISTING WASHER DRYER HOOKUP. EQUIPMENT PROVIDED BY TENANT. CLEAN DRYER VENTS. TYP.
 - TENANT SHED/STORAGE ROOM. NO INTERIOR WORK IN ROOM.
 - NOT USED.
 - NEW GUTTERS, DOWNSPOUTS AND ALUMINUM SOFFITS SYSTEM ON ALL BUILDINGS. ADD LEAF GUARDS TO ALL GUTTERS.
 - NOT USED.
 - PATCH REPAIR EXISTING SURFACES AFTER INSTALLATION OF PIPING.
 - EXISTING VANITY, TOWEL BARS & TOILET PAPER DISPENSER TO BE REMOVED & REPLACED WITH NEW. EXISTING MIRROR/MEDICINE CABINET TO REMAIN IN TYPICAL UNITS & LOWERED IN ANSI TYPE A UNITS. CLEAN & RECAULK. NEW CULTURED MARBLE VANITY COUNTERTOP WITH INTEGRAL BOWL & BACKSPLASH. EXISTING WATER CLOSET, TUB & SURROUND TO REMAIN. CLEAN & RECAULK. SEE PROJECT DETAILS & SPECS.
 - NEW GARAGE DOORS & FRAMES AT RESIDENTIAL BUILDINGS. FIELD VERIFY EXACT QUANTITY AND LOCATIONS.
 - PAINT EXISTING DOORS AND FRAME AT EXTERIOR SHED/STORAGE. TYP.
 - EXISTING ATTIC ACCESS PANEL.
 - PAINT WD. CAP.

FLOOR PLAN LEGEND

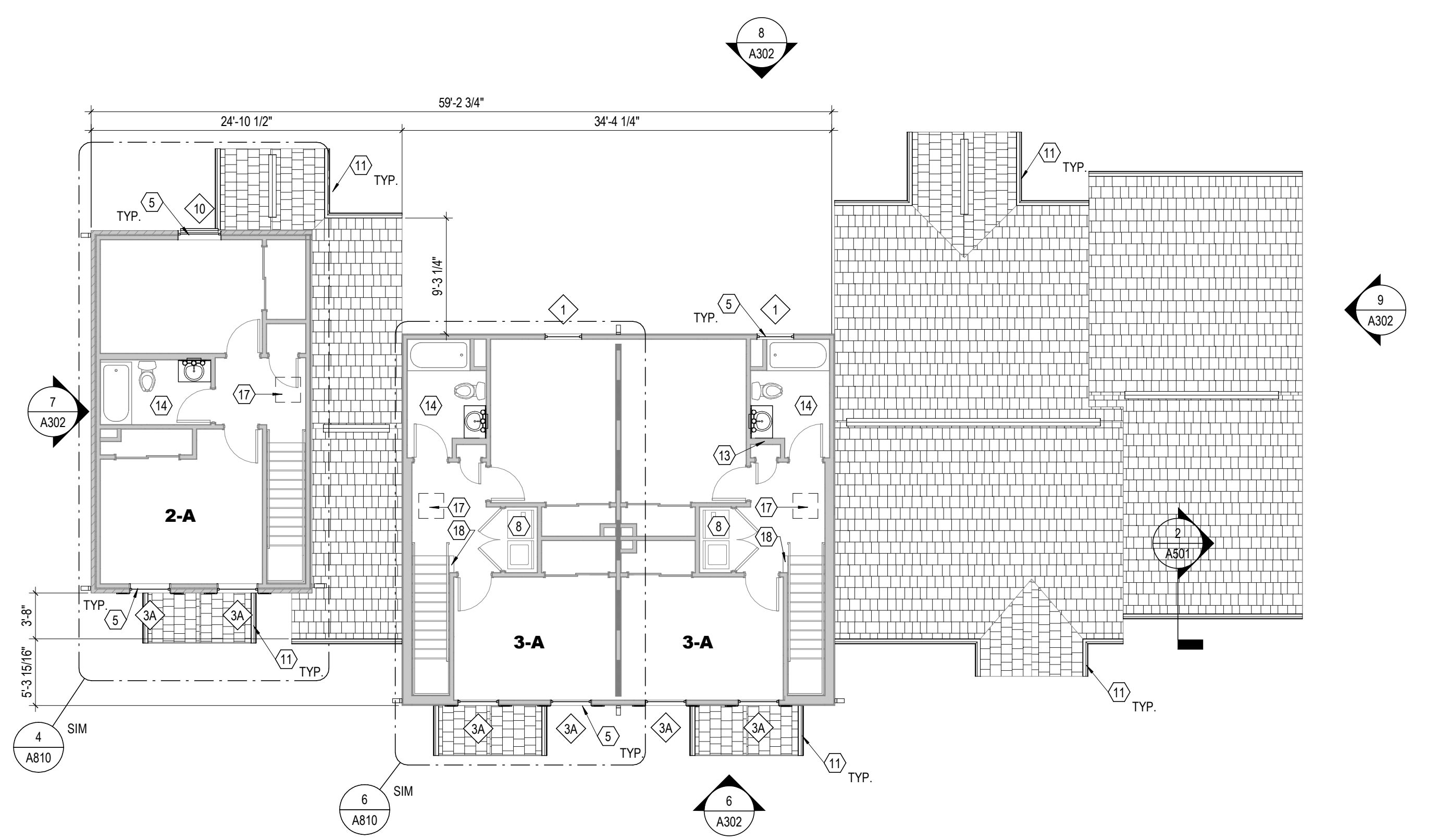
- REFERENCE ELEVATION (SEE PROJECT MANUAL FOR PHOTOS)
- VIEW NUMBER
XX-XX
- 3-A UNIT DESIGNATION, SEE ENLARGED UNIT PLAN SHEETS
- WINDOW TYPE (NEW WINDOWS - SEE SCHEDULE SHEET A701)
- FLOORING TYPE AND DIRECTION, REFER TO ENLARGED UNIT PLANS AND FINISH SCHEDULE
- DOOR TYPE
- ANSI TYPE A UNIT - ALL ANSI TYPE A UNITS TO ALSO INCLUDE SENSORY UNIT FEATURES. REFER TO SITE PLAN FOR LOCATIONS. LOCATE MEP EQUIPMENT AND DEVICES TO MAINTAIN CLEARANCES AS NOTED AND AS DASHED IN FLOOR PLANS. SEE MEP INFO FOR ADDITIONAL REQUIREMENTS.
- HEARING/VISUALLY IMPAIRED (SENSORY) UNIT - ALL ANSI TYPE A UNITS TO ALSO INCLUDE SENSORY UNIT FEATURES. REFER TO SITE PLAN FOR LOCATIONS. LOCATE MEP EQUIPMENT AND DEVICES TO MAINTAIN CLEARANCES AS NOTED AND AS DASHED IN FLOOR PLANS. SEE MEP INFO FOR ADDITIONAL REQUIREMENTS.
- SA SEMI-AMBULATORY (SA) UNIT - REFER TO SITE PLAN FOR LOCATIONS. LOCATE MEP EQUIPMENT AND DEVICES TO MAINTAIN CLEARANCES AS NOTED AND AS DASHED IN FLOOR PLANS. SEE MEP INFORMATION FOR ADDITIONAL REQUIREMENTS.
- REQUIRED CLEAR FLOOR AREA, CENTER AT SINKS & APPLIANCES
- UNOBSTRUCTED CLEARANCE FOR PATH OF ACCESSIBLE MEANS OF EGRESS (MIN. 36" REQUIRED)
- GYPSUM CEILING SOFFIT - EXACT SOFFIT SIZE / LOCATION MAY VARY, FIELD VERIFY EXISTING CONDITIONS PER UNIT
- EXISTING 1 HOUR FIRE RATED WALL

GENERAL NOTES - DEMOLITION

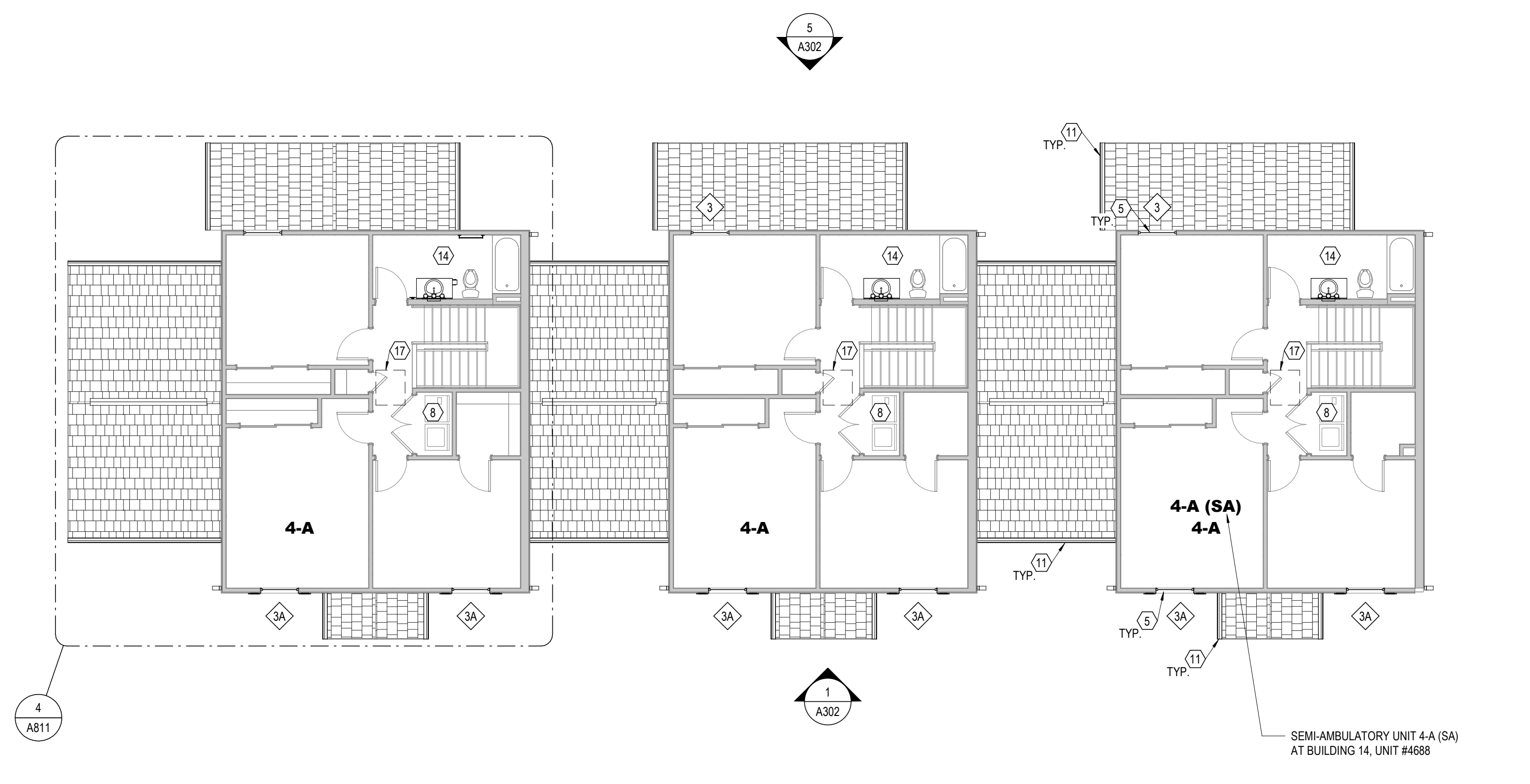
- THE FOLLOWING GENERAL NOTES APPLY TO ALL DWELLING UNITS IN THE PROJECT, U.O. (95 UNITS).
- REFER TO MEP DRAWINGS FOR ADDITIONAL SCOPE OF DEMOLITION WORK.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS/ DIMENSIONS PRIOR TO WORK. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND CONTRACT DOCUMENTS.
- EXISTING VCT FLOOR FINISH IS TO REMAIN U.O. CLEAN AND PREPARE SURFACE TO RECEIVE NEW FLOOR FINISH OVER EXISTING.
- REMOVE EXISTING RUBBER BASE IN UNITS WITHOUT DAMAGE TO SUBSTRATE AND PREPARE SURFACE TO RECEIVE NEW BASE. SEE FINISH SCHEDULE.
- ANY DAMAGE TO EXISTING WORK TO REMAIN SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR TO MATCH EXISTING SIMILAR WORK IN PLACE WHEN NEW. REPAIR ALL DAMAGED WORK IN CONNECTION WITH DEMOLITION WORK INCLUDING DAMAGE CAUSED BY REMOVAL OR INSTALLATION OF MECHANICAL OR ELECTRICAL ITEMS OR EQUIPMENT.
- WHERE WALLS ARE BEING REMOVED, FILL ALL VOIDS IN FLOORING WITH CEMENTITIOUS INFILL. FINISH FLOOR TO BE LEVEL WITH ANY ADJACENT FLOOR FINISHES.
- U.O. REMOVE ALL EXISTING WALL FINISHES (WALL COVERINGS, BASES, ETC.) FROM EXISTING WALLS. SEE PLANS FOR LOCATION AND FINISH SCHEDULE FOR ADDITIONAL INFORMATION ON NEW FINISHES.
- DO NOT CUT INTO, REMOVE OR ALTER ANY STRUCTURAL MEMBER OR PORTION OF THE FLOOR, WALL OR ROOF SYSTEM UNLESS SPECIFICALLY NOTED OR INDICATED ON THE DRAWINGS. IF UNCLEAR, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- MAINTAIN & PROTECT EXISTING LAUNDRY EQUIPMENT (TENANT FURNISHED) IN UNITS. REMOVE & REINSTALL FOR FINISH WORK INSTALLATION.
- REMOVE EXISTING WINDOW TREATMENTS AT ALL BUILDINGS.
- AT ALL RESIDENTIAL BUILDINGS, REMOVE EXISTING WINDOWS AND PREPARE FOR INSTALLATION OF NEW WINDOW.
- REMOVE ALL EXISTING UNIT ENTRY DOORS, STORM DOORS.
- REMOVE GYPSUM BD. AT KITCHEN WALL CABINETS AND BACKSPLASH AREAS.
- REMOVE GYPSUM BD. BEHIND BATH VANITIES, WALL SINKS AND WHERE TURBIDITY/ISSUES ARE BEING REPAIRED.
- AT ALL UNITS WITH GARAGES, REMOVE EXISTING GARAGE DOOR, ALL ATTACHMENTS AND OPERATOR AND PREPARE FOR NEW DOOR AND OPERATOR.

GENERAL NOTES - FLOOR PLAN

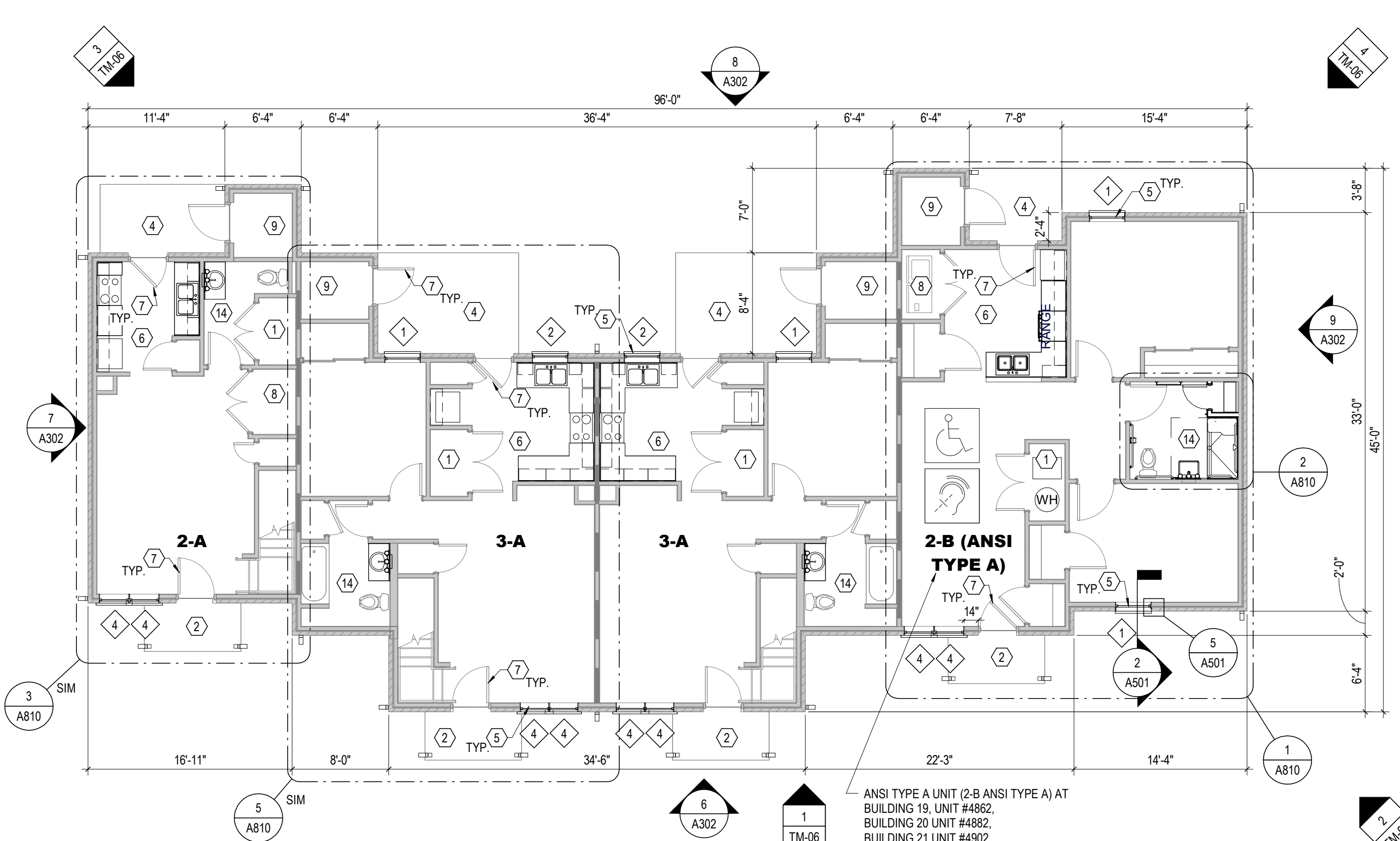
- THESE DRAWINGS ARE TO BE USED IN CONJUNCTION WITH EXTERIOR CONSTRUCTION DOCUMENT PHOTOGRAPHS & SPECIFICATIONS INCLUDED IN PROJECT MANUAL. THE EXTERIOR PHOTOGRAPHS AND NOTES ILLUSTRATE THE SCOPE OF WORK REQUIRED FOR THE EXTERIOR OF THE BUILDING ALONG WITH NOTES & DETAILS INCLUDED IN THE DRAWINGS. SEE EXTERIOR ELEVATIONS FOR EXTENT OF EXTERIOR WORK AT BUILDINGS.
- THE FOLLOWING GENERAL NOTES APPLY TO ALL UNITS IN ALL BUILDINGS.
- ALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD SHEATHING, U.O. ALL EXTERIOR DIMENSIONS ARE TO THE OUTSIDE OF THE STRUCTURE. CONTRACTOR IS TO FIELD VERIFY ALL DIMENSIONS.
- REFER TO SHEET 6001 FOR UNIVERSAL DESIGN FEATURES THAT HAVE BEEN INCORPORATED IN THE PROJECT.
- REFER TO SPECIFICATIONS FOR UNIT PRICE INFORMATION.
- ALL CONSTRUCTION TO OCCUR IN UNOCCUPIED EMPTY UNITS. TENANTS WILL BE PERMANENTLY RELOCATED FROM THE UNITS IN A MULTI-PHASED PATH DURING THE DURATION OF CONSTRUCTION. TENANT FURNITURE AND BELONGINGS WILL BE MOVED PRIOR TO WORK IN ANY UNIT. CONTRACTOR IS RESPONSIBLE FOR PHASING CONSTRUCTION IN COORDINATION WITH OWNER. ALL UNITS TO BE READY AT THE END OF CONSTRUCTION.
- NEW WORK INSTALLED INVOLVES DEMOLITION & REMOVAL OF ALL EXISTING LIKE MATERIALS NECESSARY FOR THE INSTALLATION OF NEW WORK, U.O. INCLUDING BUT NOT LIMITED TO KITCHEN CABINETS, BATH VANITIES, DOORS & FRAMES, PLUMBING FIXTURES, PLUMBING & ELECTRICAL DEVICES.
- SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION. WORK IS TO BE COORDINATED THROUGH THE GENERAL TRADES CONTRACTOR.
- ADD AUDIOVISUAL ALARM NOTIFICATION IN TWO PERCENT OF EXISTING UNITS THAT ARE DESIGNATED FOR PERSONS WITH SENSORY IMPAIRMENTS; ADDITIONALLY, ADD SENSORY UNIT FEATURES TO THE FIVE PERCENT OF UNITS DESIGNATED AS ANSI TYPE A UNITS. SEE SITE PLAN FOR LOCATIONS.
- LOCATION OF EXISTING MOBILITY UNITS (5) TO REMAIN AND WILL BE DESIGNATED AS ANSI TYPE A UNITS. SEE SITE PLAN FOR LOCATIONS AND ENLARGED UNIT PLAN FOR SCOPE OF WORK IN ANSI TYPE A UNITS.
- PROVIDE SEMI-AMBULATORY UNITS IN FIVE PERCENT OF EXISTING UNITS THAT ARE DESIGNATED AS SA. SEE SITE PLAN FOR LOCATIONS AND ENLARGED UNIT PLAN FOR SCOPE OF WORK IN SA UNITS.
- IN BASE BID, EXISTING SHINGLE ROOF SYSTEM IS TO REMAIN AT ALL BUILDINGS. SEE MEP DRAWINGS FOR NEW PIPE PENETRATIONS THROUGH EXISTING ROOF SYSTEM AND WORK IN ATTIC SPACE. CONTRACTOR TO FLASH AND SEAL ALL PENETRATIONS PER MFR RECOMMENDATIONS. ROOF PENETRATIONS NOT SHOWN ON DRAWINGS. SEE ROOF PLANS FOR ADDITIONAL INFORMATION.
- INTEGRITY OF EXISTING FIRE SEPARATION WALLS IS TO BE MAINTAINED DURING CONSTRUCTION. ALL NEW PENETRATIONS THROUGH FLOOR CEILING ASSEMBLY AT UNITS ARE TO BE FIRESTOPPED. SEAL ALL MEP PENETRATIONS IN EXTERIOR AND DEMISING WALLS.
- ALL EXISTING UNIT ENTRY DOORS AND FRAMES, FRONT & REAR TO BE REPLACED WITH NEW, INSULATED STEEL DOORS INCLUDING NEW LEVER-TYPE HARDWARE AT ALL DOORS (LOCKSET, HINGES, SEALS, ETC.) AND WALL MOUNTED DOOR STOPS AT ALL SWINGING DOORS. REFER TO DOOR SCHEDULE AND SPECS FOR ADDITIONAL INFO. NEW ENTRY DOORS TO HAVE ONE DOOR VIEWER. AT ANSI TYPE A UNITS AND SECOND DOOR VIEWER AT 48" A.F.
- IN BASE BID, INCLUDE UNIT COST FOR REPLACING 20 EXTERIOR INSULATED STEEL DOORS AND FRAMES AT SHED ROOM ATTACHED TO RESIDENTIAL BUILDINGS. EXISTING FRAMES TO REMAIN. PAINT NEW DOORS & ASSOCIATED FRAMES.
- ALL EXISTING WINDOW SYSTEMS ARE TO BE REPLACED AT ALL RESIDENTIAL BUILDINGS. U.O. REPLACE WITH NEW ENERGY STAR RATED WINDOW SYSTEM PER SPECS AND DETAILS. CAULK STRIP ALL WINDOW INSTALLATIONS.
- WHERE GYPSUM WALL BOARD INSTALLATION, PATCHING OR REPAIR WORK IS BEING DONE, PROVIDE PAPERLESS GYPSUM BOARD (PGB) BEHIND TOILETS. THE SPACE BETWEEN THE SHOWER ENCLOSURE, AND TO THE TOP OF TOILET TANKS, PROVIDE PGB AT SHOWER WALLS WHERE THE PGB WILL NOT HAVE AN EXPOSED FINISH EXCEPT 6 INCHES BEYOND SHOWER JAMBS (6 INCHES ABOVE SHOWER NIPPLE). PROVIDE PAPER-FACED MOISTURE-RESISTANT GYPSUM BOARD ON CEILINGS WHERE BATHROOMS ARE ABOVE AND WITHIN FOUR (4) FEET HORIZONTALLY AND VERTICALLY OF ANY WATER SOURCES, EXCEPT AT TOILET LOCATIONS WITH PGB. CONTRACTOR TO INSTALL ANY NEW DRYWALL TO ALIGN WITH FACE OF ADJACENT EXISTING DRYWALL PARTITIONS. TYP.
- SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION ON LOCATIONS AND TYPES OF FINISH MATERIALS. SEE ENLARGED PLANS FOR ADDITIONAL FINISH INFORMATION AND EXTENT OF INTERIOR WORK.
- NEW WINDOW TREATMENT (BLINDS) & HEAVY-DUTY WINDOW SCREENS AT ALL WINDOWS. FIELD VERIFY EXACT SIZE & QUANTITY.
- SEAL ALL ACCESSIBLE CRACKS IN CONCRETE FLOOR SLAB WITH POLYURETHANE CAULKING.
- CLEAN CONCRETE FLOOR SLAB AT MECH/UTILITY CLOSET. CLEAN ANY CLOGGED FLOOR DRAIN, DRAIN LINE, AND CONDENSATE LINE.
- SEAL ALL ACCESSIBLE CRACKS, GAPS AND HOLES IN BUILDING ENVELOPE. SEAL ALL WALL, FLOOR & JOINT PENETRATIONS CREATED BY PLUMBING, GAS LINES, ELECTRICAL BOXES & OUTLETS, ETC. WITH MOC CAULKING. ALL HOLES INTO STUD & JOIST CAVITIES MUST BE SEALED.
- SEAL JOINTS BETWEEN WALLS AND FOUNDATION, BETWEEN CONDITIONED SPACES AND ATTICS, AND AT DEMISING WALLS.
- SEAL AT ALL JOINTS AROUND EXTERIOR DOORS AND WINDOWS.
- GASKET ATTIC ACCESS PANELS. SEAL DRYWALL TO FRAME OF PANEL.
- SEAL AT EXTERIOR SHEATHING AND HOUSE WRAP.
- SEAL ALL MEP PENETRATIONS IN EXTERIOR AND DEMISING WALLS.
- SEAL ALL SUPPLY BOOTHS TO REGISTER TO REDUCE OUTSIDE DUCT LEAKAGE.
- REFER TO ROOF PLAN FOR FULL SCOPE OF WORK.
- IN BASE BID, INCLUDE COST FOR REPLACING 95 UNIT INTERIOR DOORS (36" X 80" SWING DOORS) AND FRAMES IN ADDITION TO THE DOORS BEING CALLED OUT TO BE REPLACED IN DOOR SCHEDULE AND NOTES.
- POWER WASH ALL REAR CONCRETE PATIOS AND PORCH SLABS.



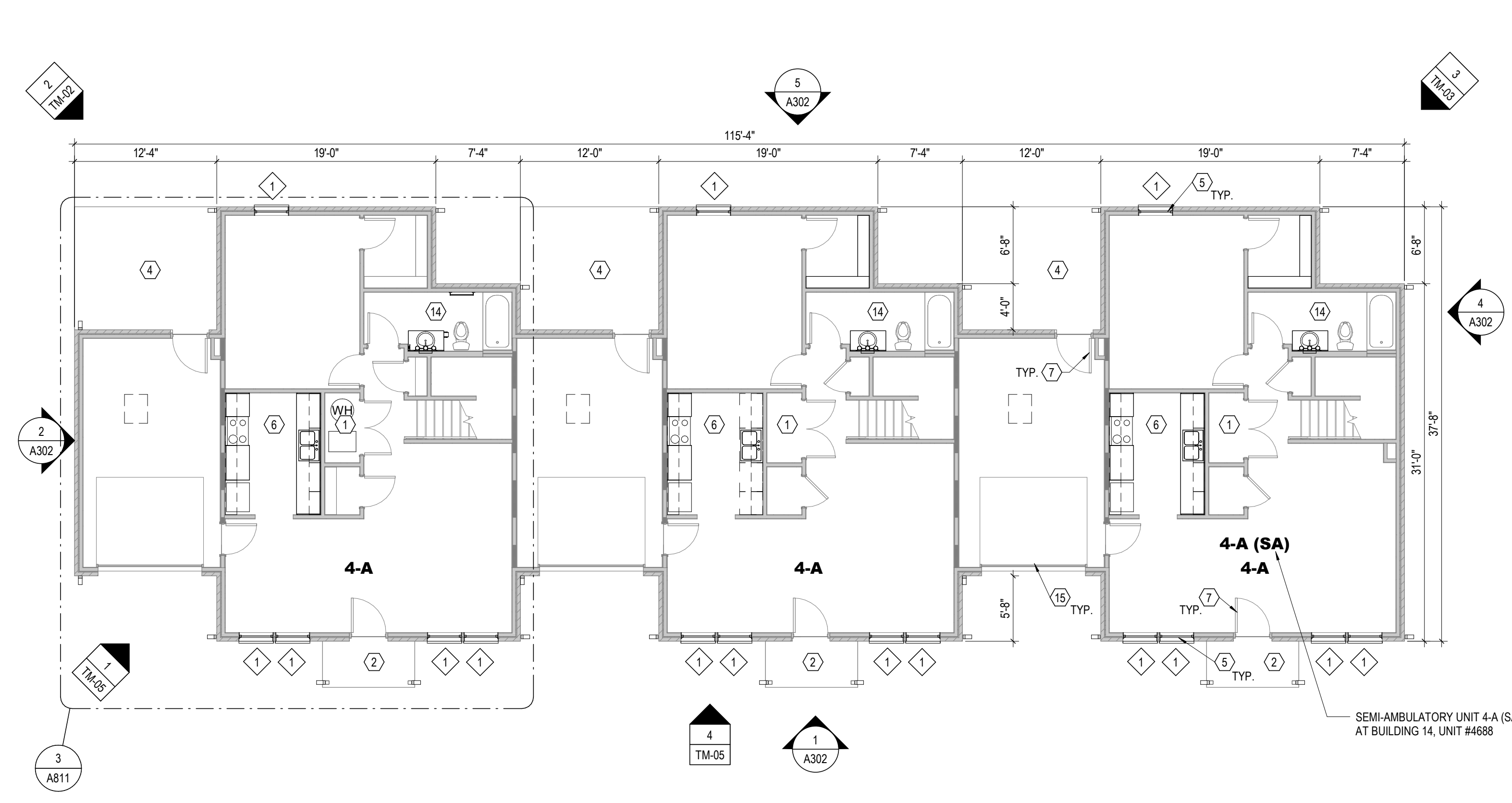
4 PLAN SECOND FLOOR PLAN - BUILDING TYPE VI
1/8" = 1'-0"



2 PLAN SECOND FLOOR PLAN - BUILDING TYPE V
1/8" = 1'-0"



3 PLAN FIRST FLOOR PLAN - BUILDING TYPE VI
1/8" = 1'-0"



1 PLAN FIRST FLOOR PLAN - BUILDING TYPE V
1/8" = 1'-0"

#	DATE	CHANGE DESCRIPTION

THE MEADOWS RAD RENOVATIONS
COLUMBUS METROPOLITAN HOUSING AUTHORITY
300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215
PHONE: (614) 461-4664 FAX: (614) 280-8881
MOODY-NOLAN CERTIFICATE NO: FIRM 00197475

OVERALL FLOOR PLANS - TYPE - V & VI

08/14/2025
DRAWN BY: XXXX CHECKED BY: XXXX
18076.04
A103
BID / PERMIT SET

**GENERAL NOTES - ROOF DEMOLITION
BASE BID**

- A. AT COMMUNITY BUILDING AND ALL RESIDENTIAL BUILDINGS AND PORCHES, EXISTING SHINGLE ROOF SYSTEM TO REMAIN.
- B. AT COMMUNITY BUILDING AND ALL RESIDENTIAL BUILDINGS AND PORCHES, EXISTING RIDGE VENTS AND/OR HAT VENTS ARE TO REMAIN AT ALL BUILDINGS.
- C. AT COMMUNITY BUILDING AND ALL RESIDENTIAL BUILDINGS AND PORCHES, REMOVE AND REPLACE EXISTING GUTTERS & DOWNSPOUTS.
- D. MAINTAIN & PROTECT EXISTING PLUMBING VENTS.
- E. AT COMMUNITY BUILDING AND ALL RESIDENTIAL BUILDINGS AND PORCHES, REMOVE AND REPLACE EXISTING SOFFITS & CEILINGS, U.N.O.
- F. REMOVE AND REPLACE EXISTING SOFFITS & CEILINGS, U.N.O.

**GENERAL NOTES - ROOF DEMOLITION
ALTERNATE**

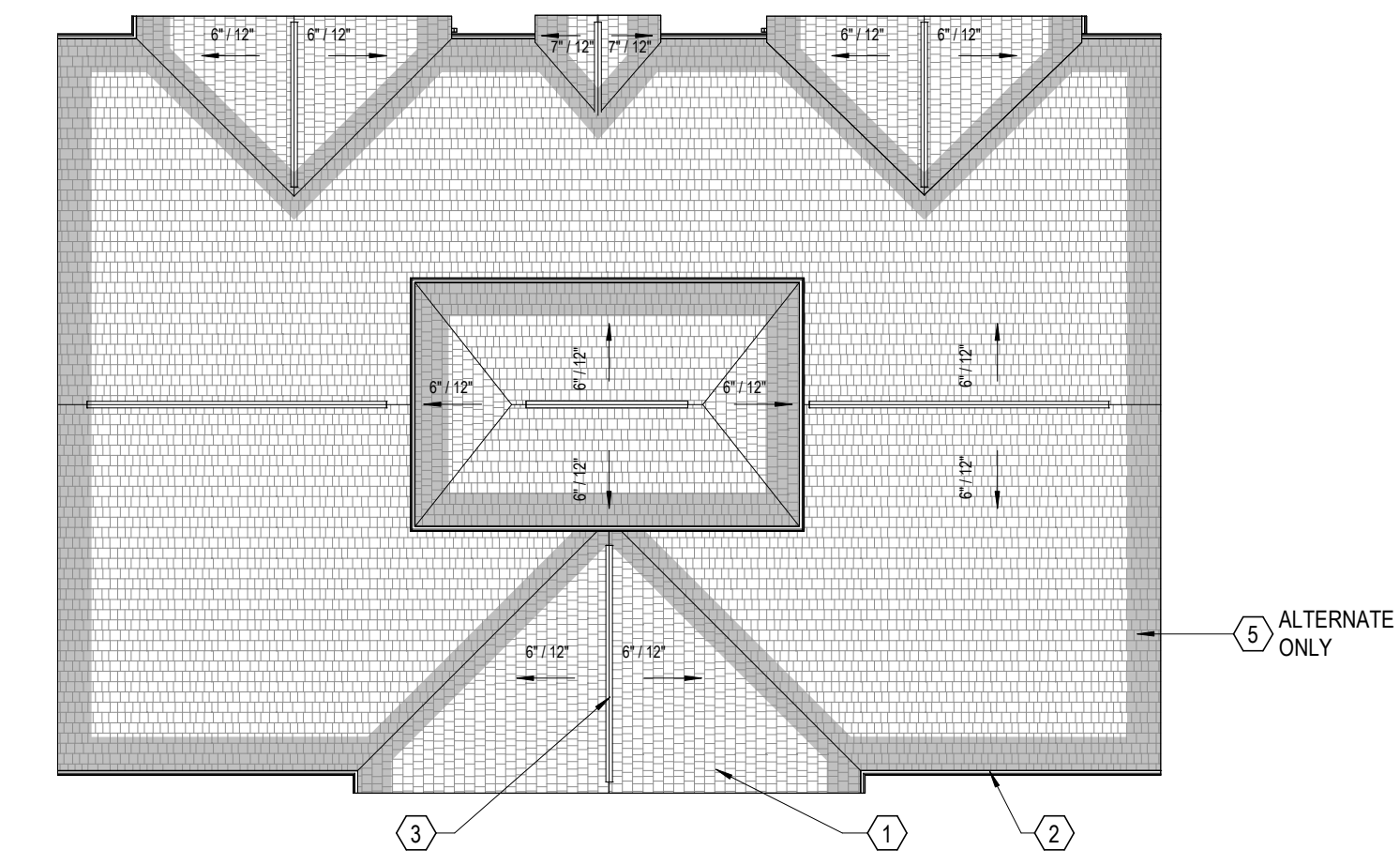
- A. AT COMMUNITY BUILDING AND ALL RESIDENTIAL BUILDINGS AND PORCHES, REMOVE EXISTING ASPHALT SHINGLE ROOF SYSTEM.
- B. AT COMMUNITY BUILDING AND ALL RESIDENTIAL BUILDINGS AND PORCHES, REMOVE EXISTING RIDGE VENTS AND/OR HAT VENTS.
- C. AT COMMUNITY BUILDING AND ALL RESIDENTIAL BUILDINGS AND PORCHES, REMOVE AND REPLACE EXISTING GUTTERS & DOWNSPOUTS.
- D. MAINTAIN & PROTECT EXISTING PLUMBING VENTS.
- E. AT COMMUNITY BUILDING AND ALL RESIDENTIAL BUILDINGS AND PORCHES, REMOVE AND REPLACE EXISTING SOFFITS & CEILINGS, U.N.O.
- F. EXISTING SHINGLE ROOF SYSTEM IS TO BE REMOVED COMPLETELY TO ROOF SHEATHING. ITEMS FOR REMOVAL INCLUDE SHINGLES, UNDERLAYMENT, DRIP EDGES, AND ALL RELATED DEVICES AND MATERIALS USED TO SECURE ROOFING.
- G. MAINTAIN AND PROTECT EXISTING PLUMBING VENTS. PROVIDE NEW BOOTS.
- H. REMOVE EXISTING SOFFITS, FASCIA, GUTTERS, DOWNSPOUTS ETC.
- I. UPON REMOVAL OF EXISTING ROOFING, THE CONTRACTOR SHALL NOTIFY THE OWNER ABOUT CONDITION OF EXISTING SHEATHING.
- J. REMOVE EXISTING RIDGE VENTS AND HAT VENTS.

**(X) CODED NOTES - ROOF PLAN
BASE BID**

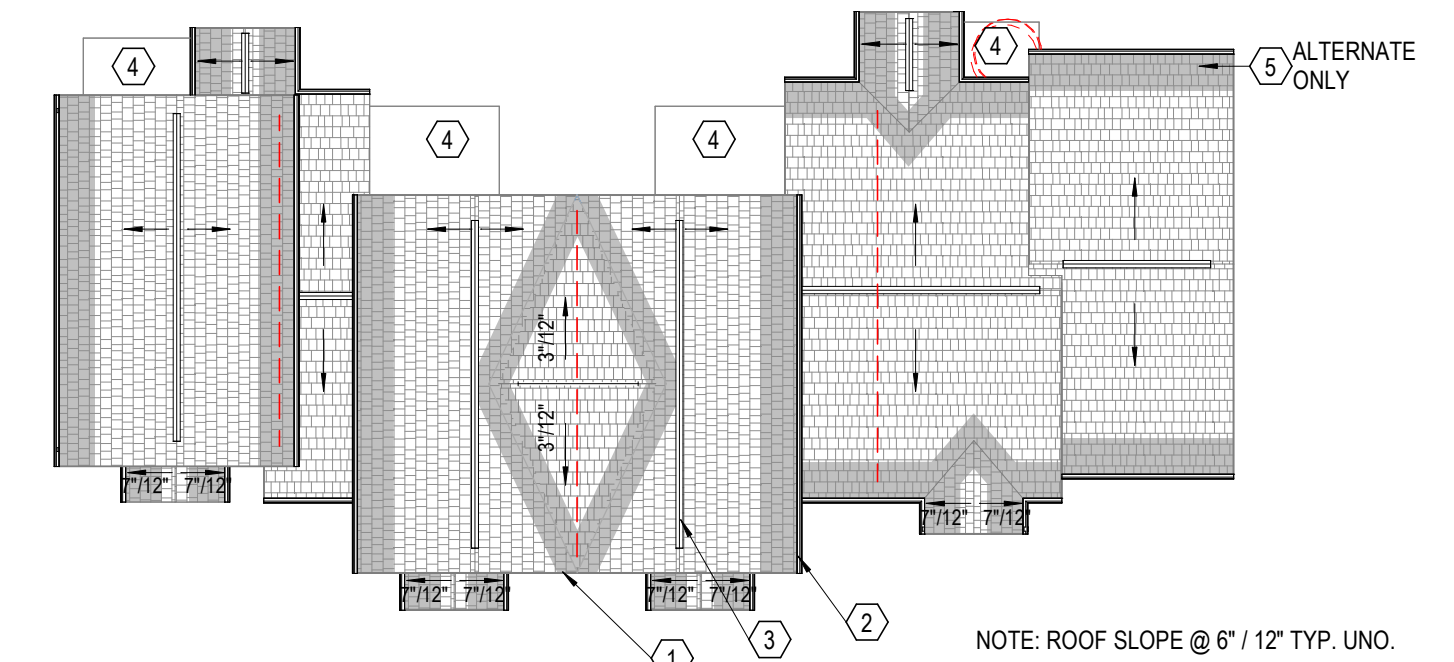
- 1. EXISTING ASPHALT SHINGLE ROOF SYSTEM TO REMAIN.
- 2. NEW GUTTER & DOWNSPOUT SYSTEM. ADD LEAF GUARDS TO ALL GUTTERS.
- 3. EXISTING RIDGE VENT SYSTEM TO REMAIN.
- 4. EXISTING PATIO BELOW.

**(X) CODED NOTES - ROOF PLAN
ALTERNATE**

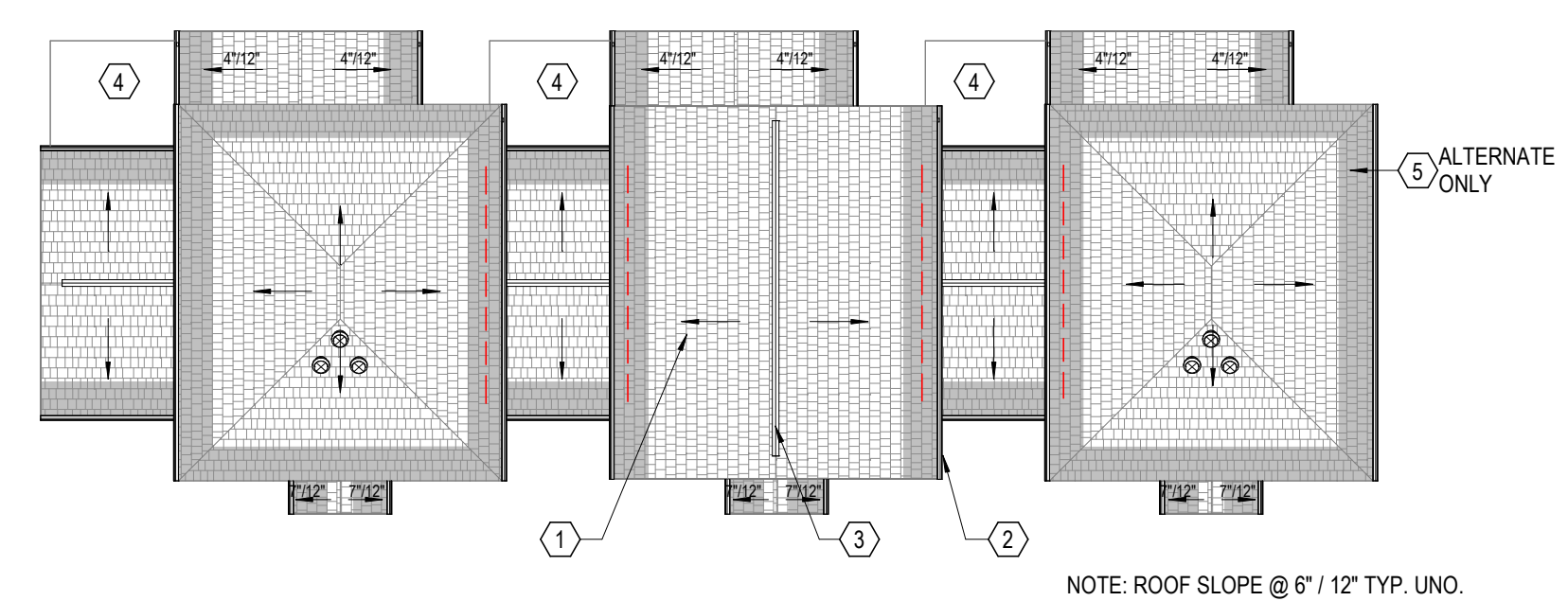
- 1. NEW ASPHALT SHINGLE ROOF SYSTEM. REPLACE ANY DETERIORATED SHEATHING.
- 2. NEW GUTTER & DOWNSPOUT SYSTEM. ADD LEAF GUARDS TO ALL GUTTERS.
- 3. NEW RIDGE VENT SYSTEM.
- 4. EXISTING PATIO BELOW.
- 5. SOLID LIGHT GRAY HATCH DENOTES LOCATION OF ICE AND WATER BARRIER. ICE AND WATER BARRIER EXTEND FROM EDGE OF ROOF TO AT LEAST 24" INSIDE OF EXTERIOR WALL LINE OF BUILDING.



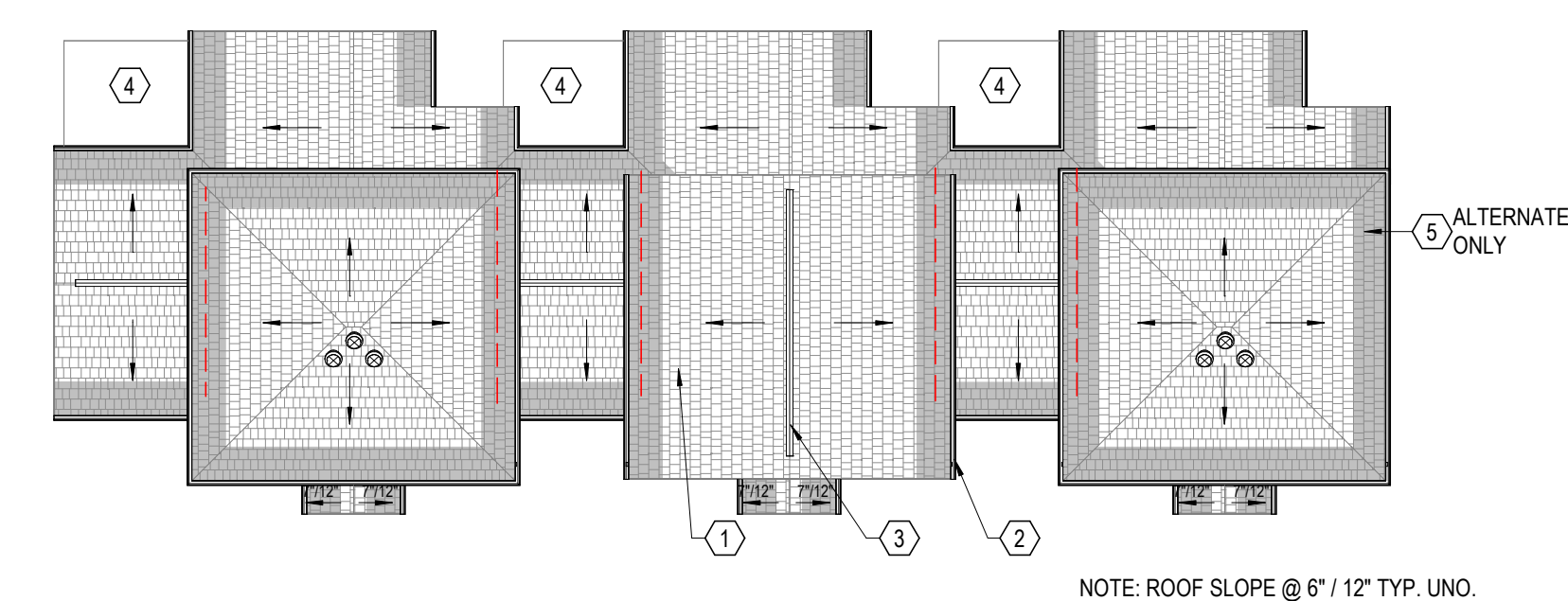
7 PLAN ROOF PLAN - COMMUNITY CENTER
1/16" = 1'-0"



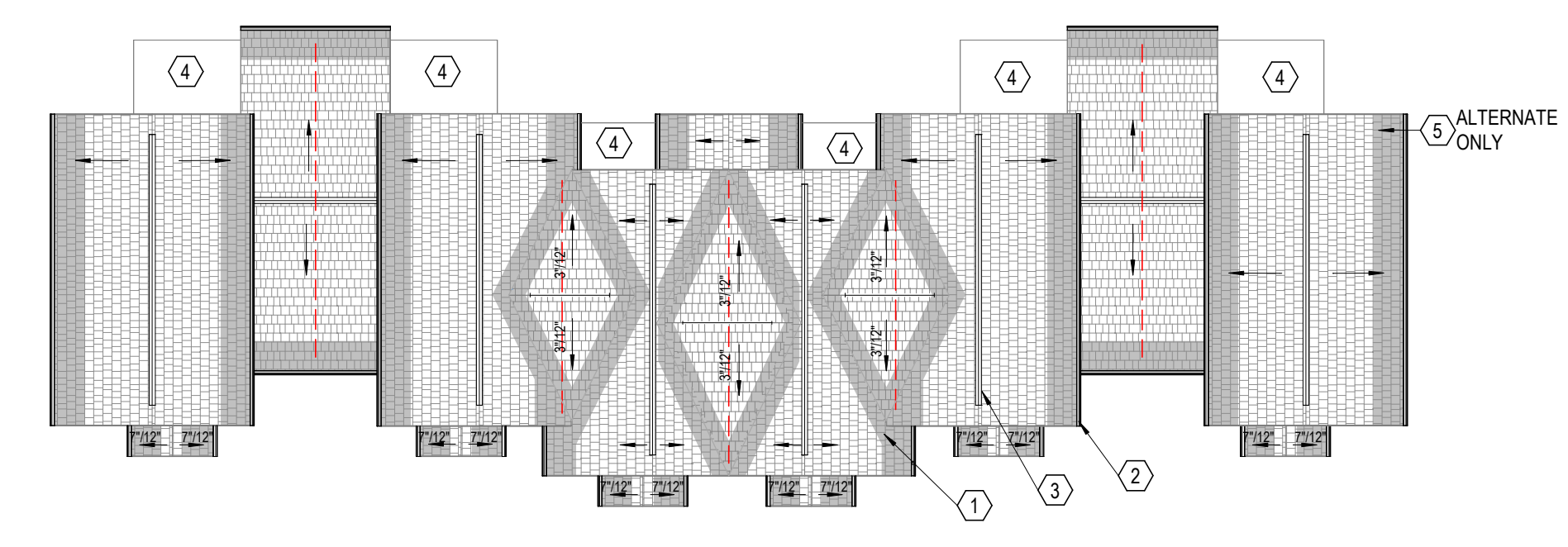
6 PLAN ROOF PLAN - TYPE VI
1/16" = 1'-0"



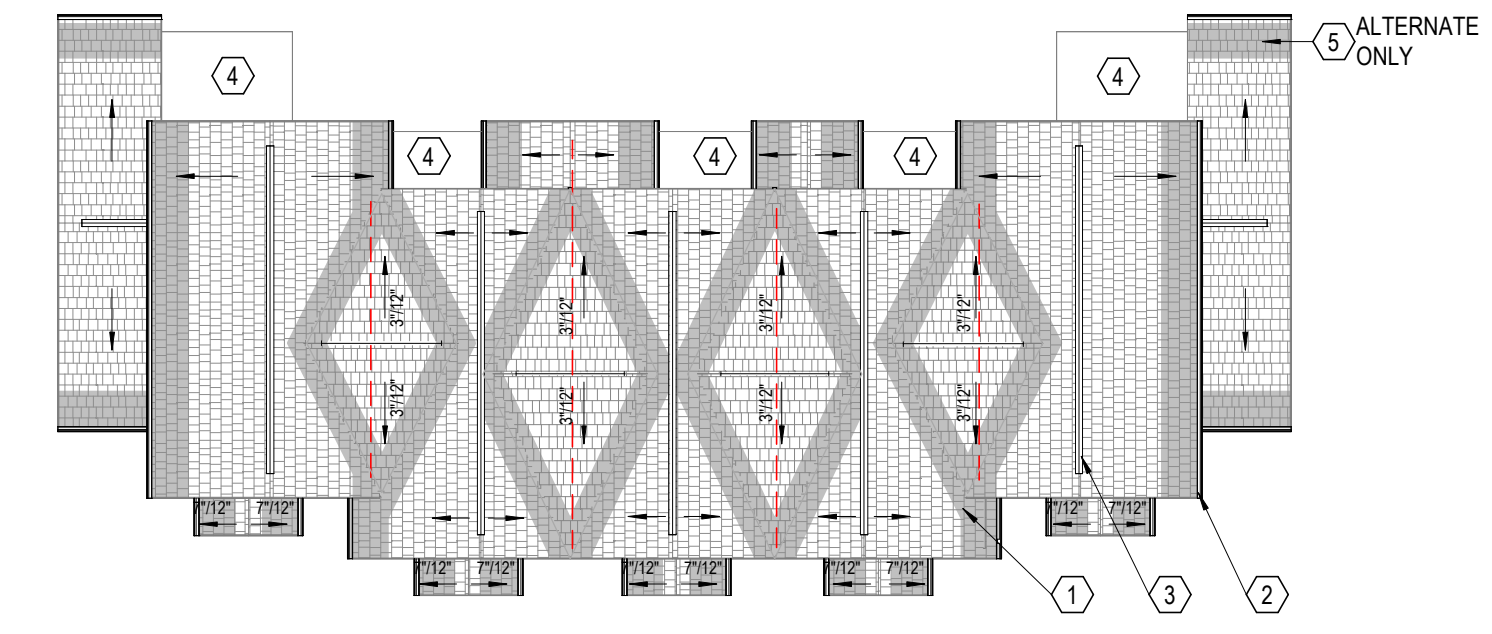
5 PLAN ROOF PLAN - TYPE V
1/16" = 1'-0"



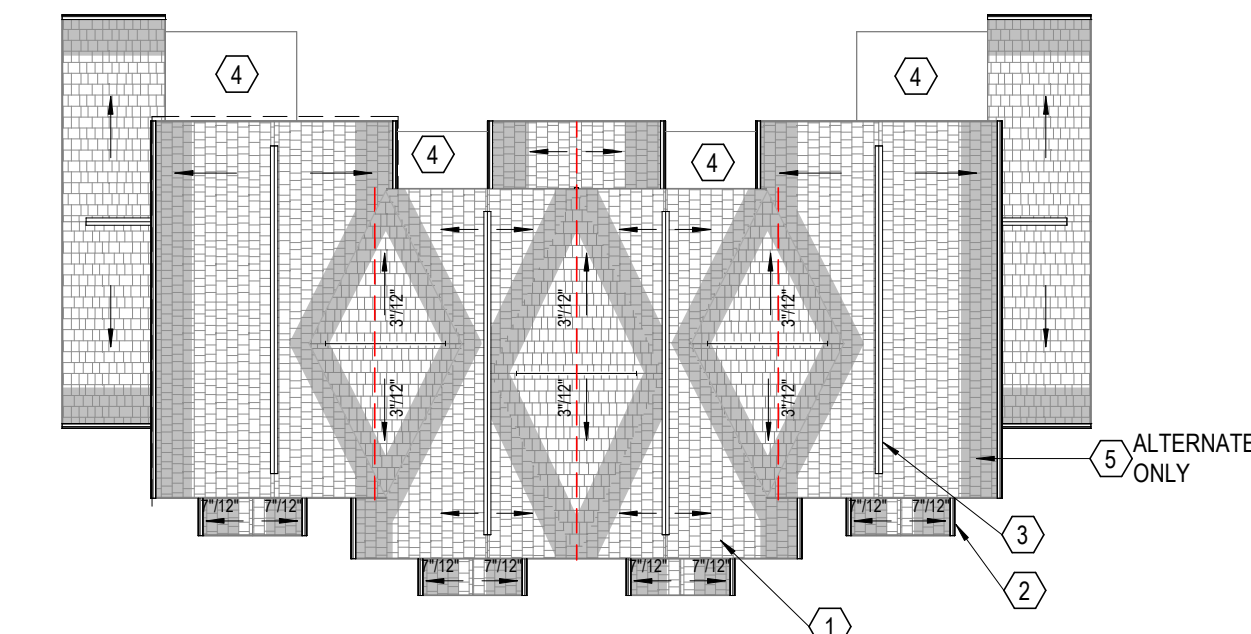
4 PLAN ROOF PLAN - TYPE IV
1/16" = 1'-0"



3 PLAN ROOF PLAN - TYPE III
1/16" = 1'-0"



2 PLAN ROOF PLAN - TYPE II
1/16" = 1'-0"



1 PLAN ROOF PLAN - TYPE I
1/16" = 1'-0"

#	DATE	CHANGE DESCRIPTION

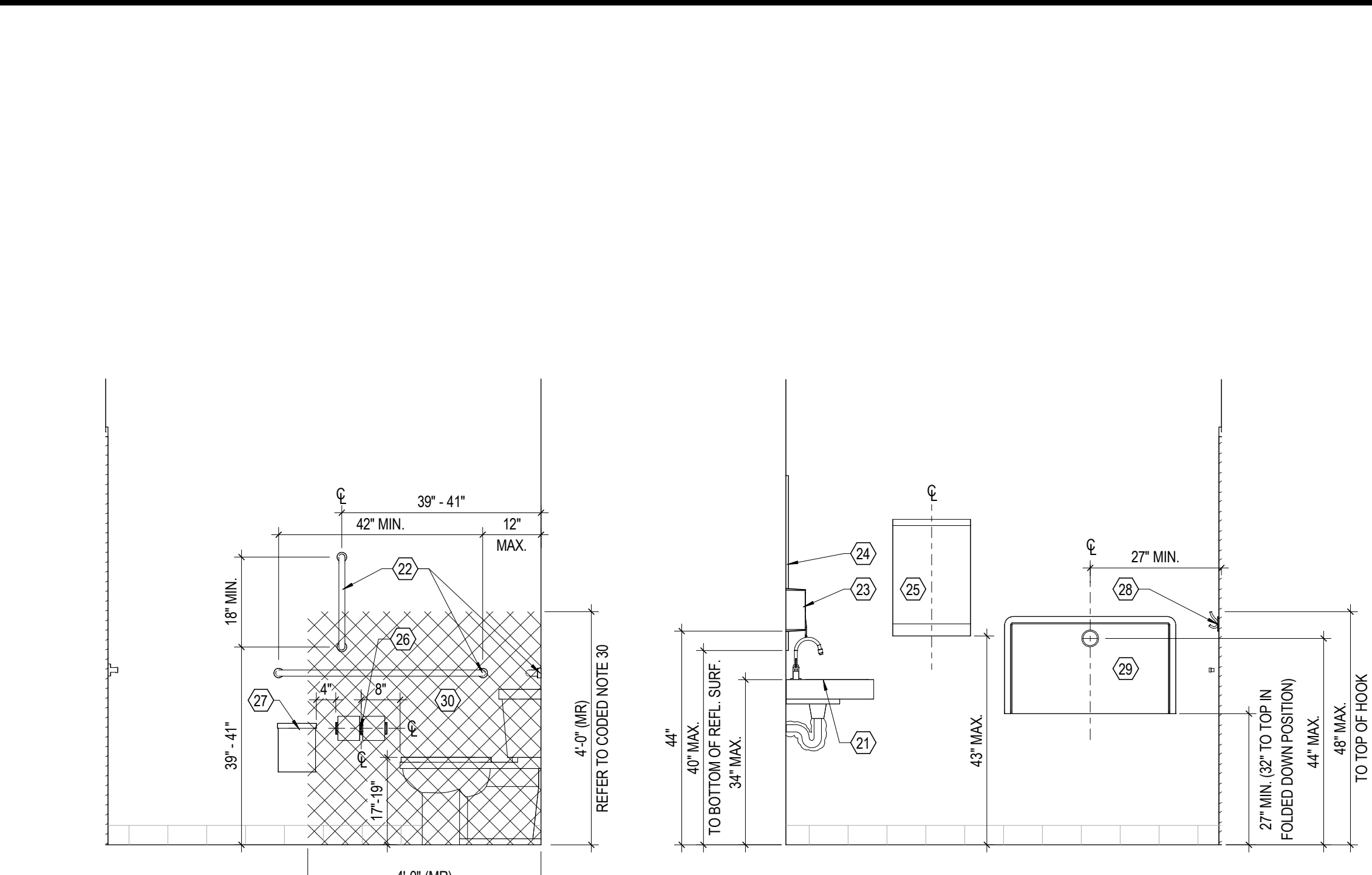
THE MEADOWS RAD RENOVATIONS
COLUMBUS METROPOLITAN HOUSING AUTHORITY
4855 PINTAL CREEK DRIVE
COLUMBUS, OH 43110
FOR COLUMBUS METROPOLITAN HOUSING AUTHORITY

Moody Nolan 300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881
CERTIFICATE NO: FIRM 00197475

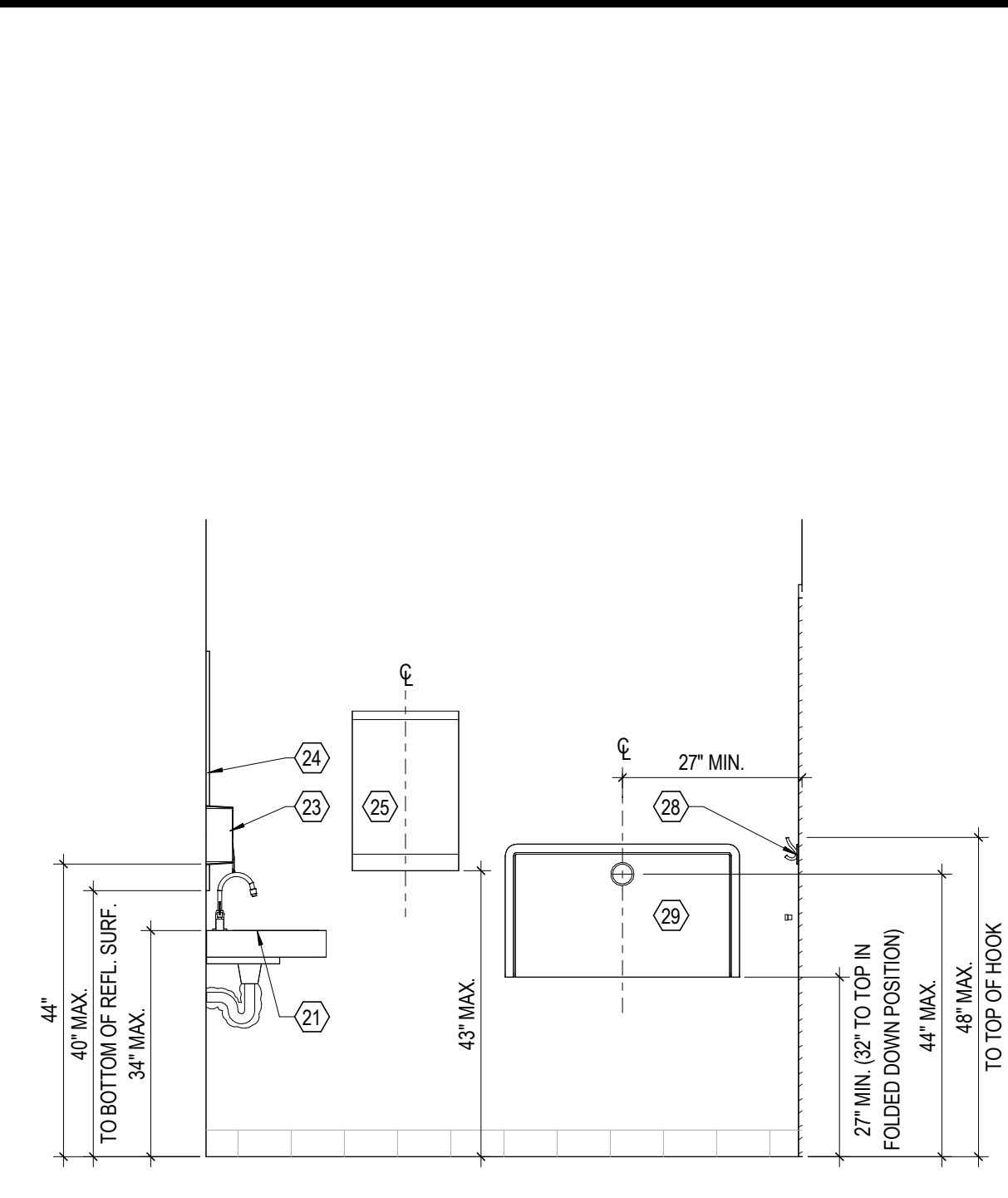
DRAWING TITLE:
ROOF PLANS

STATE OF OHIO REGISTERED ARCHITECT
JAY W. BOONE #10740
EXP. DATE: 12/31/2025

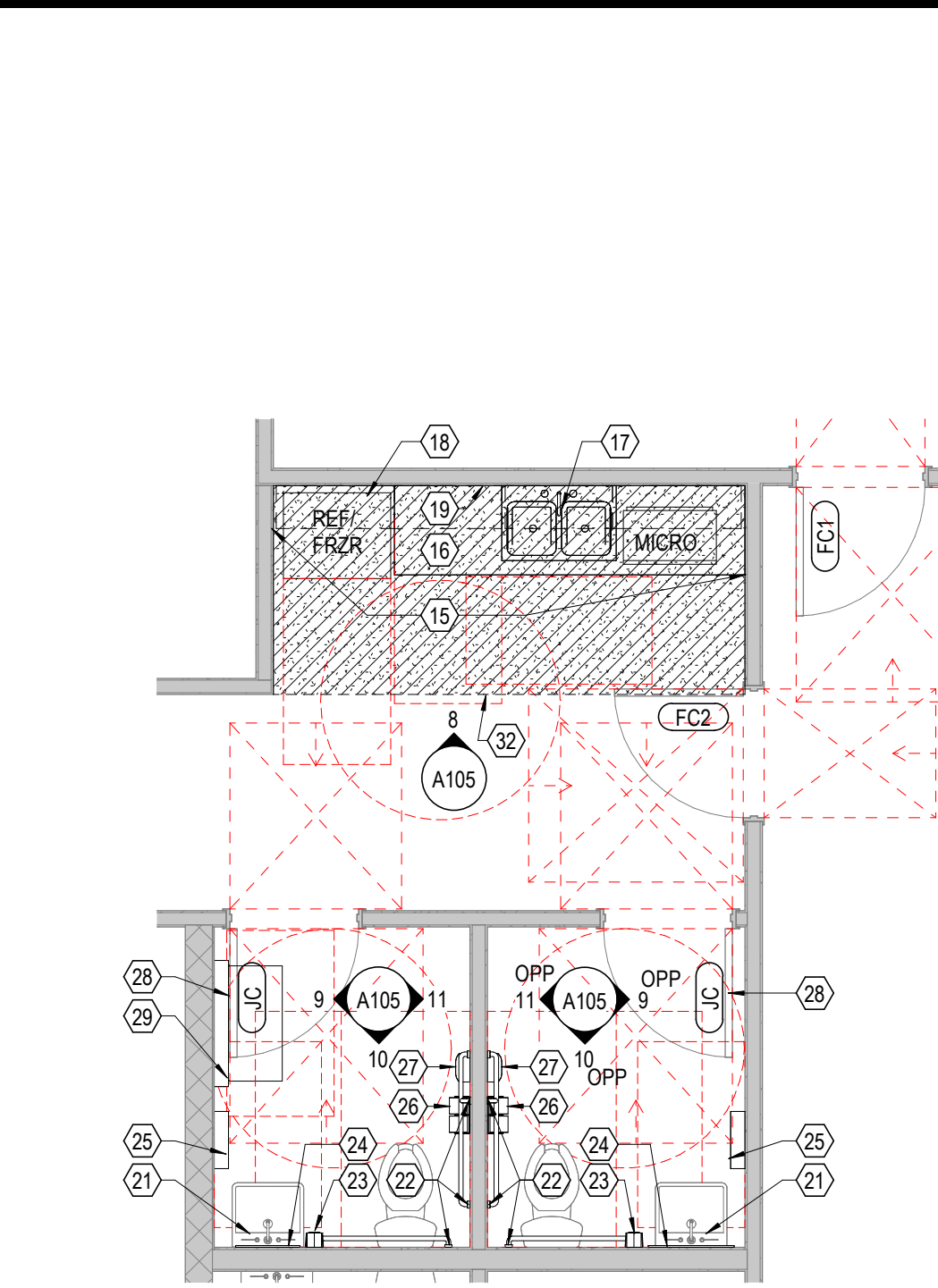
08/14/2025
DRAWN BY: XXXX CHECKED BY: XXXX
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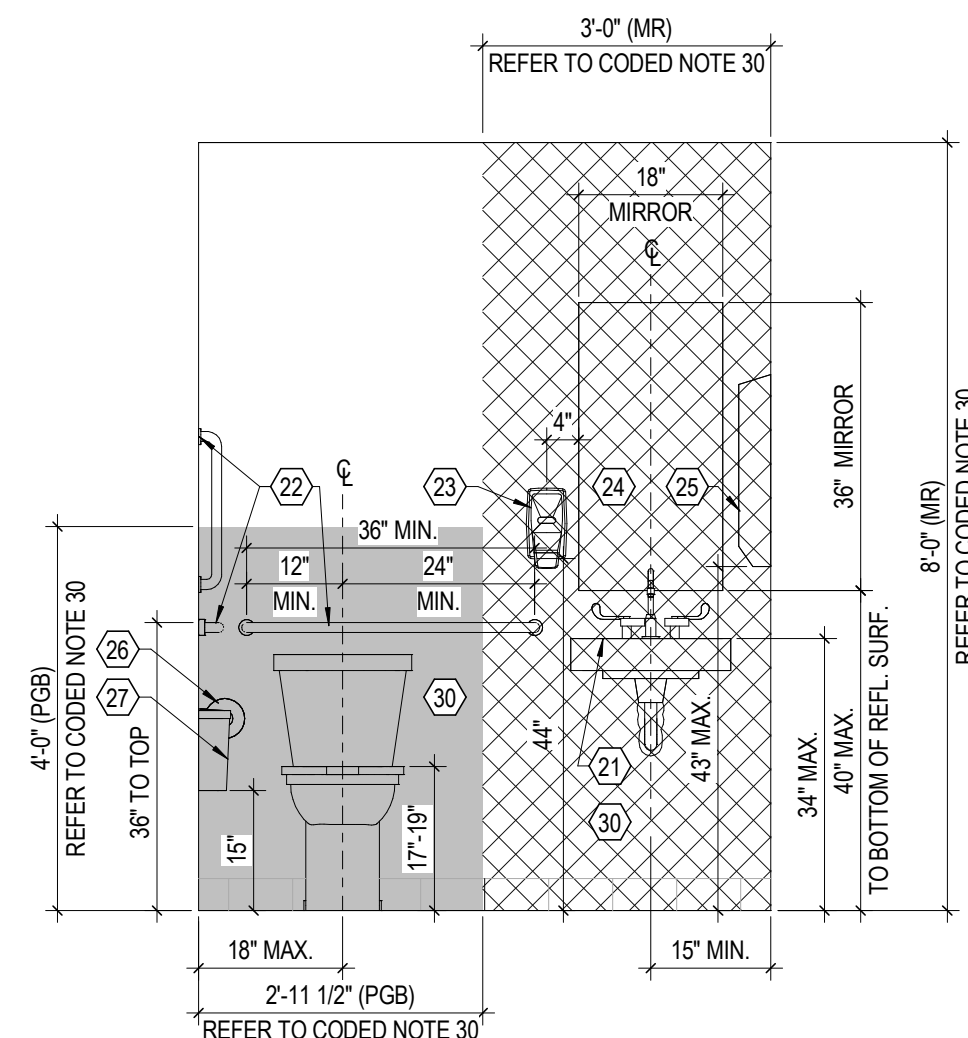
11 ELEVATION COMMUNITY CENTER TOILET
 1/2" = 1'-0" REF: 7 / A105



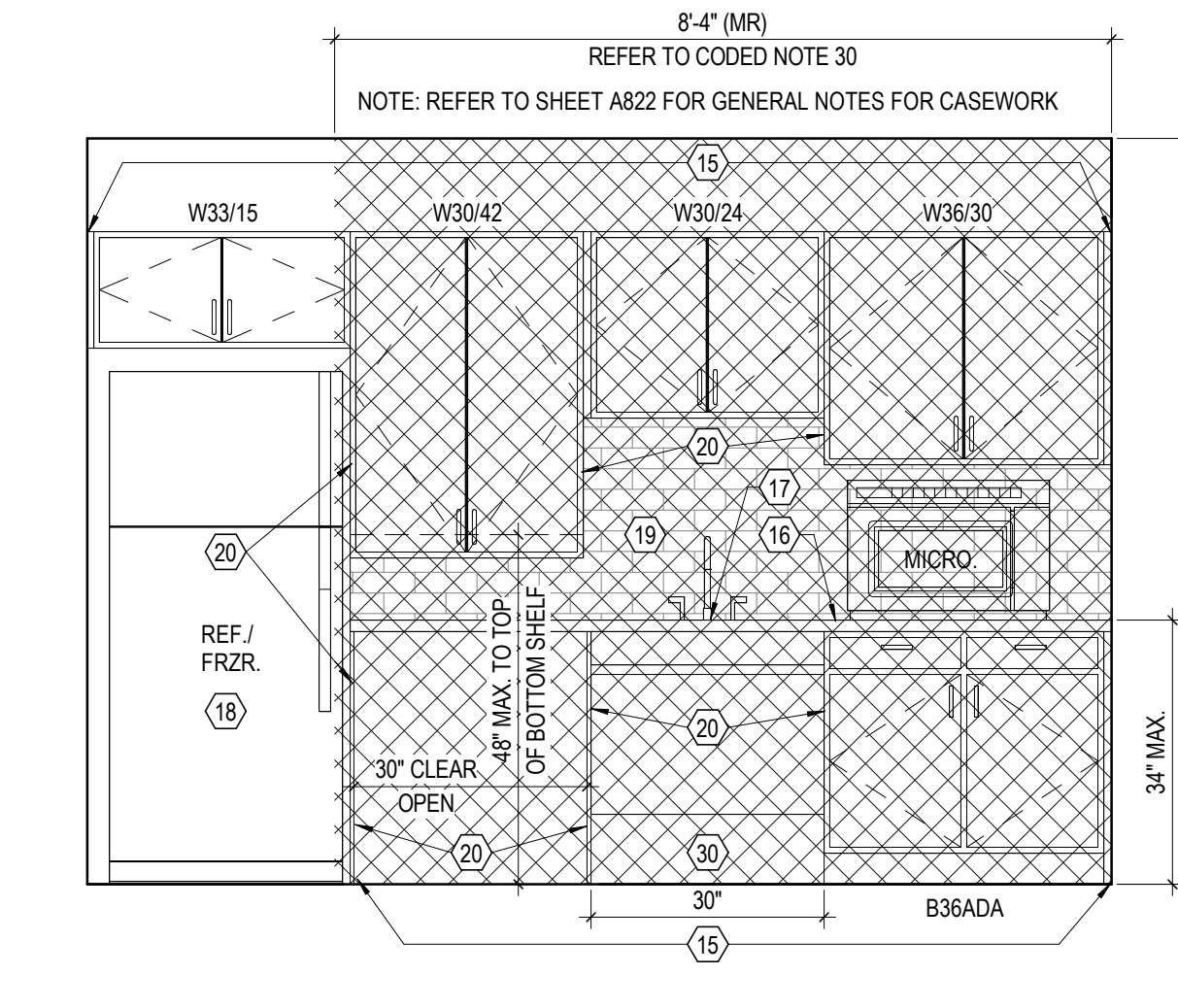
9 ELEVATION COMMUNITY CENTER TOILET
 1/2" = 1'-0" REF: 7 / A105



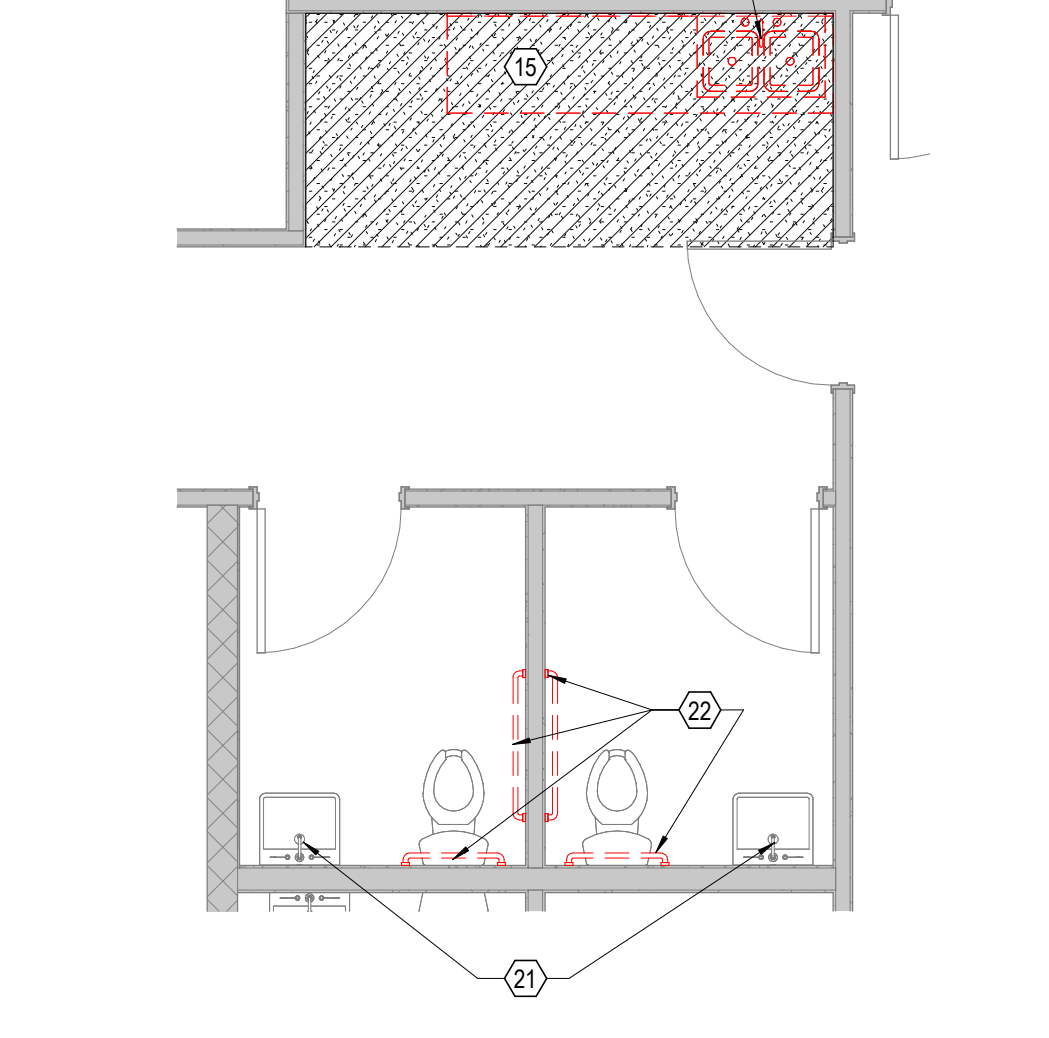
7 PLAN KITCHEN/TOILET - COMMUNITY CENTER NEW WORK
 1/4" = 1'-0"



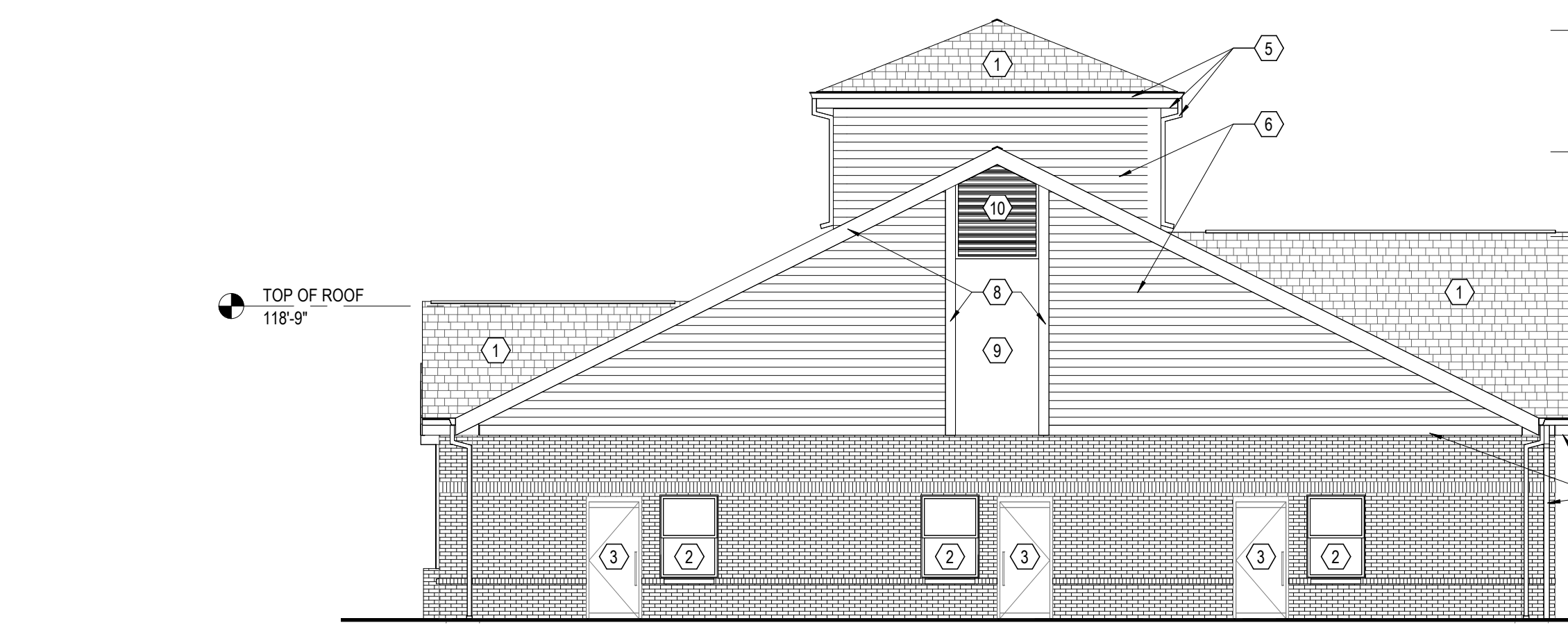
10 ELEVATION COMMUNITY CENTER TOILET
 1/2" = 1'-0" REF: 7 / A105



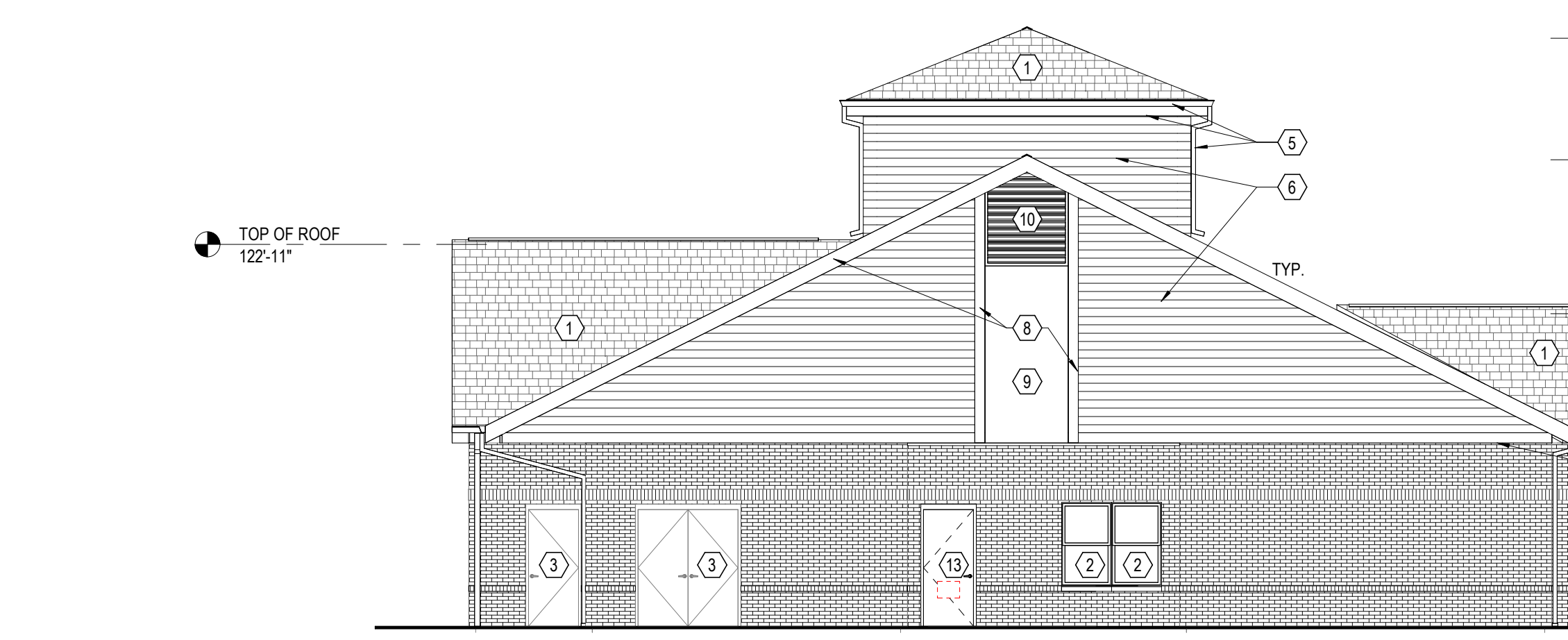
8 ELEVATION COMMUNITY CENTER KITCHEN
 1/2" = 1'-0" REF: 7 / A105



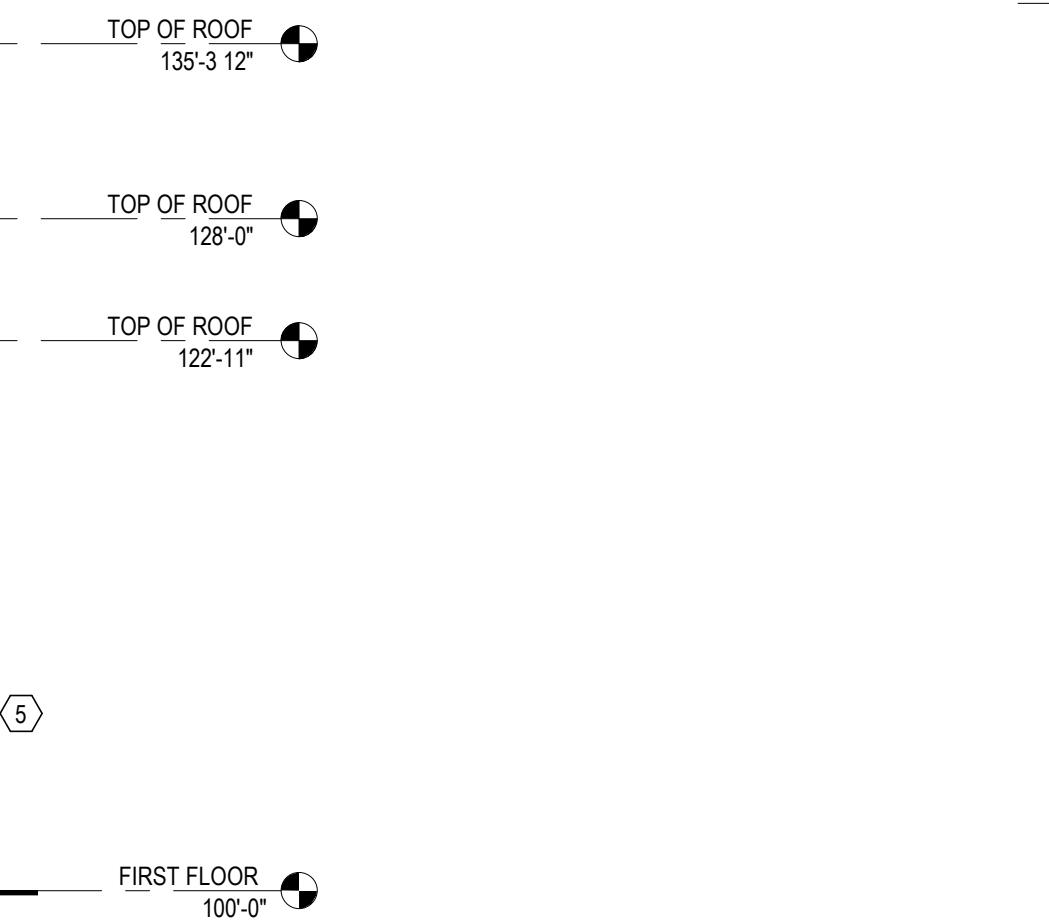
6 PLAN KITCHEN/TOILET - COMMUNITY CENTER DEMO
 1/4" = 1'-0"



5 ELEVATION COMMUNITY CENTER - SIDE, RIGHT
 1/8" = 1'-0" REF: 1 / A105



4 ELEVATION COMMUNITY CENTER - SIDE, LEFT
 1/8" = 1'-0" REF: 1 / A105

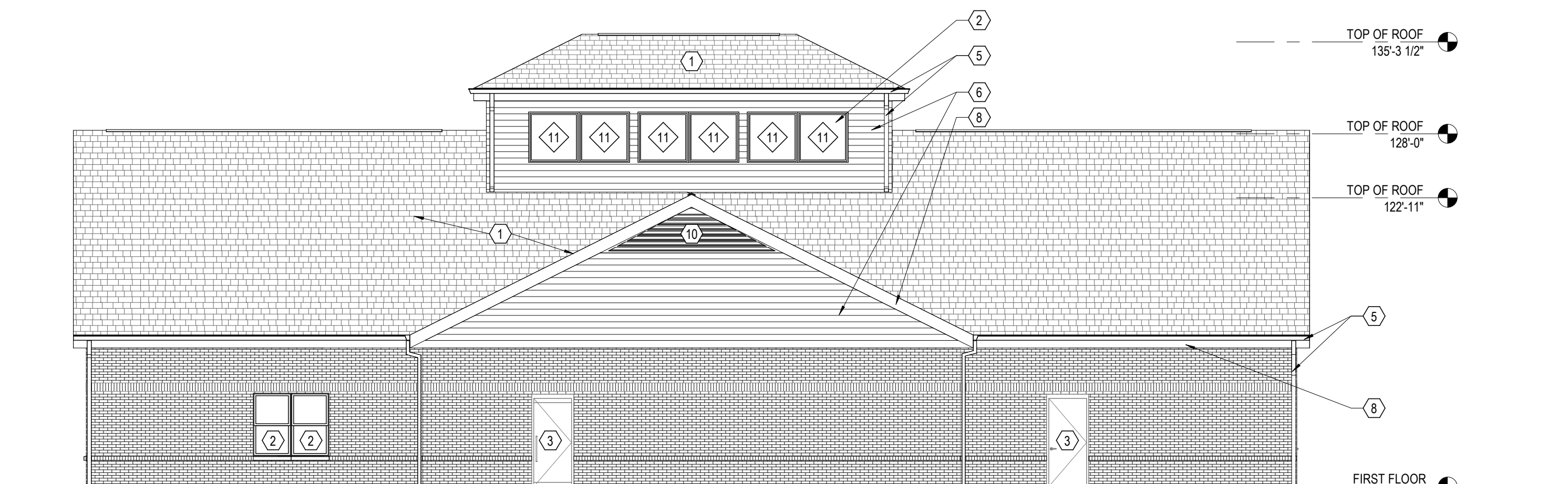


3 ELEVATION COMMUNITY CENTER - REAR
 1/8" = 1'-0" REF: 1 / A105

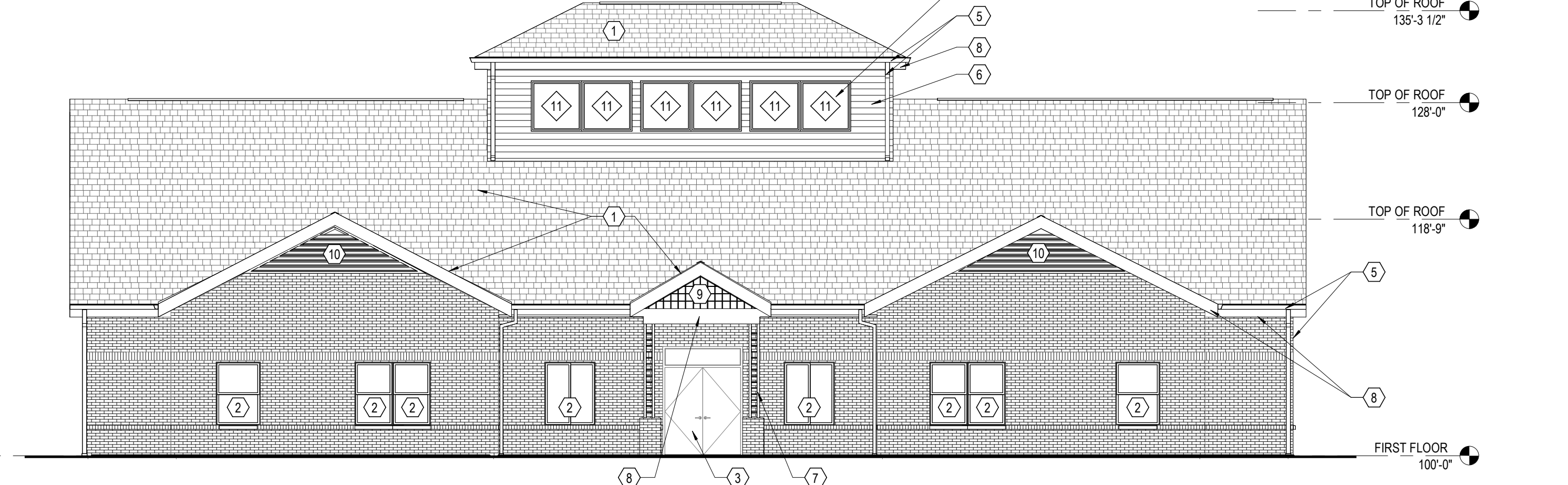


2 ELEVATION COMMUNITY CENTER - FRONT
 1/8" = 1'-0" REF: 1 / A105

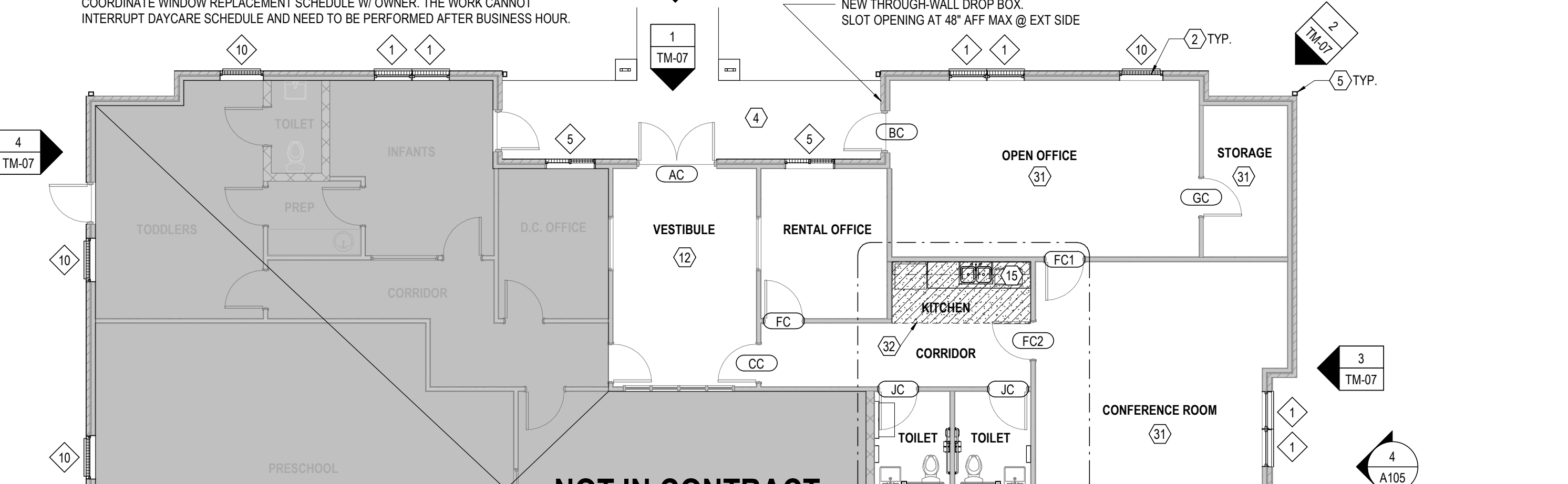
ELEVATION LEGEND	FLOOR PLAN LEGEND	GENERAL NOTES - DEMOLITION
<p>MR: PAPER-FACED MOISTURE RESISTANT GYPSUM BOARD</p> <p>PGB: PAPERLESS GYPSUM BOARD</p> <p>FRP (BASE BID) WALL TILE (ALTERNATE)</p>	<p>REFERENCE ELEVATION (SEE PROJECT MANUAL FOR PHOTOS) VIEW NUMBER SHEET NUMBER</p> <p>WINDOW TYPE - EXISTING WINDOWS AT COMMUNITY CENTER TO REMAIN</p> <p>FLOORING TYPE AND DIRECTION, REFER TO ENLARGED PLANS</p> <p>DOOR TYPE</p> <p>REQUIRED 30"x62" WHEELCHAIR CLEARANCE, 52" CENTERED AT SINKS AND APPLIANCES.</p> <p>UNOBSTRUCTED CLEARANCE FOR PATH OF ACCESSIBLE MEANS OF EGRESS (MIN. 36" REQUIRED)</p> <p>EXISTING 1 HOUR FIRE RATED WALL</p> <p>NOTE: THE INTEGRITY OF THE EXISTING FIRE PARTITIONS HAVE NOT BEEN VERIFIED. THE LOCATIONS FOR FIRE-RATED WALLS SHOWN ON THE PLANS INDICATES WHERE WALL WOULD BE REQUIRED TO BE FIRE-RATED BASED UPON CURRENT CODE REQUIREMENTS. ALL NEW PENETRATIONS MADE THROUGH THESE WALLS ARE TO BE FIRESTOPPED.</p>	<p>A. REFER TO MEP DRAWINGS FOR ADDITIONAL SCOPE OF DEMOLITION WORK.</p> <p>B. EXISTING VCT FLOOR FINISH IS TO REMAIN U.O. CLEAN AND PREPARE SURFACE TO RECEIVE NEW FLOOR FINISH OVER EXISTING.</p> <p>C. MAINTAIN AND PROTECT EXISTING INTERIOR DOORS AND CASING, U.O.</p> <p>D. REMOVE EXISTING RUBBER BASE WITHOUT DAMAGE TO SUBSTRATE & PREPARE SURFACE TO RECEIVE NEW BASE. SEE FINISH SCHEDULE.</p> <p>E. ANY DAMAGE TO EXISTING WORK TO REMAIN SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR TO MATCH EXISTING SIMILAR WORK IN PLACE WHEN NEW. REPAIR ALL DAMAGED WORK IN CONNECTION WITH DEMOLITION WORK INCLUDING DAMAGE CAUSED BY REMOVAL OR INSTALLATION OF MECHANICAL OR ELECTRICAL ITEMS OR EQUIPMENT.</p> <p>F. U.O. REMOVE ALL EXISTING WALL FINISHES (WALL COVERINGS, WALL BASES, ETC.) FROM EXISTING WALLS WHERE NEW FINISHES ARE NOTED.</p> <p>G. EXISTING TILE FLOORING BASE AND WALLPAPER FINISH IN VESTIBULE TO BE REMOVED.</p> <p>H. CONTRACTOR SHALL VERIFY ALL CONDITIONS & DIMENSIONS PRIOR TO WORK. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AND CONTRACT DOCUMENTS.</p> <p>I. DO NOT CUT INTO, REMOVE OR ALTER ANY STRUCTURAL MEMBER OR PORTION OF THE FLOOR, WALL OR ROOF SYSTEM UNLESS SPECIFICALLY NOTED OR INDICATED ON THE DRAWINGS. IF UNCLEAR, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.</p> <p>J. REMOVE ALL EXISTING WINDOW TREATMENTS.</p>



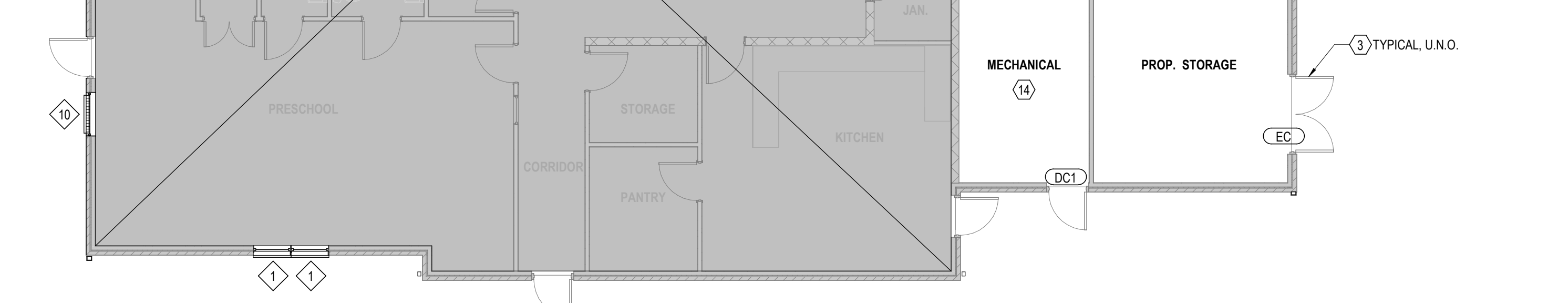
1 PLAN COMMUNITY CENTER
 1/8" = 1'-0"



3 ELEVATION COMMUNITY CENTER - REAR
 1/8" = 1'-0" REF: 1 / A105



2 ELEVATION COMMUNITY CENTER - FRONT
 1/8" = 1'-0" REF: 1 / A105



1 PLAN COMMUNITY CENTER
 1/8" = 1'-0"

GENERAL NOTES - FLOOR PLAN
<p>A. THESE DRAWINGS ARE TO BE USED IN CONJUNCTION WITH EXTERIOR CONSTRUCTION DOCUMENT PHOTOGRAPHS & SPECIFICATIONS INCLUDED IN THE PROJECT MANUAL. THE EXTERIOR PHOTOGRAPHS AND NOTES ILLUSTRATE THE SCOPE OF WORK REQUIRED FOR THE EXTERIOR OF THE BUILDING ALONG WITH NOTES AND DETAILS INCLUDED IN THE DRAWINGS.</p> <p>B. ALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD SHEATHING, U.O. ALL EXTERIOR DIMENSIONS ARE TO ARE TO OUTSIDE OF STRUCTURE. CONTRACTOR IS TO FIELD VERIFY ALL DIMENSIONS.</p> <p>C. ALL NEW WORK INSTALLED WILL INVOLVE DEMOLITION & REMOVAL OF ALL EXISTING LIKE MATERIAL, NECESSARY FOR INSTALLATION OF THE NEW WORK, U.O. THIS INCLUDES, BUT IS NOT LIMITED TO, KITCHEN CABINETS, SINKS, TOILET ACCESSORIES, DOORS, FRAMES, SUSPENDED ACOUSTIC CEILING TILE, PLUMBING FIXTURES, PLUMBING & ELECTRICAL DEVICES.</p> <p>D. REFER TO SPECIFICATIONS FOR MORE INFORMATION.</p> <p>E. IN BASE BID, INCLUDE UNIT COST FOR REPLACING FLOOR UNDERLAYMENT. SEE SPECIFICATIONS.</p> <p>F. IN BASE BID, INCLUDE UNIT COST FOR REPLACING SUBFLOOR. SEE SPECS. G. THE INTEGRITY OF EXISTING FIRE SEPARATION WALLS TO BE MAINTAINED DURING CONSTRUCTION. NEW PENETRATIONS TO BE FIRESTOPPED.</p> <p>H. SEAL ALL ACCESSIBLE CRACKS, GAPS AND HOLES IN BUILDING ENVELOPE. SEAL ALL WALL, FLOOR & JOINT PENETRATIONS CREATED BY PLUMBING, GAS LINES, ELEC. BOXES & OUTLETS IN LOW VOC CAULKING.</p> <p>I. SEAL ALL CRACKS, HOLES, CREVICES ON INTERIOR & EXTERIOR SURFACES TO PREVENT ACCESS BY PESTS, INCLUDING PENETRATIONS TO THE BACK OF CASEWORK. ANY HOLES IN THE BACK OF CABINETS MUST BE SEALED.</p> <p>J. ALL EXISTING EXTERIOR ENTRY DOORS ARE TO REMAIN. PAINT ALL EXTERIOR HM ENTRY DOORS/TRANSOM/FRAMES, WOOD CASING, MOLDING, ETC. AT COMMUNITY CENTER. FIELD VERIFY LOCATIONS & EXACT QUANTITIES.</p> <p>K. ALL EXISTING WINDOW SYSTEMS AT COMMUNITY CENTER ARE TO BE REPLACED. U.O. REPLACE WITH NEW ENERGY STAR RATED WINDOW SYSTEM PER SPECS & DETAILS. CALK STRIP ALL WINDOW INSTALLATIONS.</p> <p>L. ALL EXISTING DOOR HARDWARE IN COMMON AREAS TO BE REMOVED AND REPLACED WITH NEW LEVER-TYPE HARDWARE, TYPICAL.</p> <p>M. PATCH ALL HOLES. REPAIR AND PAINT ALL WALLS AND CEILINGS IN OFFICE PORTION OF COMMUNITY CENTER.</p> <p>N. NEW FLOORING AND BASE THROUGHOUT OFFICE PORTION OF COMMUNITY CENTER. EXISTING FLOORING IN TOILET AND STORAGE ROOM TO REMAIN. SEE FINISH SCHEDULE FOR ADDITIONAL INFO.</p> <p>O. REFER TO TYPICAL PROJECT DETAILS SPECIFICATIONS FOR FIXTURE MOUNTING HEIGHT SCHEDULE AND ACCESSIBILITY DETAILS.</p> <p>P. REMOVE EXISTING TOILET ACCESSORIES AND REPLACE WITH NEW PER DRAWINGS AND SPECS. TYPICAL. AT ALL PUBLIC TOILETS.</p> <p>Q. NEW ENERGY STAR RATED REFRIGERATOR AT KITCHEN PER DWGS & SPECS.</p> <p>R. NEW WINDOW TREATMENT (BLINDS) AND WINDOW SCREENS AT ALL WINDOWS. FIELD VERIFY SIZE & QUANTITY.</p> <p>S. SEE MECHANICAL AND ELECTRICAL DWGS FOR ADDITIONAL INFO. WORK TO BE COORDINATED THROUGH THE GENERAL TRADES CONTRACTOR.</p> <p>T. ALL PLUMBING FIXTURES IN COMMON AREAS TO HAVE NEW LEVER-TYPE FACETS, TYP.</p> <p>U. WATER SUPPLY AND DRAIN PIPES UNDER SINKS SHALL BE INSULATED, TYPICAL AT COMMON AREAS.</p> <p>V. IN PUBLIC TOILETS WHERE WATER CLOSETS ARE REPLACED TO BE IN-WALL WD LOCKING FOR INSTALLATION OF REINFORCED GRAB BARS.</p> <p>W. WHERE GYPSUM WALL BOARD INSTALLATION, PATCHING OR REPAIR WORK IS BEING DONE, PROVIDE PAPERLESS GYPSUM BOARD (PGB), REFER TO TOILETS AND TO THE TOP OF TOILET TANKS. PROVIDE PAPER-FACED MOISTURE-RESISTANT GYPSUM BOARD (MR) ON CEILINGS WITHIN FOUR (4) FEET HORIZONTALLY AND VERTICALLY OF ANY WATER SOURCES, EXCEPT AT TOILET LOCATIONS WITH PGB. CONTRACTOR TO INSTALL ANY NEW DRYWALL TO ALIGN WITH FACE OF ADJACENT EXISTING DRYWALL PARTITIONS. TYP.</p> <p>X. ANY NEW EXTERIOR BUILDING SIGNAGE TO BE EASY TO READ WITH HIGH CONTRAST LETTERS, NUMBERS AND BACKGROUND. COORDINATE FINAL LOCATION WITH OWNER, TYPICAL ALL BUILDINGS.</p>

CODED NOTES
<p>NOTE: SEE PLANS, ELEVATIONS, SPECIFICATIONS AND PROJECT DETAILS SHEETS FOR ADDITIONAL INFORMATION.</p> <p>1. ROOF BASE BID. EXISTING SHINGLE ROOF SYSTEM TO REMAIN. PROTECT ALL ROOFING ELEMENTS DURING ALL STAGES OF CONSTRUCTION. MODIFY SHINGLES AS NECESSARY FOR INSTALLATION OF NEW FLUES OR OTHER DEVICES FOR NEW SYSTEMS BEING INSTALLED. PATCH AND REPAIR ROOF SYSTEM AS REQUIRED FOR NEW PENETRATIONS.</p> <p>ROOF ALTERNATE: REMOVE EXISTING ASPHALT SHINGLE ROOF SYSTEM AND REPLACE WITH NEW SHINGLE ROOF SYSTEM. PROVIDE NEW FLASHING, FASCIA, ROOF VENT, GUTTERS AND ASSOCIATED TRIM.</p> <p>ROOF ALTERNATE: REMOVE EXISTING ASPHALT SHINGLE ROOF SYSTEM AND REPLACE WITH NEW SHINGLE ROOF SYSTEM. PROVIDE NEW FLASHING, FASCIA, ROOF VENT, GUTTERS AND ASSOCIATED TRIM.</p> <p>2. EXISTING WINDOW SYSTEM AT COMMUNITY CENTER TO REMAIN. PROVIDE AND INSTALL NEW WINDOW TREATMENTS. REFER TO FLOOR PLAN FOR WINDOW TYPES. SEE SPECIFICATIONS.</p> <p>3. CLEAN & PREP EXISTING HM EXTERIOR DOOR & FRAME AT COMMUNITY CENTER. PAINT ALL EXISTING DOORS & FRAMES, TYP. FIELD VERIFY EXACT QUANTITY AND LOCATIONS.</p> <p>4. EXISTING COVERED ENTRY WITH CONCRETE SLAB ON GRADE TO REMAIN. NEW GUTTERS, DOWNSPUTS AND ALUMINUM SOFFITS SYSTEM ON ALL BUILDINGS. ADD LEAF GUARDS TO ALL GUTTERS.</p> <p>6. NEW VINYL SIDING & TRIM. REPLACE ALL DETERIORATED SHEATHING. CLEAN & PREP SURFACE TO RECEIVE NEW PAINT ON ALL PORCH COLUMNS.</p> <p>8. NEW ALUMINUM CLAD FASCIA AND TRIM ON ALL BUILDINGS.</p> <p>9. CLEAN AND PREP EXISTING STUCCO FOR NEW PAINT.</p> <p>10. CLEAN AND PREP ALL EXISTING GABLE VENTS FOR NEW PAINT.</p> <p>11. NEW SOFFIT VENTS, TYP.</p> <p>12. EXISTING TILE FLOORING BASE & WALLPAPER FINISH IN VESTIBULE TO BE REMOVED. CLEAN SUBSTRATE & PREPARE SURFACES TO RECEIVE NEW TILE FLOORING & PAINT. SEE FINISH SCHEDULE. PAINT TRANSACTION WINDOW, BORROWED LITES, & INTERIOR DOORS IN VESTIBULE. SEE FINISH SCHEDULE.</p> <p>13. REMOVE EXISTING DOOR & FRAME, NEW DOOR & FRAME PER SCHEDULE. EXISTING MECHANICAL ROOM. REFER TO MEP DWGS FOR WORK IN MECHANICAL ROOMS.</p> <p>15. REMOVE EXISTING CASEWORK, NEW CABINETS PER SPECS, TYP. FIELD VERIFY EXACT SIZES.</p> <p>16. NEW QUARTZ COUNTERTOP WITH EASED EDGES AND UNDERMOUNT SINK. COUNTERTOP TO BE AT 34" MAX. A.F.F. PROVIDE SUPPORT AS REQUIRED AT OPEN WORK AREA.</p> <p>17. EXISTING KITCHEN SINK TO BE REMOVED AND RELOCATED. NEW KITCHEN SINK WITH LEVER STYLE FAUCET PER SPECS. TOP OF SINK RIM AT 34" MAX. A.F.F. PROVIDE VALANCE AT SINK LOCATION TO PROTECT PLUMBING PIPING AND ACCESSIBLE CLEARANCES. SEE PLUMBING DRAWINGS.</p> <p>18. NEW STAINLESS STEEL ENERGY EFFICIENT REFRIGERATOR PER SPECS.</p> <p>19. NEW TILE BACKSPLASH, TYP. FIELD VERIFY EXACT SIZES.</p> <p>20. FINISHED END PANEL, TYP.</p> <p>21. EXISTING WALL-HUNG SINK WITH BACKSPLASH AND EASED EDGES. REMOVE EXISTING AND INSTALL NEW SINK AFTER INSTALLING A NEW CONCEALED FLOOR AND STUD-BRACED CARRIER. INSTALL MR GYP BD, PIPE PROTECTION, AND FAUCET WITH LEVER HARDWARE PER SPECIFICATIONS. SINK RIM COUNTER TO BE AT 34" MAX. A.F.F.</p> <p>22. REMOVE EXISTING GRAB BARS. PATCH AND REPAIR WALLS AS REQUIRED FOR NEW COMPLIANT GRAB BARS AT W.C.</p> <p>23. NEW SOAP DISPENSER.</p> <p>24. NEW WALL-MOUNTED MIRROR, CENTERED ON SINK.</p> <p>25. NEW PAPER TOWEL DISPENSER.</p> <p>26. NEW TOILET PAPER HOLDER.</p> <p>27. NEW SANITARY NAPKIN DISPOSAL.</p> <p>28. NEW ROBE HOOK ON TOILET ROOM SIDE OF TOILET DOOR.</p> <p>29. NEW BABY CHANGING TABLE.</p> <p>30. GRAY HATCH REPRESENTS THE LOCATION & EXTENT OF PAPERLESS GYPSUM BOARD (PGB). CROSS HATCH REPRESENTS THE LOCATION & EXTENT OF PAPER-FACED MOISTURE RESISTANT GYPSUM BOARD (MR). REFER TO GENERAL NOTES FOR MORE INFORMATION.</p> <p>31. REMOVE AND REINSTALL CEILING TILE AS REQUIRED TO INSTALL NEW DUCT WORK. SEE MEP DRAWINGS.</p> <p>32. EXISTING LINE OF CEILING STRUCTURE ABOVE, TYP.</p> <p>33. NEW THROUGH-WALL RENT DROP ADJACENT TO OFFICE ENTRY DOOR. COORDINATE FINAL LOCATION W/ OWNER.</p>

#	DATE	CHANGE DESCRIPTION

THE MEADOWS RAD RENOVATIONS
 COLUMBUS METROPOLITAN HOUSING AUTHORITY
 4855 PONTIAC CREEK DRIVE
 COLUMBUS, OH 43110
 FOR

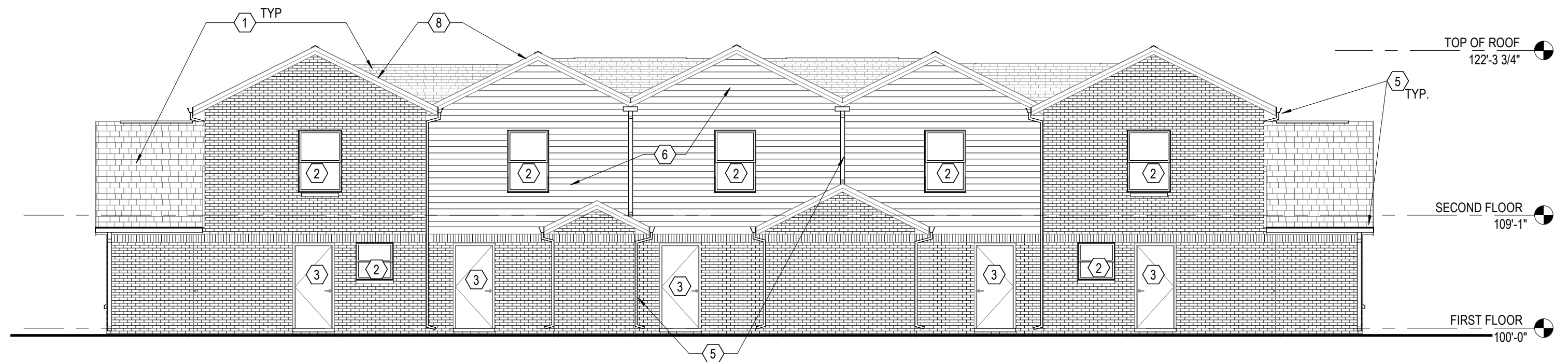
COLUMBUS METROPOLITAN HOUSING AUTHORITY

300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881

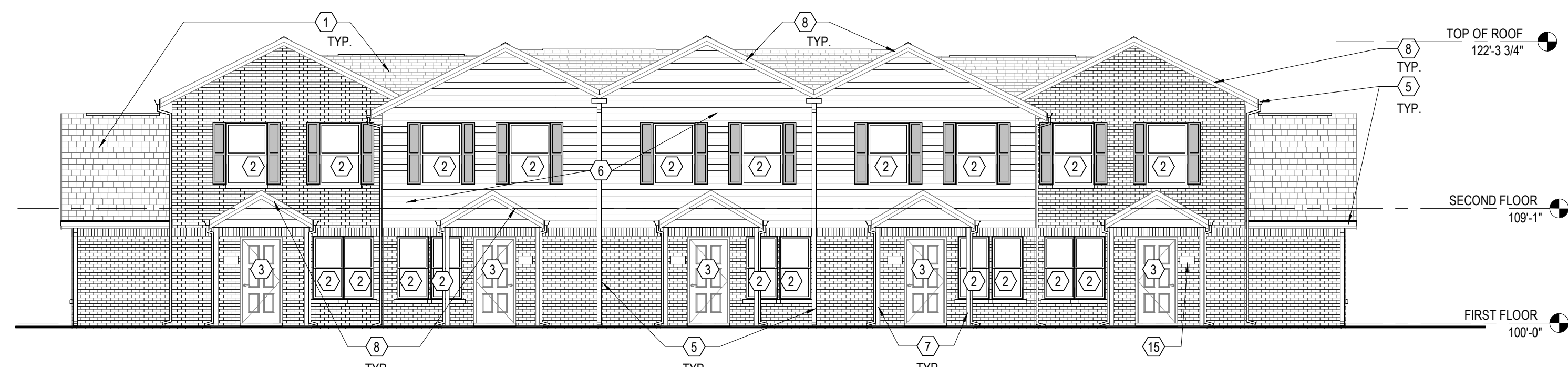
Moody Nolan CERTIFICATE NO. FIRM 00197475

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OVERALL PLAN - COMMUNITY CENTER

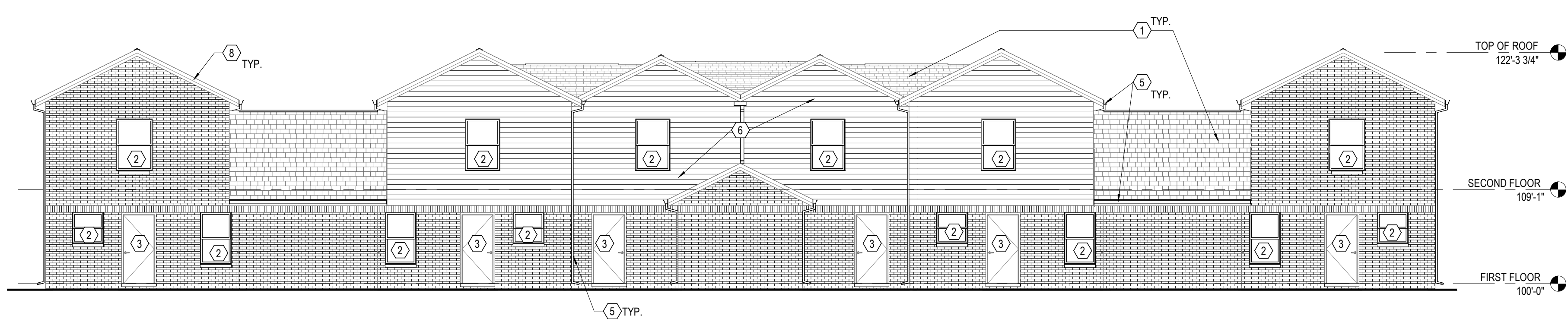
08/14/2025
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A105
 JAY W. BOONE, LIC. #10740
 EXP. DATE: 12/31/2025
 BID / PERMIT SET



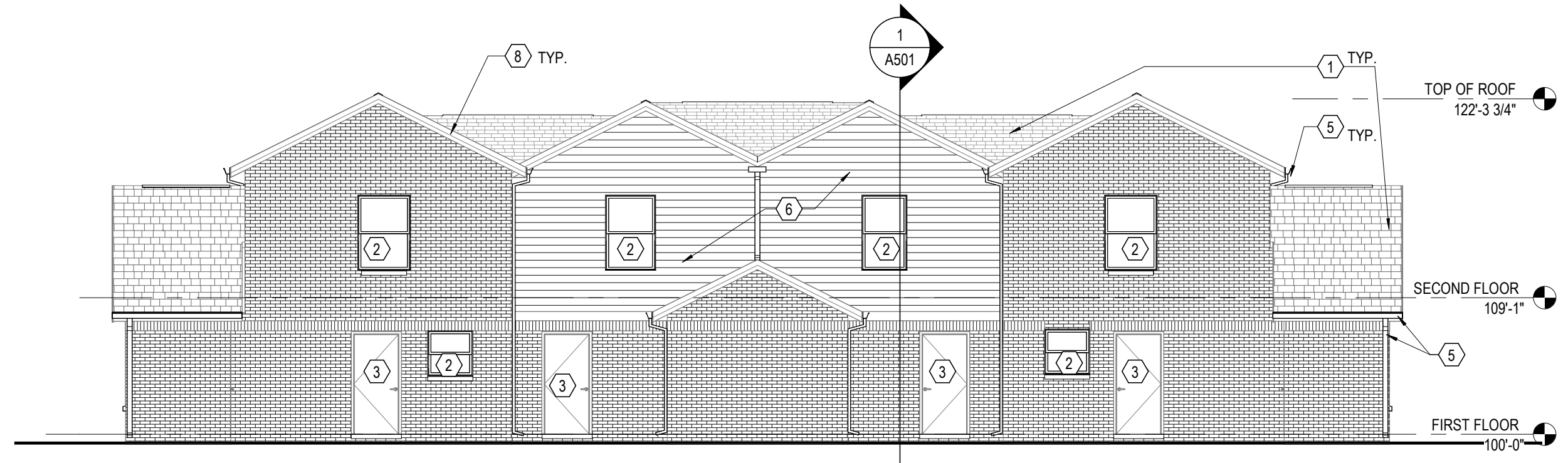
5 ELEVATION BUILDING TYPE II - REAR
 1/8" = 1'-0" REF: 3 / A101



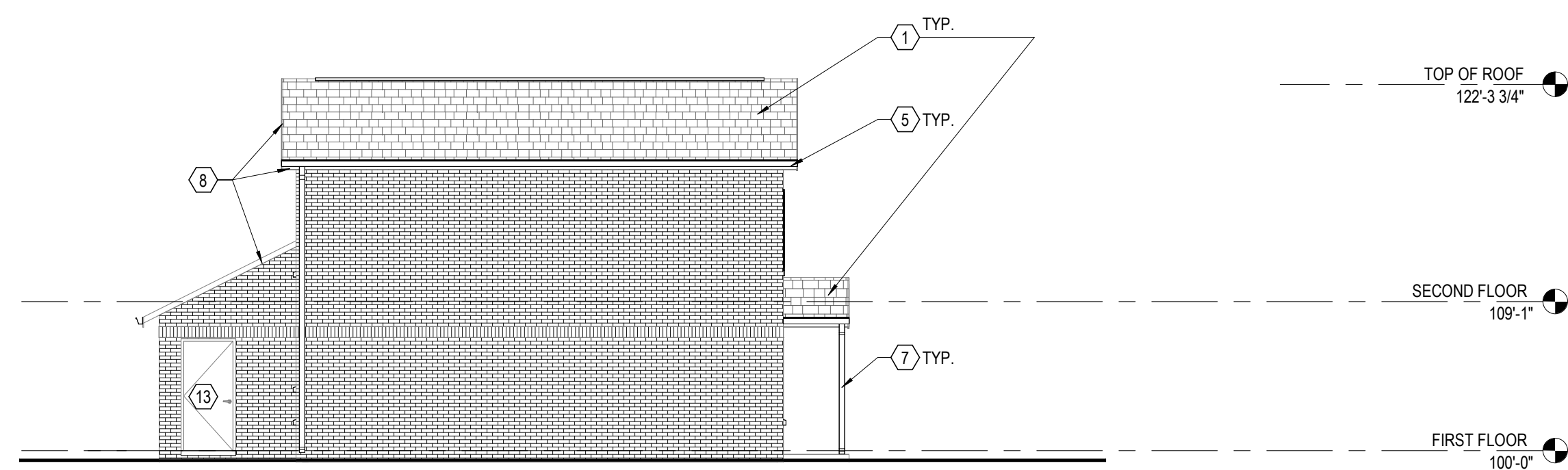
4 ELEVATION BUILDING TYPE II - FRONT
 1/8" = 1'-0" REF: 3 / A101



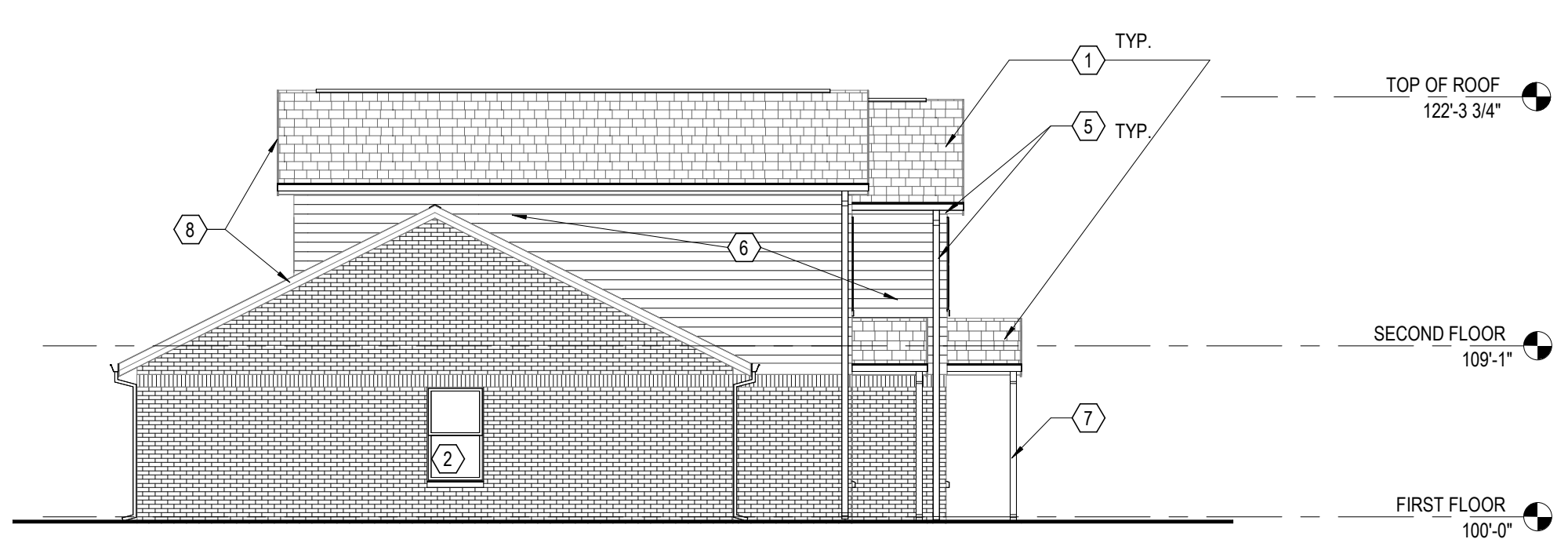
8 ELEVATION BUILDING TYPE III - REAR
 1/8" = 1'-0" REF: 1 / A102



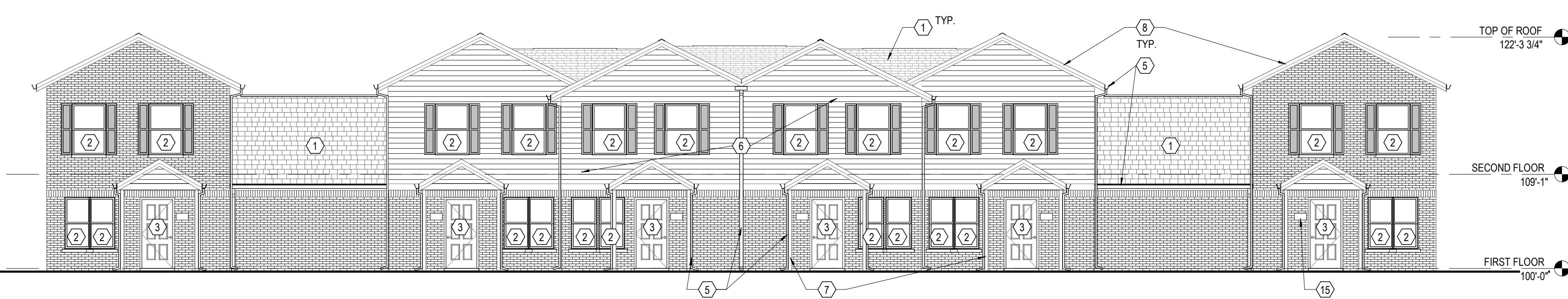
3 ELEVATION BUILDING TYPE I - REAR
 1/8" = 1'-0" REF: 1 / A101



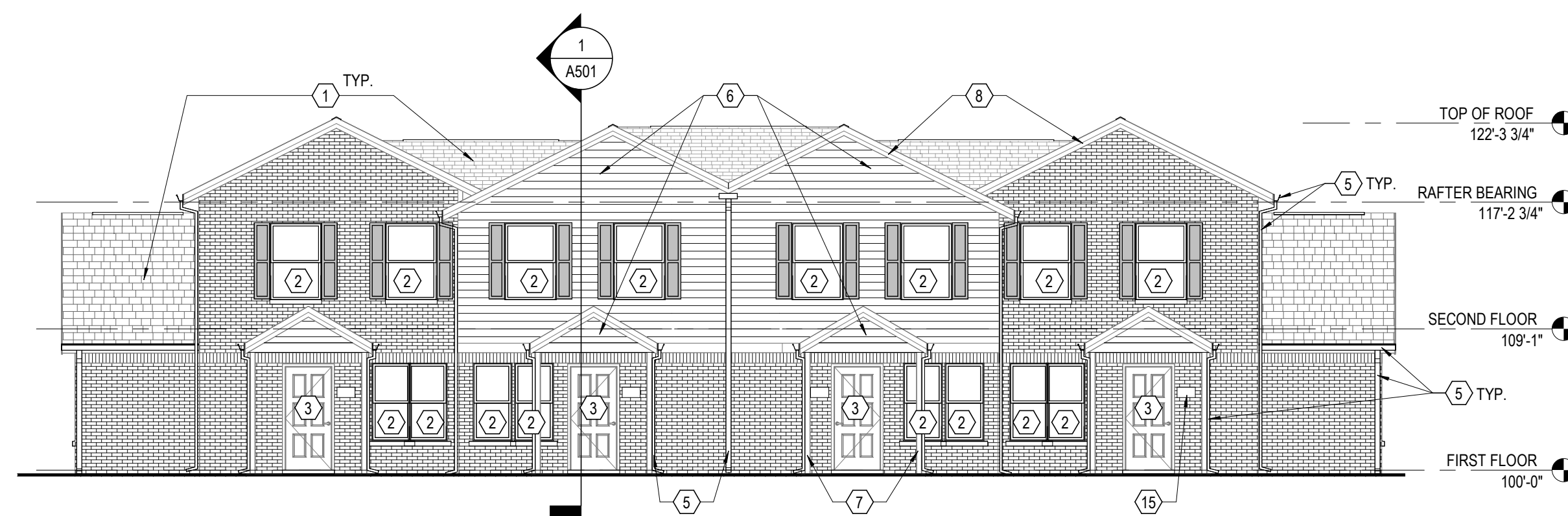
7 ELEVATION BUILDING TYPE III - SIDE
 1/8" = 1'-0" REF: 1 / A102



2 ELEVATION BUILDING TYPE I AND II - SIDE, TYP.
 1/8" = 1'-0" REF: 1 / A101



6 ELEVATION BUILDING TYPE III - FRONT
 1/8" = 1'-0" REF: 1 / A102



1 ELEVATION BUILDING TYPE I - FRONT
 1/8" = 1'-0" REF: 1 / A101

GENERAL NOTES - ROOF DEMOLITION BASE BID

- A. AT COMMUNITY BUILDING AND ALL RESIDENTIAL BUILDINGS AND PORCHES, EXISTING SHINGLE ROOF SYSTEM TO REMAIN.
- B. AT COMMUNITY BUILDING AND ALL RESIDENTIAL BUILDINGS AND PORCHES, EXISTING RIDGE VENTS AND/OR HAT VENTS ARE TO REMAIN AT ALL BUILDINGS.
- C. AT COMMUNITY BUILDING AND ALL RESIDENTIAL BUILDINGS AND PORCHES, REMOVE AND REPLACE EXISTING GUTTERS & DOWNSPOUTS.
- D. MAINTAIN & PROTECT EXISTING PLUMBING VENTS.
- E. AT COMMUNITY BUILDING AND ALL RESIDENTIAL BUILDINGS AND PORCHES, REMOVE AND REPLACE EXISTING SOFFITS & CEILINGS, U.N.O.
- F.

GENERAL NOTES - ROOF DEMOLITION ALTERNATE

- A. AT COMMUNITY BUILDING AND ALL RESIDENTIAL BUILDINGS AND PORCHES, REMOVE EXISTING ASPHALT SHINGLE ROOF SYSTEM.
- B. AT COMMUNITY BUILDING AND ALL RESIDENTIAL BUILDINGS AND PORCHES, REMOVE EXISTING RIDGE VENTS AND/OR HAT VENTS.
- C. AT COMMUNITY BUILDING AND ALL RESIDENTIAL BUILDINGS AND PORCHES, REMOVE AND REPLACE EXISTING GUTTERS & DOWNSPOUTS.
- D. MAINTAIN & PROTECT EXISTING PLUMBING VENTS.
- E. AT COMMUNITY BUILDING AND ALL RESIDENTIAL BUILDINGS AND PORCHES, REMOVE AND REPLACE EXISTING SOFFITS & CEILINGS, U.N.O.
- F. EXISTING SHINGLE ROOF SYSTEM IS TO BE REMOVED COMPLETELY TO ROOF SHEATHING. ITEMS FOR REMOVAL INCLUDE SHINGLES, UNDERLAYMENT, DRIP EDGES, AND ALL RELATED DEVICES AND MATERIALS USED TO SECURE ROOFING.
- G. MAINTAIN AND PROTECT EXISTING PLUMBING VENTS. PROVIDE NEW BOOTS.
- H. REMOVE EXISTING SOFFITS, FASCIA, GUTTERS, DOWNSPOUTS ETC.
- I. UPON REMOVAL OF EXISTING ROOFING, THE CONTRACTOR SHALL NOTIFY THE OWNER ABOUT CONDITION OF EXISTING SHEATHING.
- J. REMOVE EXISTING RIDGE VENTS AND HAT VENTS.

GENERAL NOTES - EXTERIOR ELEVATIONS

- 1. REFER TO PHOTO SHEETS INCLUDED IN PROJECT MANUAL FOR ADDITIONAL INFORMATION ON EXTERIOR WORK AT BUILDINGS.
- 2. AT ALL BUILDINGS, CLEAN, PREP AND PAINT ALL EXPOSED ELECTRIC AND GAS METERS, LINES ETC. FIELD VERIFY EXACT LOCATIONS IN THE FIELD.
- 3. CLEAN, PREP AND PAINT ALL EXPOSED LINTELS AT DOORS AND WINDOWS ON MASONRY WALLS BEFORE INSTALLATION OF NEW WINDOW OR DOOR SYSTEM.

CODED NOTES - EXTERIOR ELEVATIONS

- 1. ROOF BASE BID: EXISTING SHINGLE ROOF SYSTEM TO REMAIN. PROTECT ALL ROOFING ELEMENTS DURING ALL STAGES OF CONSTRUCTION. MODIFY SHINGLES AS NECESSARY FOR INSTALLATION OF NEW FLUES OR OTHER DEVICES FOR NEW SYSTEMS BEING INSTALLED IN UNITS. PATCH AND REPAIR ROOF SYSTEM AS REQUIRED FOR NEW PENETRATIONS.
- 2. NEW VINYL WINDOW SYSTEM ON ALL RESIDENTIAL BUILDINGS AND NEW EXTERIOR WINDOW SHUTTERS AT APPLICABLE LOCATIONS. PROVIDE AND INSTALL NEW WINDOW TREATMENTS. REFER TO FLOOR PLAN FOR WINDOW TYPES. SEE SPECIFICATIONS.
- 3. NEW FRONT AND REAR HM. DOOR & FRAME (INCLUDING TRANSOM). TYPICAL ALL EXTERIOR DOORS TO BE PAINTED. FIELD VERIFY EXACT QUANTITY AND LOCATIONS.
- 4. ROOF ALTERNATE: NEW RIDGE VENT SYSTEM.
- 5. NEW GUTTERS, DOWNSPOUTS AND ALUMINUM SOFFITS SYSTEM ON ALL BUILDINGS. ADD LEAF GUARDS TO ALL GUTTERS.
- 6. NEW VINYL SIDING AND ASSOCIATED TRIM. REPLACE ALL DETERIORATED SHEATHING.
- 7. CLEAN AND PREP SURFACE TO RECEIVE NEW PAINT ON ALL METAL COLUMNS AT PORCH.
- 8. NEW ALUMINUM CLAD FASCIA AND TRIM ON ALL BUILDINGS.
- 9. CLEAN AND PREP EXISTING STUCCO FOR NEW PAINT.
- 10. CLEAN AND PREP ALL EXISTING GABLE VENTS FOR NEW PAINT.
- 11. NEW GARAGE DOOR.
- 12. NEW SOFFIT VENTS.
- 13. CLEAN AND PREP EXISTING SHED/ STORAGE HM. DOOR & FRAME. PAINT ALL EXISTING DOORS & FRAMES, TYPICAL AT 75 UNITS. FIELD VERIFY EXACT QUANTITY AND LOCATIONS.
- 14. CLEAN AND PREP EXISTING HM. EXTERIOR DOOR & FRAME AT COMMUNITY CENTER. PAINT ALL EXISTING DOORS & FRAMES, TYPICAL. FIELD VERIFY EXACT QUANTITY AND LOCATIONS.
- 15. ANY NEW EXTERIOR BUILDING SIGNAGE TO BE EASY TO READ WITH HIGH CONTRAST LETTERS/ NUMBERS AND BACKGROUND. COORDINATE FINAL LOCATION WITH OWNER, TYPICAL ALL BUILDINGS.

#	DATE	CHANGE DESCRIPTION

THE MEADOWS RAD RENOVATIONS
 COLUMBUS METROPOLITAN HOUSING AUTHORITY
 4855 PANTAL CREEK DRIVE
 COLUMBUS, OH 43110
 FOR COLUMBUS METROPOLITAN HOUSING AUTHORITY

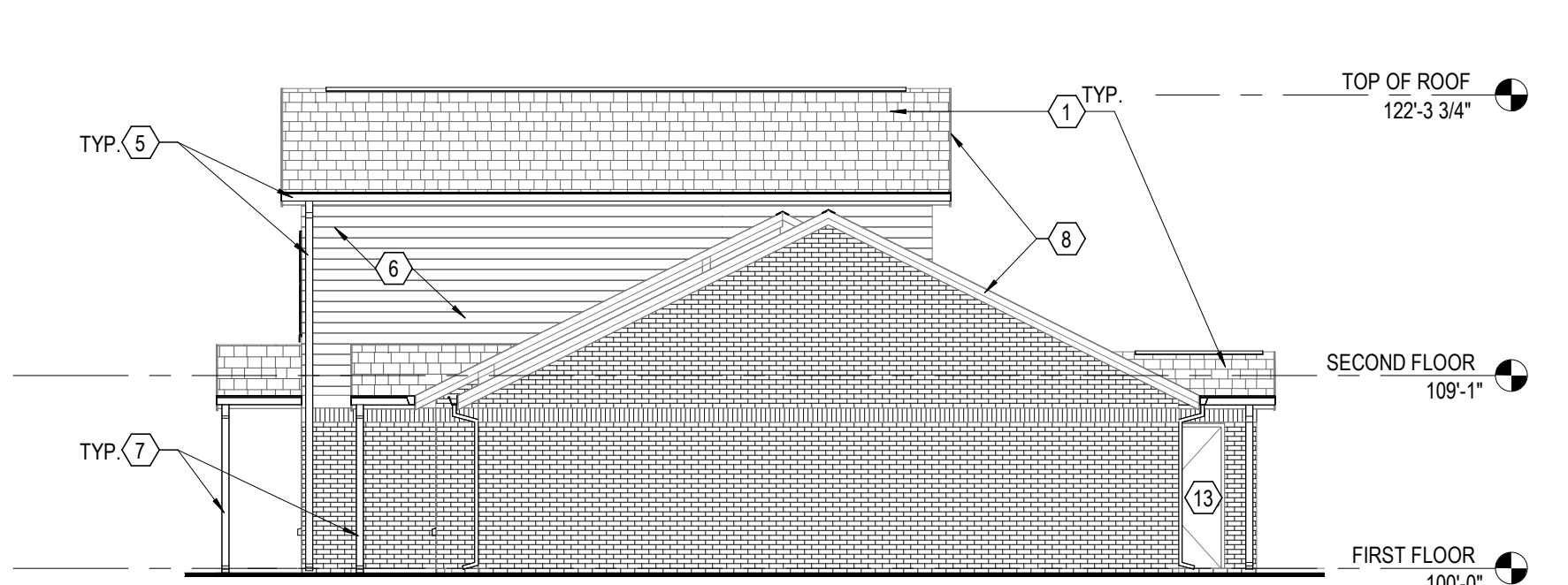
300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881
Moody Nolan CERTIFICATE NO. FIRM 00197475

EXTERIOR ELEVATIONS

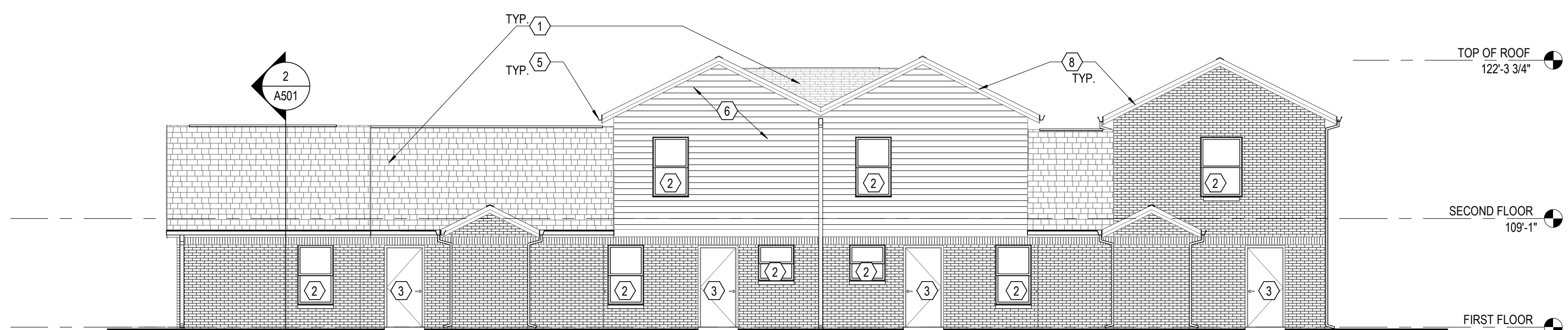
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DATE: 08/14/2025
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A301
 BID / PERMIT SET

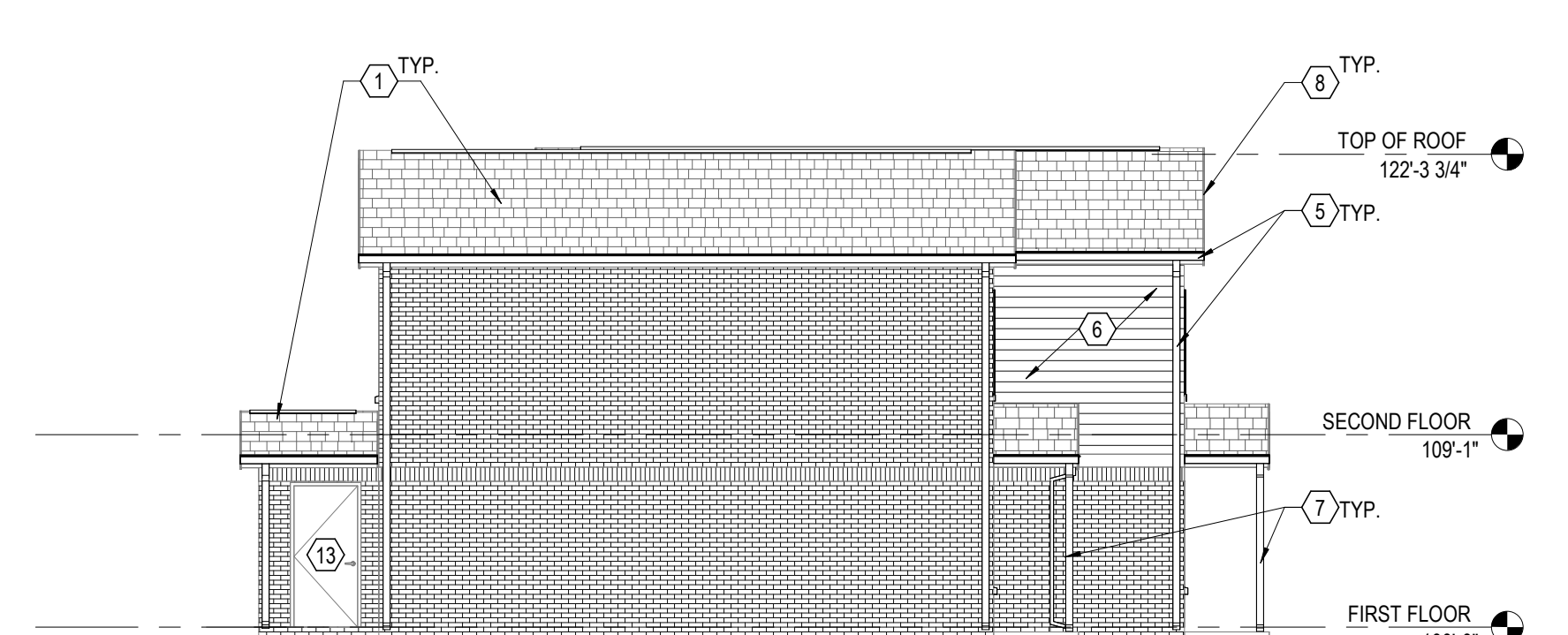
JAY W. BOONE, LIC. #10740
 EXP. DATE: 12/31/2025



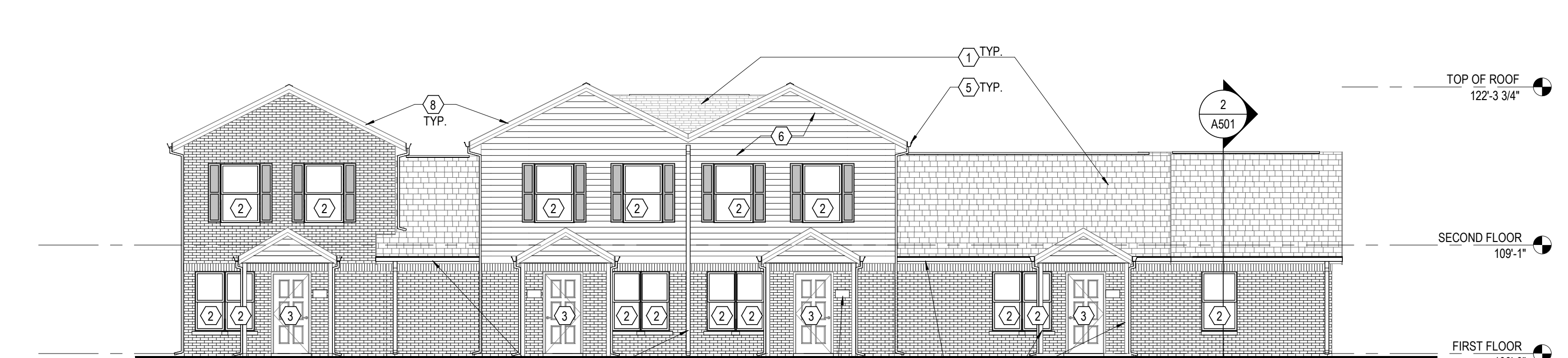
9 ELEVATION BUILDING TYPE VI - SIDE, RIGHT
1/8" = 1'-0" REF: 3 / A103



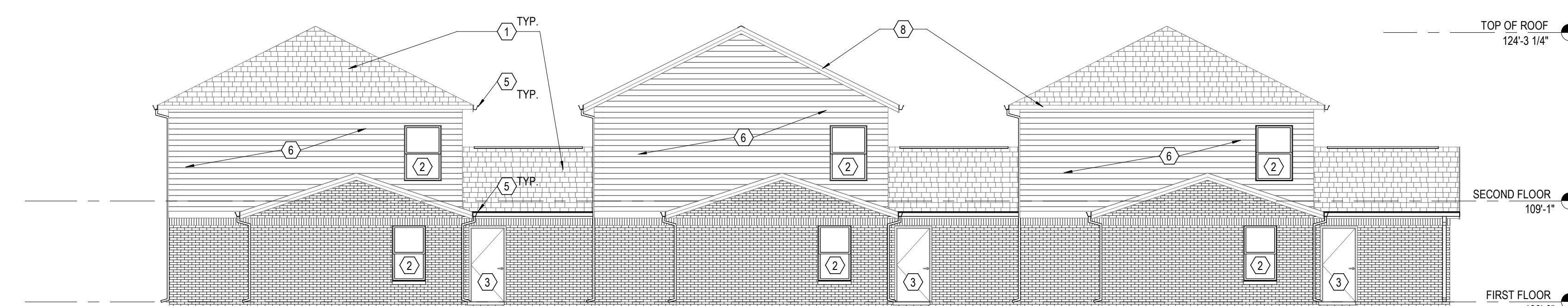
8 ELEVATION BUILDING TYPE VI - REAR
1/8" = 1'-0" REF: 3 / A103



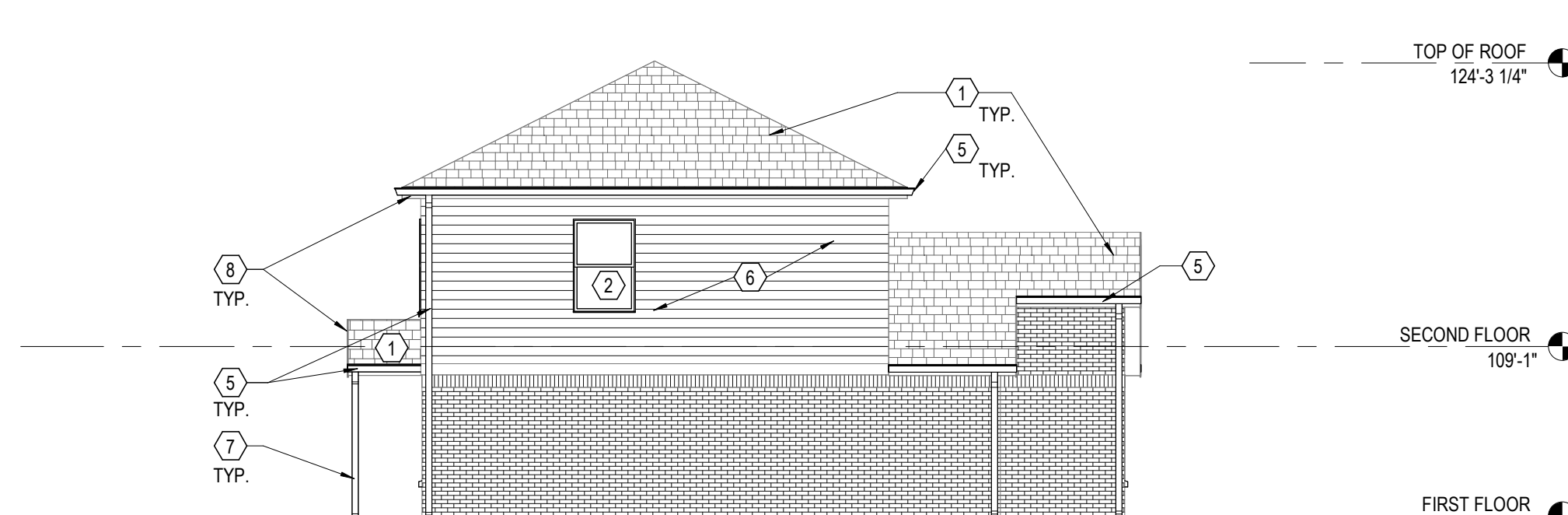
7 ELEVATION BUILDING TYPE VI - SIDE, LEFT
1/8" = 1'-0" REF: 3 / A103



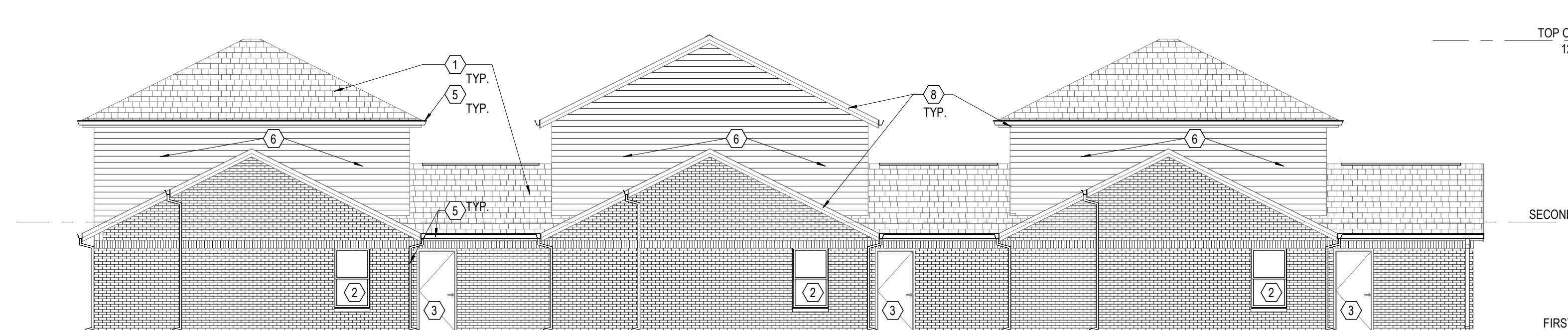
6 ELEVATION BUILDING TYPE VI - FRONT
1/8" = 1'-0" REF: 3 / A103



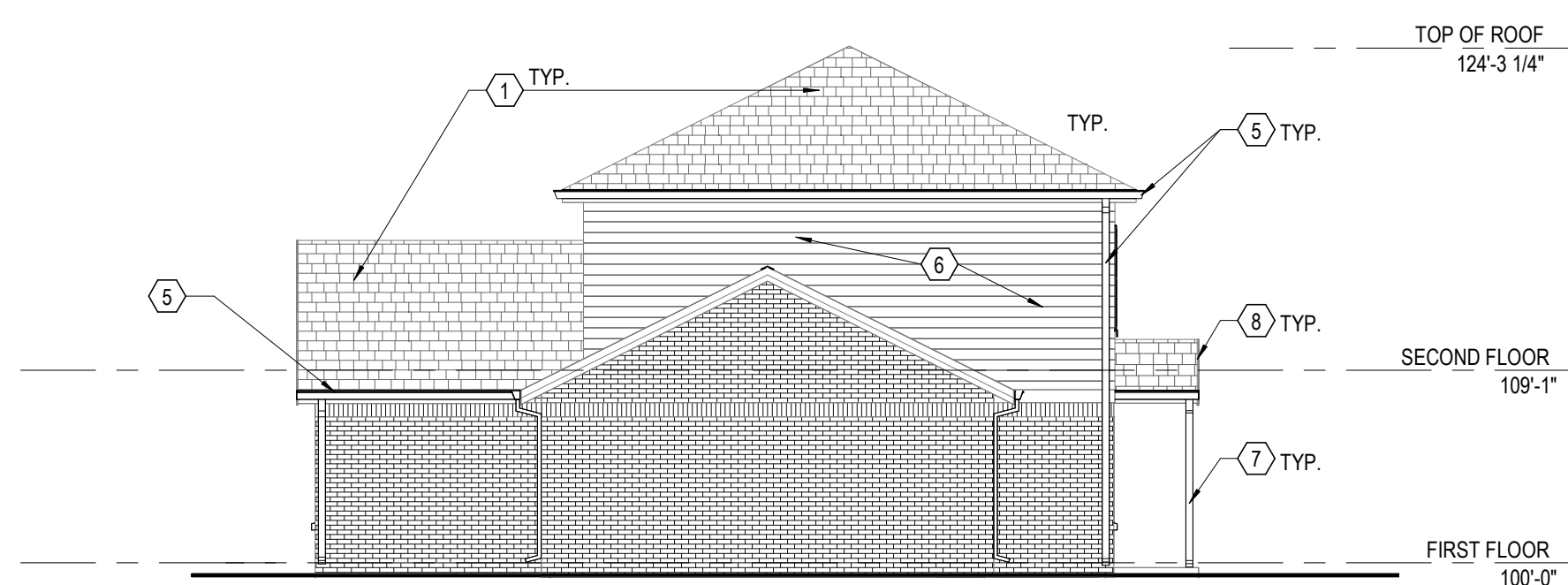
5 ELEVATION BUILDING TYPE V - REAR
1/8" = 1'-0" REF: 1 / A103



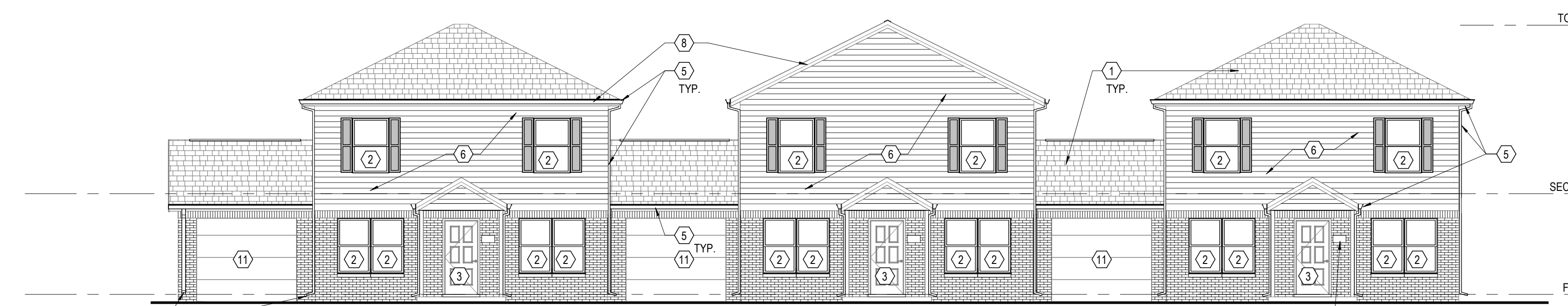
4 ELEVATION BUILDING TYPE IV & V - SIDE, OPP.
1/8" = 1'-0" REF: 3 / A102



3 ELEVATION BUILDING TYPE IV - REAR
1/8" = 1'-0" REF: 3 / A102



2 ELEVATION BUILDING TYPE IV & V - SIDE
1/8" = 1'-0" REF: 3 / A102



1 ELEVATION BUILDING TYPE IV & V - FRONT
1/8" = 1'-0" REF: 3 / A102

GENERAL NOTES - ROOF DEMOLITION BASE BID

- A. AT COMMUNITY BUILDING AND ALL RESIDENTIAL BUILDINGS AND PORCHES, EXISTING SHINGLE ROOF SYSTEM TO REMAIN.
- B. AT COMMUNITY BUILDING AND ALL RESIDENTIAL BUILDINGS AND PORCHES, EXISTING RIDGE VENTS AND/OR HAT VENTS ARE TO REMAIN AT ALL BUILDINGS.
- C. AT COMMUNITY BUILDING AND ALL RESIDENTIAL BUILDINGS AND PORCHES, REMOVE AND REPLACE EXISTING GUTTERS & DOWNSPOUTS.
- D. MAINTAIN & PROTECT EXISTING PLUMBING VENTS.
- E. AT COMMUNITY BUILDING AND ALL RESIDENTIAL BUILDINGS AND PORCHES, REMOVE AND REPLACE EXISTING SOFFITS & CEILINGS, U.N.O.
- F.

GENERAL NOTES - ROOF DEMOLITION ALTERNATE

- A. AT COMMUNITY BUILDING AND ALL RESIDENTIAL BUILDINGS AND PORCHES, REMOVE EXISTING ASPHALT SHINGLE ROOF SYSTEM.
- B. AT COMMUNITY BUILDING AND ALL RESIDENTIAL BUILDINGS AND PORCHES, REMOVE EXISTING RIDGE VENTS AND/OR HAT VENTS.
- C. AT COMMUNITY BUILDING AND ALL RESIDENTIAL BUILDINGS AND PORCHES, REMOVE AND REPLACE EXISTING GUTTERS & DOWNSPOUTS.
- D. MAINTAIN & PROTECT EXISTING PLUMBING VENTS.
- E. AT COMMUNITY BUILDING AND ALL RESIDENTIAL BUILDINGS AND PORCHES, REMOVE AND REPLACE EXISTING SOFFITS & CEILINGS, U.N.O.
- F. EXISTING SHINGLE ROOF SYSTEM IS TO BE REMOVED COMPLETELY TO ROOF SHEATHING. ITEMS FOR REMOVAL INCLUDE SHINGLES, UNDERLAYMENT, DRIP EDGES, AND ALL RELATED DEVICES AND MATERIALS USED TO SECURE ROOFING.
- G. MAINTAIN AND PROTECT EXISTING PLUMBING VENTS. PROVIDE NEW BOOTS.
- H. REMOVE EXISTING SOFFITS, FASCIA, GUTTERS, DOWNSPOUTS ETC.
- I. UPON REMOVAL OF EXISTING ROOFING, THE CONTRACTOR SHALL NOTIFY THE OWNER ABOUT CONDITION OF EXISTING SHEATHING.
- J. REMOVE EXISTING RIDGE VENTS AND HAT VENTS.

GENERAL NOTES - EXTERIOR ELEVATIONS

- 1. REFER TO PHOTO SHEETS INCLUDED IN PROJECT MANUAL FOR ADDITIONAL INFORMATION ON EXTERIOR WORK AT BUILDINGS.
- 2. AT ALL BUILDINGS, CLEAN, PREP AND PAINT ALL EXPOSED ELECTRIC AND GAS METERS, LINES ETC. FILED VERIFY EXACT LOCATIONS IN THE FIELD.
- 3. CLEAN, PREP, AND PAINT ALL EXPOSED LINTELS AT DOORS AND WINDOWS ON MASONRY WALLS BEFORE INSTALLATION OF NEW WINDOW OR DOOR SYSTEM.

CODED NOTES - EXTERIOR ELEVATIONS

- 1. ROOF BASE BID: EXISTING SHINGLE ROOF SYSTEM TO REMAIN. PROTECT ALL ROOFING ELEMENTS DURING ALL STAGES OF CONSTRUCTION. MODIFY SHINGLES AS NECESSARY FOR INSTALLATION OF NEW FLUES OR OTHER DEVICES FOR NEW SYSTEMS BEING INSTALLED IN UNITS. PATCH AND REPAIR ROOF SYSTEM AS REQUIRED FOR NEW PENETRATIONS.
- 2. NEW VINYL WINDOW SYSTEM ON ALL RESIDENTIAL BUILDINGS AND NEW EXTERIOR WINDOW SHUTTERS AT APPLICABLE LOCATIONS. PROVIDE AND INSTALL NEW WINDOW TREATMENTS. REFER TO FLOOR PLAN FOR WINDOW TYPES. SEE SPECIFICATIONS.
- 3. NEW FRONT AND REAR HM. DOOR & FRAME, (INCLUDING TRANSOM), TYPICAL. ALL EXTERIOR DOORS TO BE PAINTED. FIELD VERIFY EXACT QUANTITY AND LOCATIONS.
- 4. ROOF ALTERNATE: NEW RIDGE VENT SYSTEM.
- 5. NEW GUTTERS, DOWNSPOUTS AND ALUMINUM SOFFITS SYSTEM ON ALL BUILDINGS. ADD LEAF GUARDS TO ALL GUTTERS.
- 6. NEW VINYL SIDING AND ASSOCIATED TRIM. REPLACE ALL DETERIORATED SHEATHING.
- 7. CLEAN AND PREP SURFACE TO RECEIVE NEW PAINT ON ALL METAL COLUMNS AT PORCH.
- 8. NEW ALUMINUM CLAD FASCIA AND TRIM ON ALL BUILDINGS.
- 9. CLEAN AND PREP EXISTING STUCCO FOR NEW PAINT.
- 10. CLEAN AND PREP ALL EXISTING GABLE VENTS FOR NEW PAINT.
- 11. NEW GARAGE DOOR.
- 12. NEW SOFFIT VENTS.
- 13. CLEAN AND PREP EXISTING SHED/ STORAGE HM. DOOR & FRAME. PAINT ALL EXISTING DOORS & FRAMES, TYPICAL AT 75 UNITS. FIELD VERIFY EXACT QUANTITY AND LOCATIONS.
- 14. CLEAN AND PREP EXISTING HM. EXTERIOR DOOR & FRAME AT COMMUNITY CENTER. PAINT ALL EXISTING DOORS & FRAMES, TYPICAL. FIELD VERIFY EXACT QUANTITY AND LOCATIONS.
- 15. ANY NEW EXTERIOR BUILDING SIGNAGE TO BE EASY TO READ WITH HIGH CONTRAST LETTERS/ NUMBERS AND BACKGROUND. COORDINATE FINAL LOCATION WITH OWNER, TYPICAL ALL BUILDINGS.

#	DATE	CHANGE DESCRIPTION

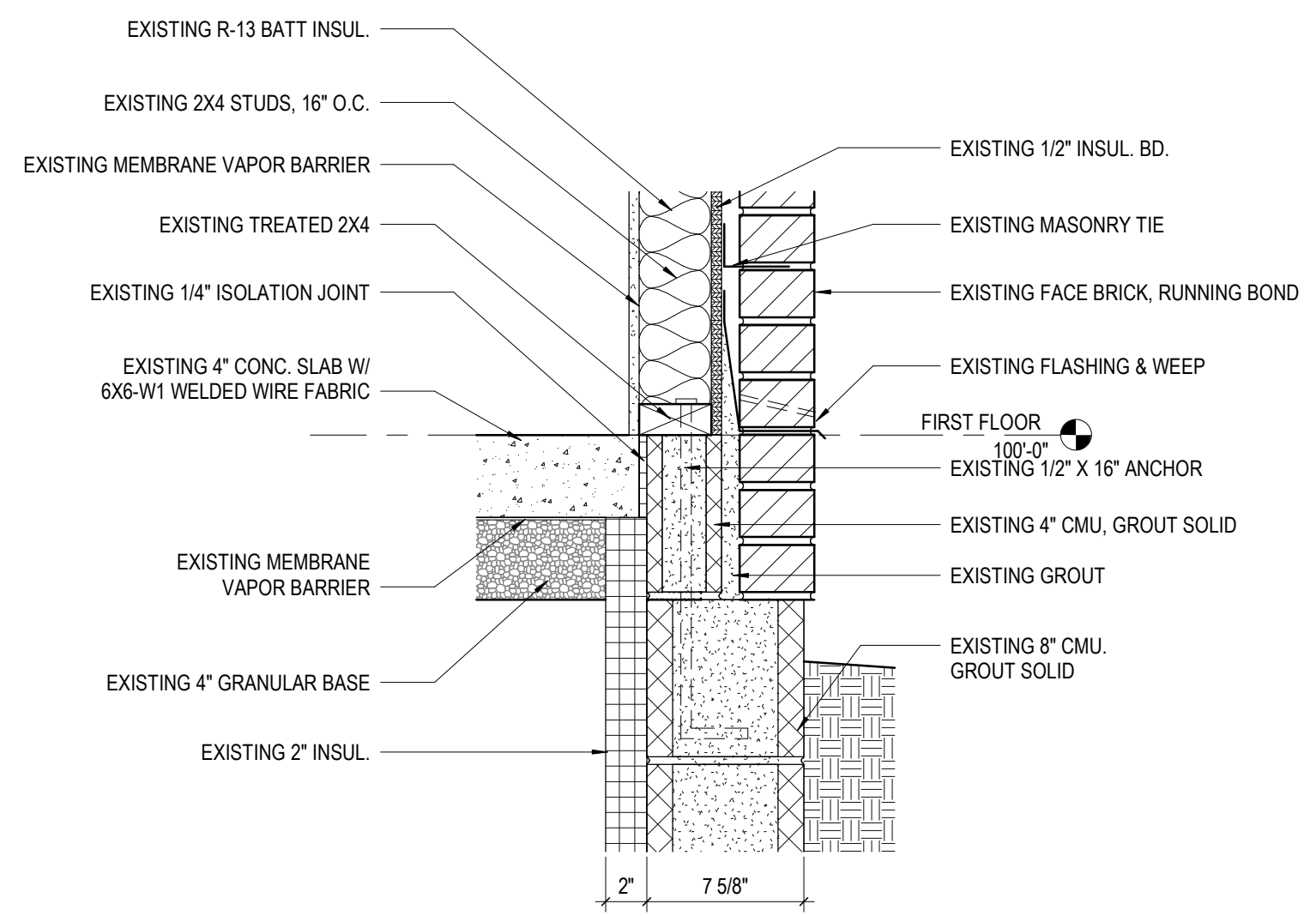
THE MEADOWS RAD RENOVATIONS
COLUMBUS METROPOLITAN HOUSING AUTHORITY
4865 PANTAL CREEK DRIVE
COLUMBUS, OH 43110
FOR COLUMBUS METROPOLITAN HOUSING AUTHORITY

Moody Nolan CERTIFICATE NO. FIRM 00197475
300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881

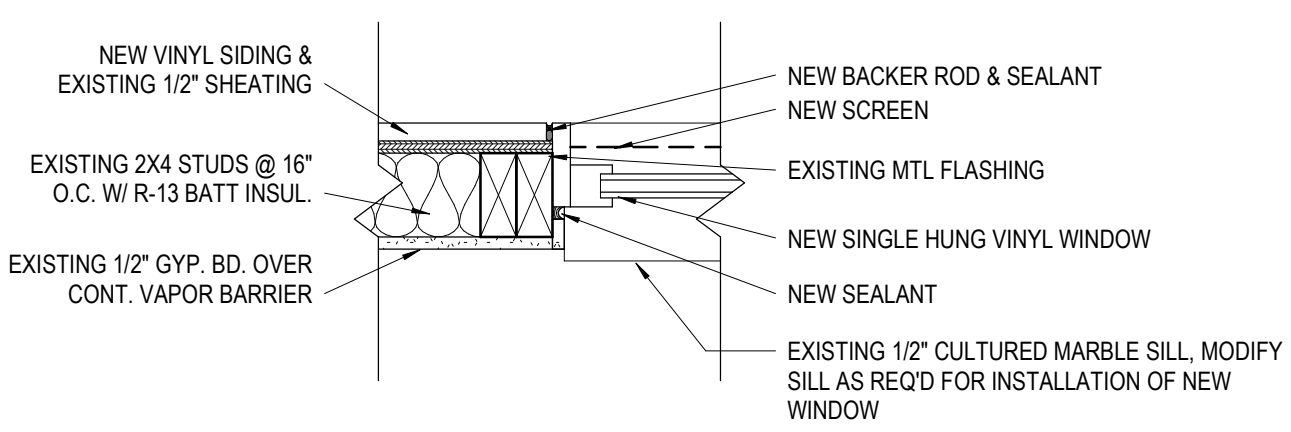
EXTERIOR ELEVATIONS

STATE OF OHIO REGISTERED ARCHITECT
JAY W. BOONE, LIC. #10740
EXP. DATE: 12/31/2025

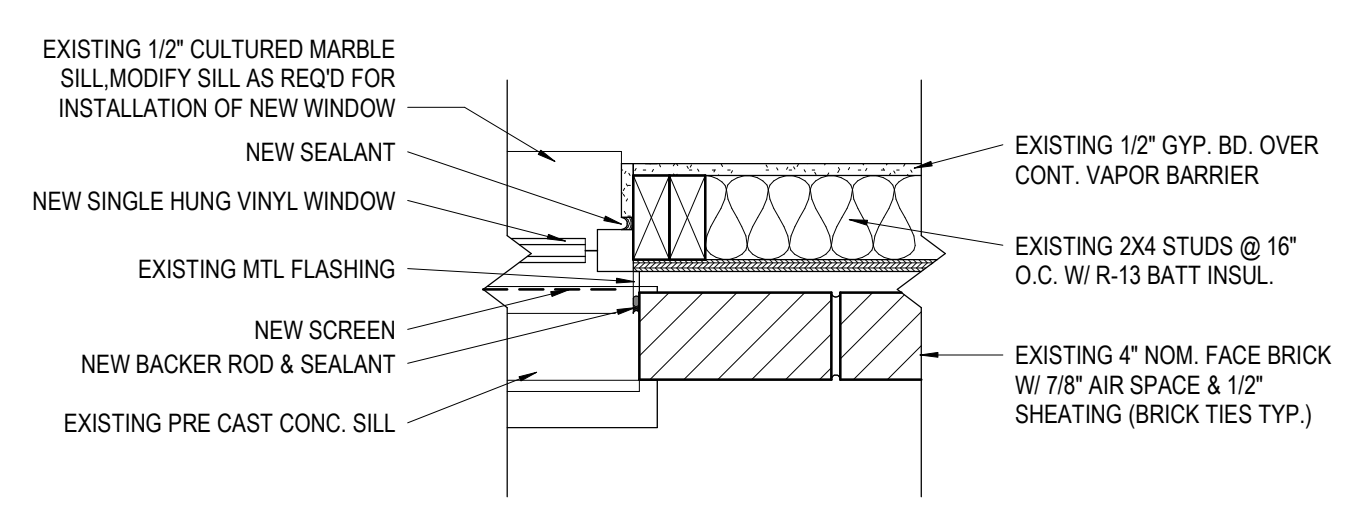
08/14/2025
DRAWN BY: XXXX CHECKED BY: XXXX
18076.04
A302
BID / PERMIT SET



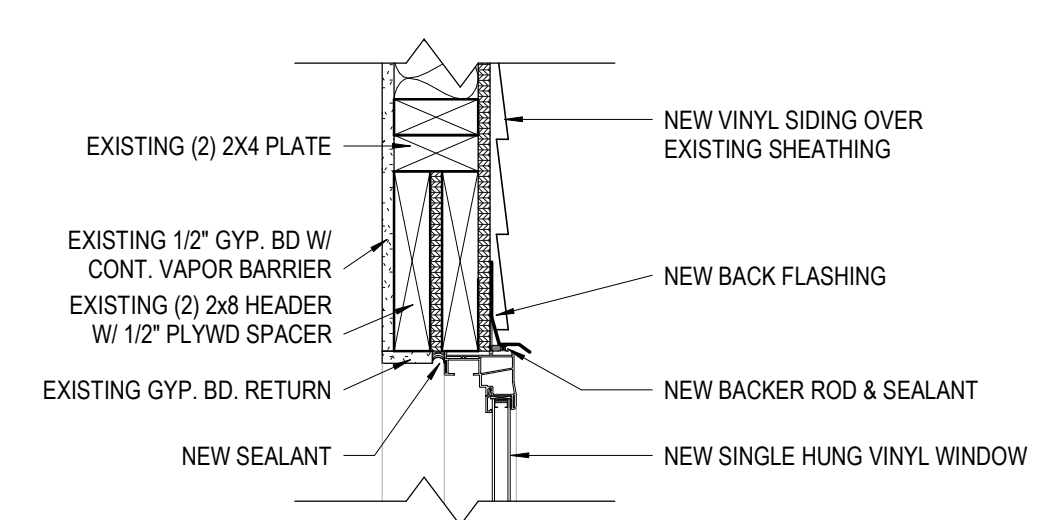
9 DETAIL BASE PLATE AND FLASHING
1 1/2" = 1'-0" REF: 1 / A501



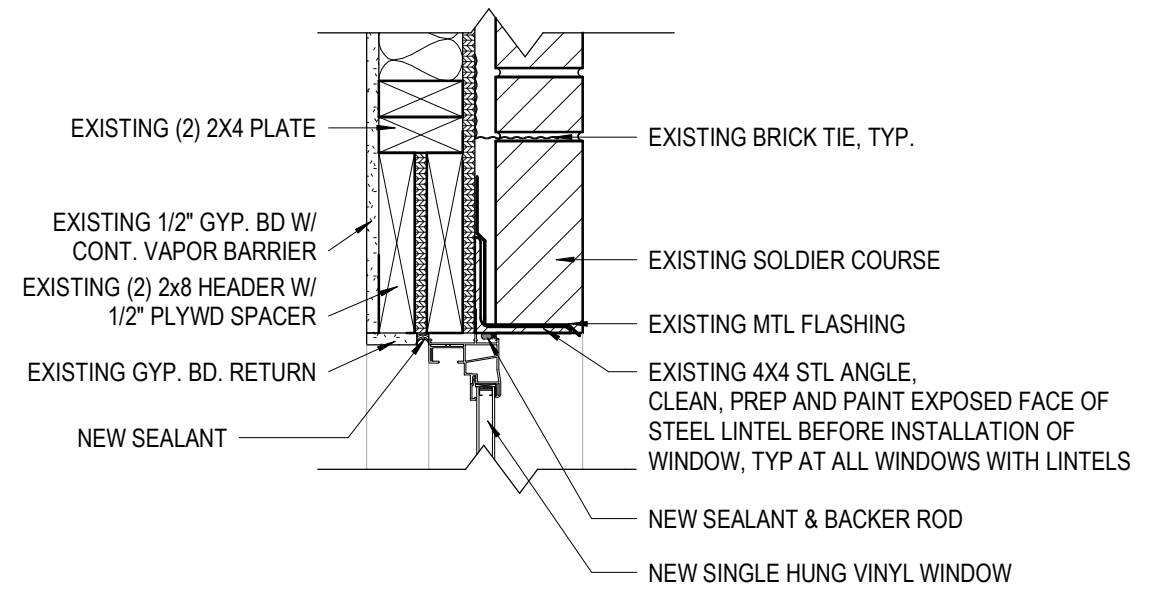
8 DETAIL WINDOW JAMB @ SIDING
1 1/2" = 1'-0" REF: 2 / A101



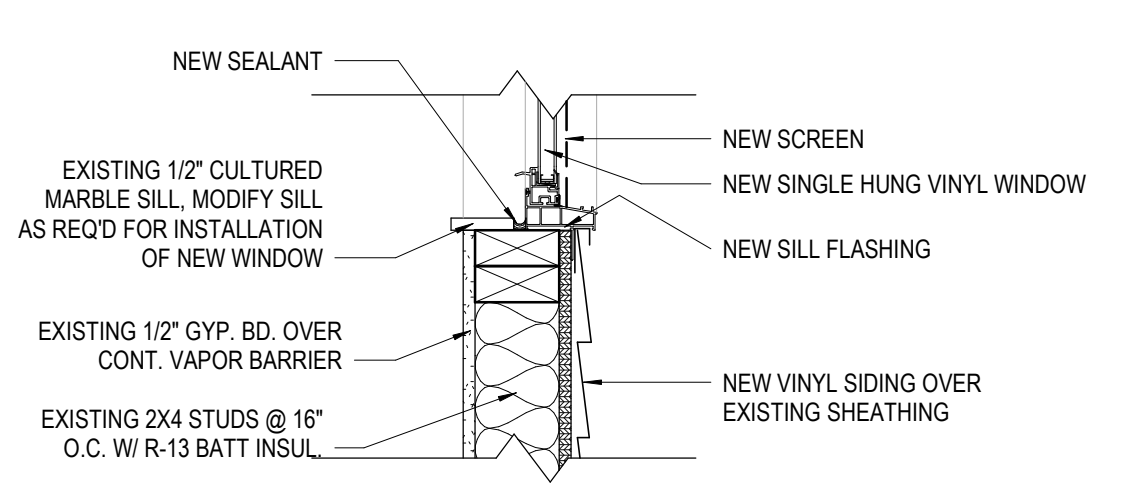
5 DETAIL WINDOW JAMB @ BRICK
1 1/2" = 1'-0" REF: 3 / A103



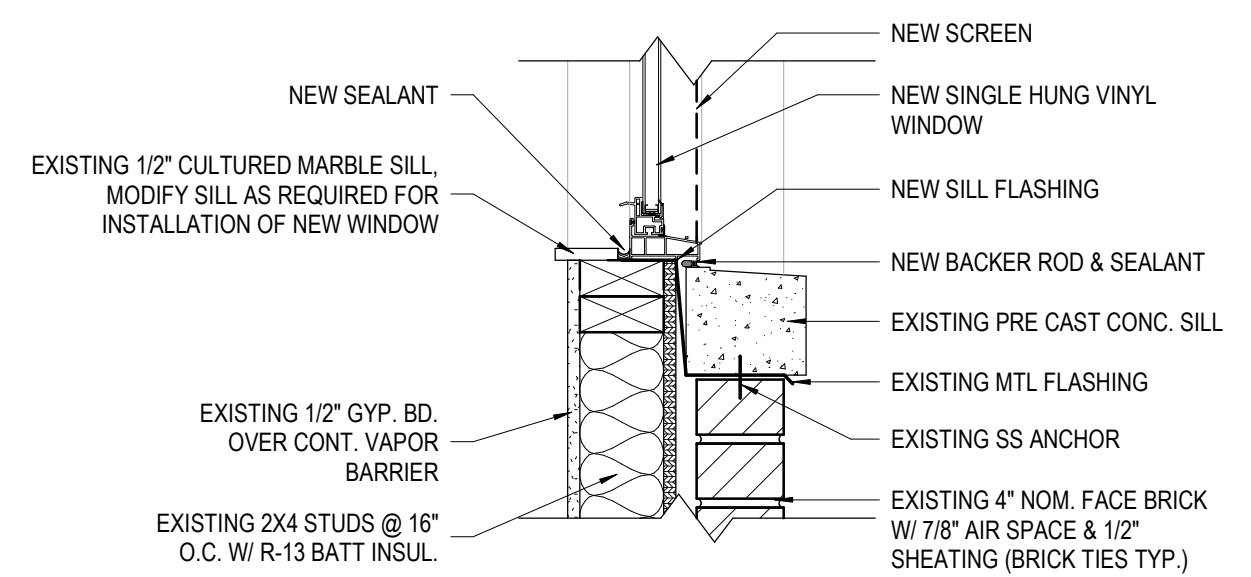
7 DETAIL WINDOW HEAD @ SIDING
1 1/2" = 1'-0" REF: 1 / A501



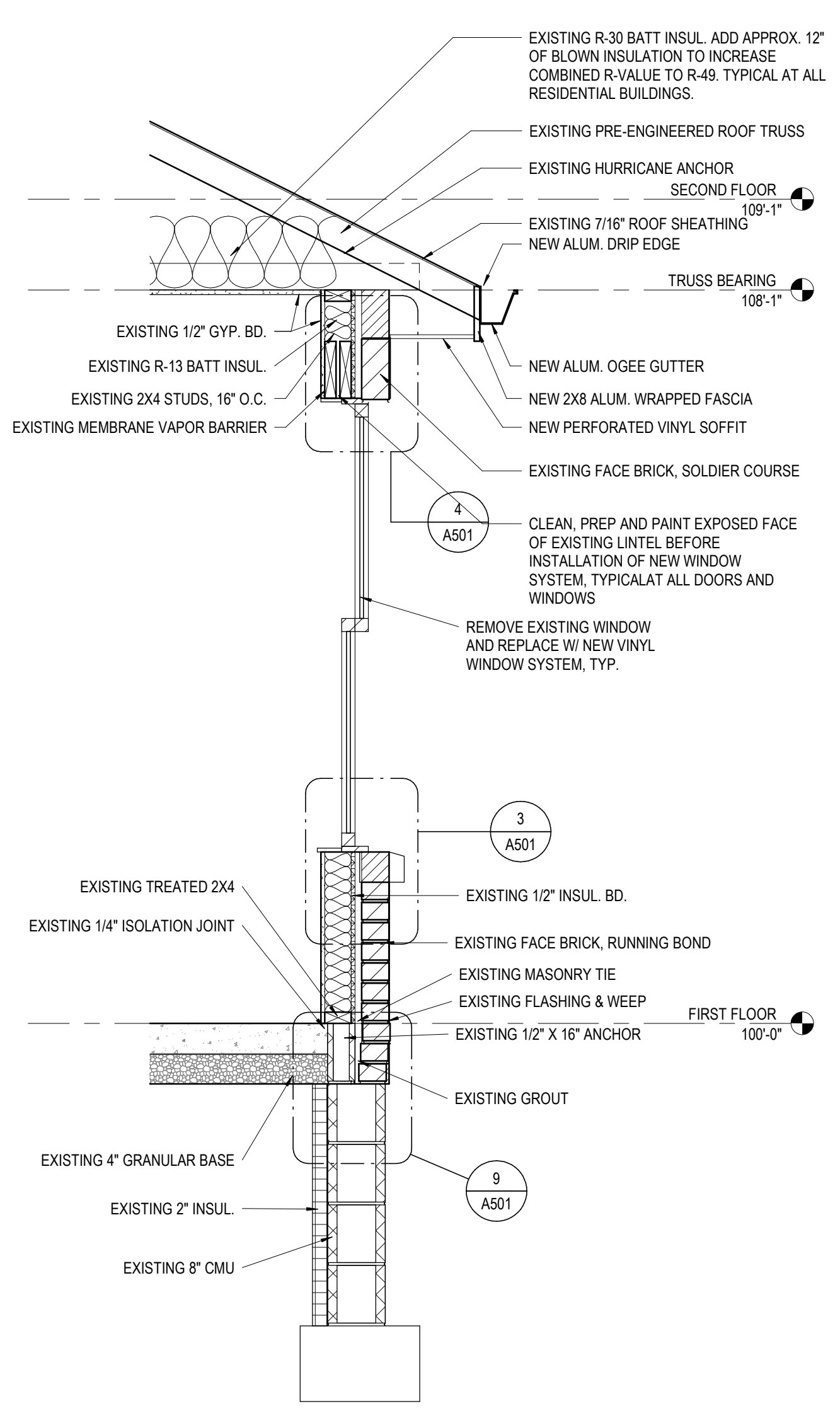
4 DETAIL WINDOW HEAD @ BRICK
1 1/2" = 1'-0" REF: 2 / A501



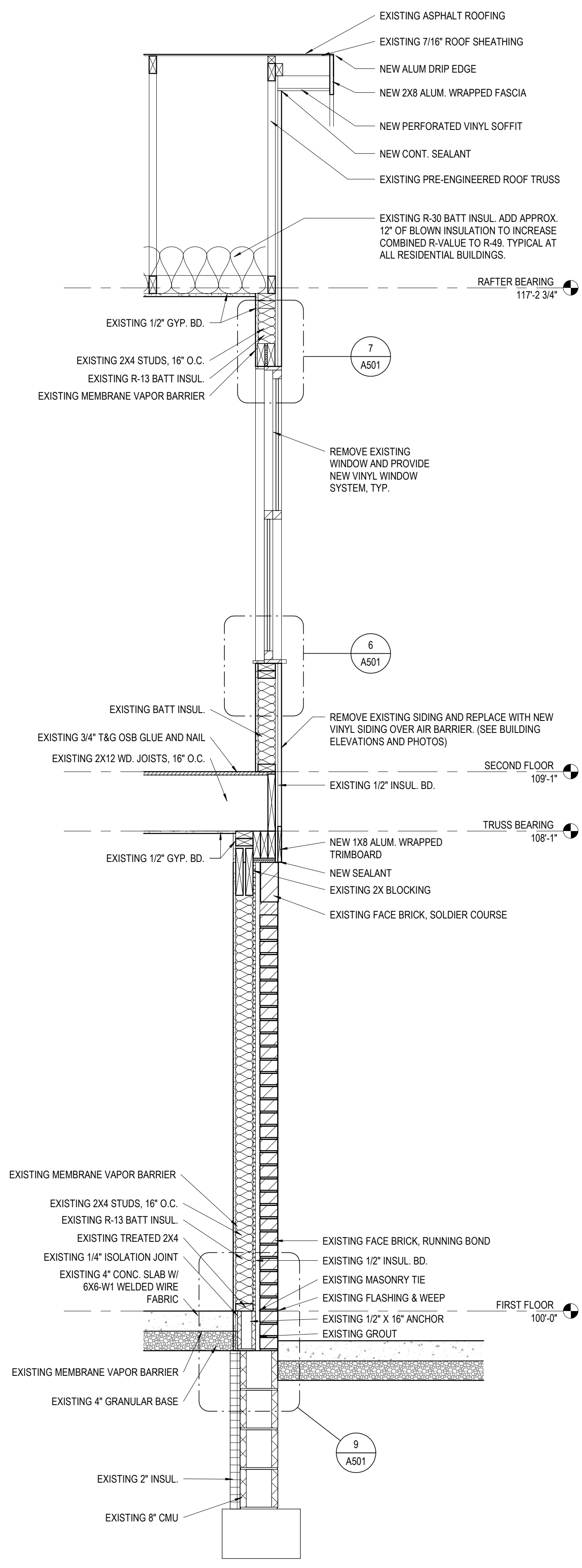
6 DETAIL WINDOW SILL @ SIDING
1 1/2" = 1'-0" REF: 1 / A501



3 DETAIL WINDOW SILL @ BRICK
1 1/2" = 1'-0" REF: 2 / A501



2 SECTION TYP. ONE STORY WALL
3/4" = 1'-0" REF: 3 / A103



1 SECTION TYP. WALL AT GABLE
3/4" = 1'-0" REF: 1 / A101

#	DATE	CHANGE DESCRIPTION

THE MEADOWS RAD RENOVATIONS
COLUMBUS METROPOLITAN HOUSING AUTHORITY
COMMUNITY. COMMITMENT. COLLABORATION.

300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881

Moody Nolan CERTIFICATE NO: FIRM 00197475

DRAWING TITLE: **WALL SECTIONS**

08/14/2025
DRAWN BY: xxx CHECKED BY: xxx
18076.04
A501
BID / PERMIT SET

TYPICAL RESIDENTIAL DOOR SCHEDULE										
MARK	DOOR TYPE	DOOR		MATERIAL	ELEV.	FRAME		FIRE RATING	HW SET	REMARKS
		WIDTH	HEIGHT			MATERIAL	ELEV.			
A	UNIT ENTRY	3'-0"	6'-8"	ST	C	WD	2	-	U1	6 PANEL
B	PATIO ENTRY	3'-0"	6'-8"	ST	A	WD	2	-	U1	
C	SHED	3'-0"	6'-8"	ST	A	WD	2	-	U3	
D1	DINING ROOM	2'-8"	6'-8"	EX WD	A	EX WD	1	1 HR	U2	
D2	CLOSET / LINEN	2'-8"	6'-8"	EX WD	A	EX WD	1	-	U5	
D3	BEDROOM / BATH	2'-8"	6'-8"	WD	A	WD	1	-	U4	
E1	CLOSET	3'-0"	6'-8"	WD	A	WD	1	-	U5	
E2	BEDROOM / BATH (ACC)	3'-0"	6'-8"	WD	A	WD	1	-	U4	
F	MECH.	2'-4" PR	6'-8"	EX WD	HH	EX WD	3	-	U6	LOUVERED PAIR, REPLACE LOCKSET
G	CLOSET / PANTRY / LINEN	1'-8"	6'-8"	EX WD	A	EX WD	1	-	U5	REPLACE LOCKSET
H	LAUNDRY	2'-6" PR	6'-8"	EX WD	HH	EX WD	3	-	U6	LOUVERED PAIR, REPLACE LOCKSET
I	CLOSET	3'-0" PR	6'-8"	EX WD	AA	EX WD	3	-	U7	BYPASS PAIR
J	CLOSET	2'-6" PR	6'-8"	EX WD	AA	EX WD	3	-	U7	BYPASS PAIR
K	GARAGE	6'-0"	7'-0"	ST	OH3	MTL	6	-	U8	REPLACE LOCKSET
L	CLOSET / PANTRY / LINEN	2'-4"	6'-8"	EX WD	A	EX WD	1	-	U5	TYP LOCATIONS, REPLACE LOCKSET
M	LINEN	2'-0"	6'-8"	WD	A	WD	1	-	U5	NEW AT ANSI TYPE A UNIT BATH

GENERAL NOTES:

- ALL DOOR WIDTHS IN OCCUPIED ROOMS OF ALL BUILDINGS TO BE 32" CLEAR MINIMUM.
- ALL FULL AND HALF LITE EXTERIOR ENTRANCE DOORS TO RECEIVE 1" MINI-BLINDS.
- REMOVE EXTERIOR STORM DOORS AT ALL UNIT ENTRY DOORS.
- NEW STEEL DOOR AT ALL UNIT ENTRY DOORS (FRONT & REAR); NEW ENTRY DOORS TO HAVE ONE DOOR VIEWER. AT ANSI TYPE A UNITS, PROVIDE A SECOND DOOR VIEWER AT 48" A.F.F. PROVIDE NEW HARDWARE, TYPICAL.
- NEW ROBE HOOK ON THE DOOR OF BATHS, HOOK TO FACE SIDE OF TOILET AREA.
- NEW DOOR STOPS AT ALL UNIT INTERIOR DOORS.
- ST = STEEL, WD = WOOD, MTL = METAL, EX = EXISTING.
- ALL HARDWARE IN UNIT TO BE LEVER-TYPE AND WITHIN ACCESSIBLE REACH RANGES. REFER TO TYPICAL PROJECT DETAILS FOR ADDITIONAL INFO.
- PROVIDE NO-STEP ENTRY (1/2" OR LESS THRESHOLD) AT ALL ANSI TYPE A ENTRY DOORS.
- ANSI TYPE A UNITS, PROVIDE INTERIOR DOOR THRESHOLD OF 1/4" MAX. BEVELED OR FLUSH.
- AT ALL UNIT INTERIOR DOORS THAT ARE TO REMAIN (EXCEPT BI-PASS DOORS), PROVIDE NEW LOCKSET WITH LEVER HANDLE ALL OTHER HARDWARE TO REMAIN

COMMUNITY CENTER DOOR SCHEDULE										
MARK	DOOR TYPE	DOOR		MATERIAL	ELEV.	FRAME		FIRE RATING	HW SET	REMARKS
		WIDTH	HEIGHT			MATERIAL	ELEV.			
AC	MAIN ENTRY	3'-0" PR	7'-0"	EX AL	BB	EX AL	5	-	10	EXTERIOR DOOR WITH TRANSOM
CC	EGRESS	3'-0"	7'-0"	EX HM	B	EX HM	2	-	09	
DC1	EXTERIOR (MECH)	3'-0"	7'-0"	EX HM	A	EX HM	2	-	07	
DC2	EXTERIOR (CONF RM)	3'-0"	7'-0"	HM	A	HM	2	-	04	NEW EXTERIOR DOOR & FRAME
EC	PROP. STORAGE	3'-0" PR	7'-0"	EX HM	AA	EX HM	4	-	08	
FC1	OFFICE / CORRIDOR	3'-0"	7'-0"	EX WD	G	EX HM	2	-	03	
FC2	OFFICE / CORRIDOR	3'-0"	7'-0"	EX WD	G	EX HM	2	-	01	
GC	CLOSET	2'-8"	7'-0"	EX WD	A	EX HM	1	-	05	
HC	MECHANICAL	3'-0"	7'-0"	EX WD	A	EX HM	1	1 HR	06	
JC	TOILET	3'-0"	7'-0"	EX WD	A	EX HM	1	-	02	

GENERAL NOTES - DOOR SCHEDULE

A. THE TYPICAL RESIDENTIAL DOOR SCHEDULE ON THIS SHEET REPRESENTS A GENERIC DOOR SCHEDULE THAT IS APPLICABLE TO ALL UNITS IN THE PROJECT IDENTIFIED BY ROOM NAMES.

B. TYPICAL EXISTING UNIT ENTRY DOORS ARE HOLLOW METAL DOORS WITH WD FRAME.

C. EXISTING BI-FOLD DOORS ARE TO REMAIN. NEW BI-FOLD DOORS ARE NOT BEING PROPOSED FOR MISSING LOCATIONS.

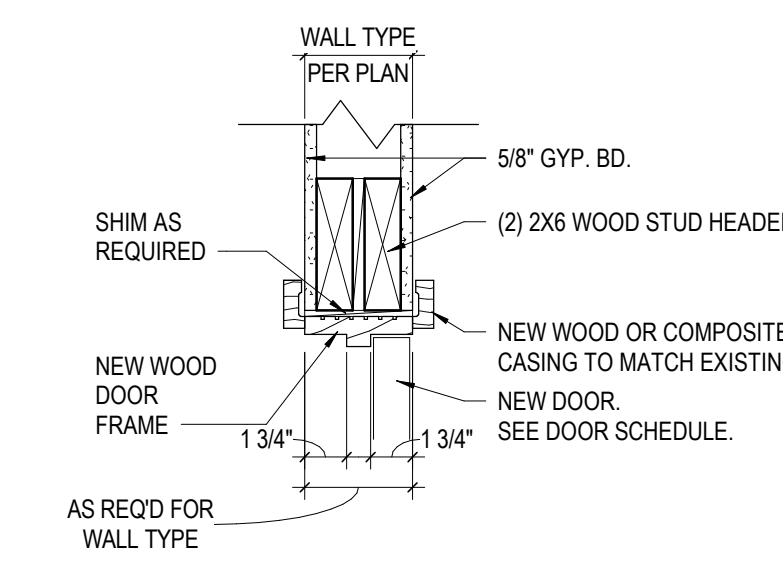
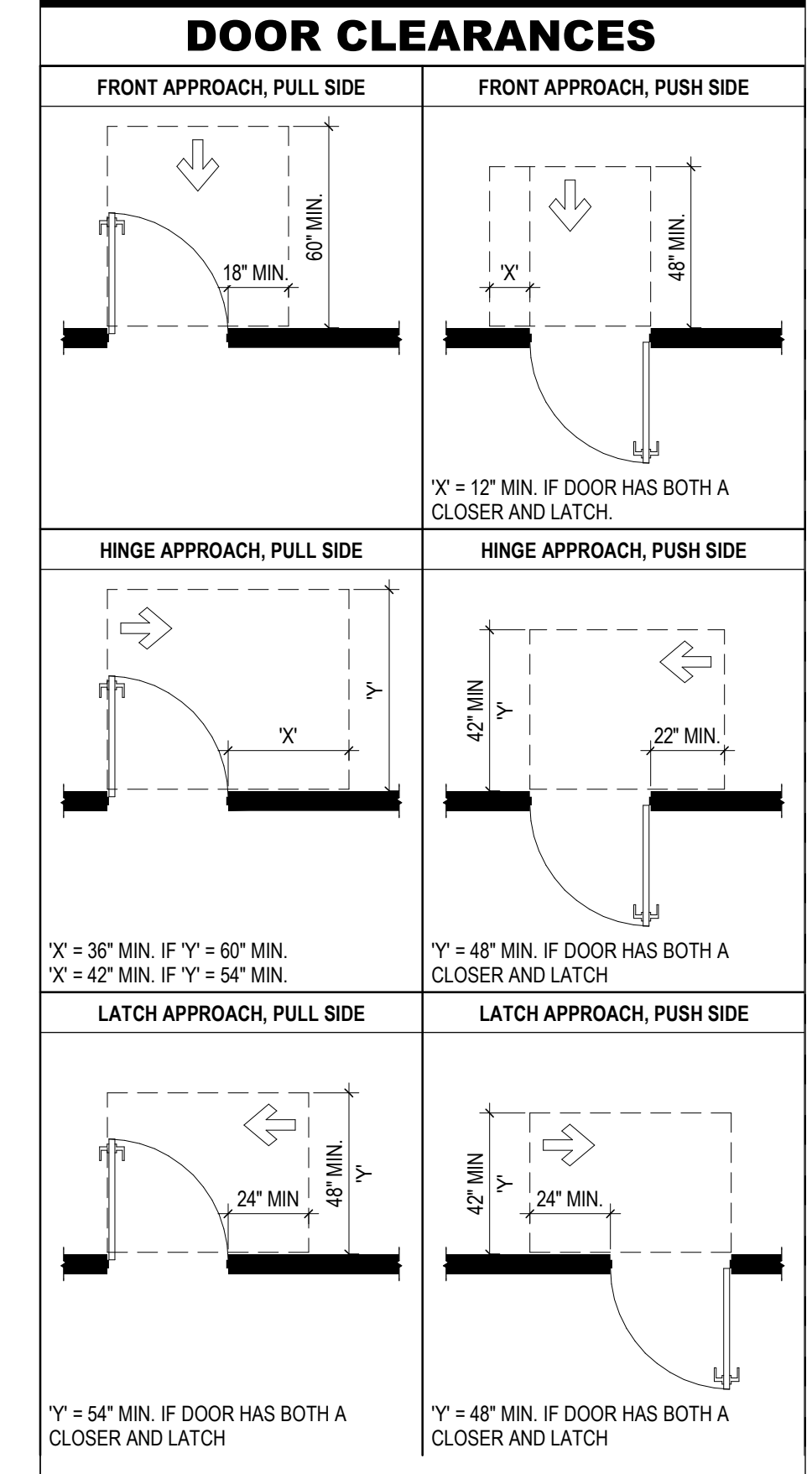
D. ALL NEW INTERIOR DOORS ARE SOLID CORE DOORS PER SPECIFICATIONS, U.N.O.

E. REFER TO SPECIFICATIONS FOR HARDWARE SETS.

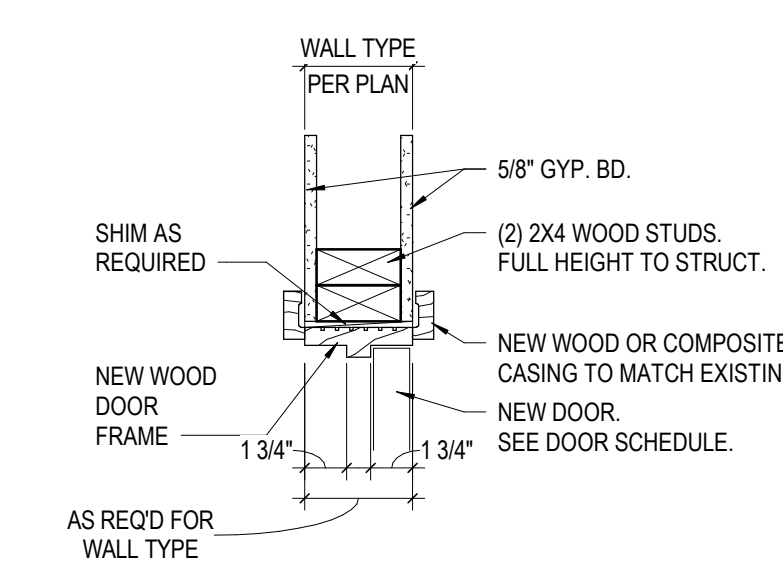
F. REFER TO FLOOR PLANS FOR QUANTITY OF DOORS BEING REPLACED.

G. NEW DOORS TO MATCH EXISTING DOORS SIZES, U.N.O. FIELD VERIFY ALL SIZES AND QUANTITIES.

H. REMOVE EXISTING AND INSTALL NEW WEATHER STRIPPING AT UNIT ENTRY DOORS.

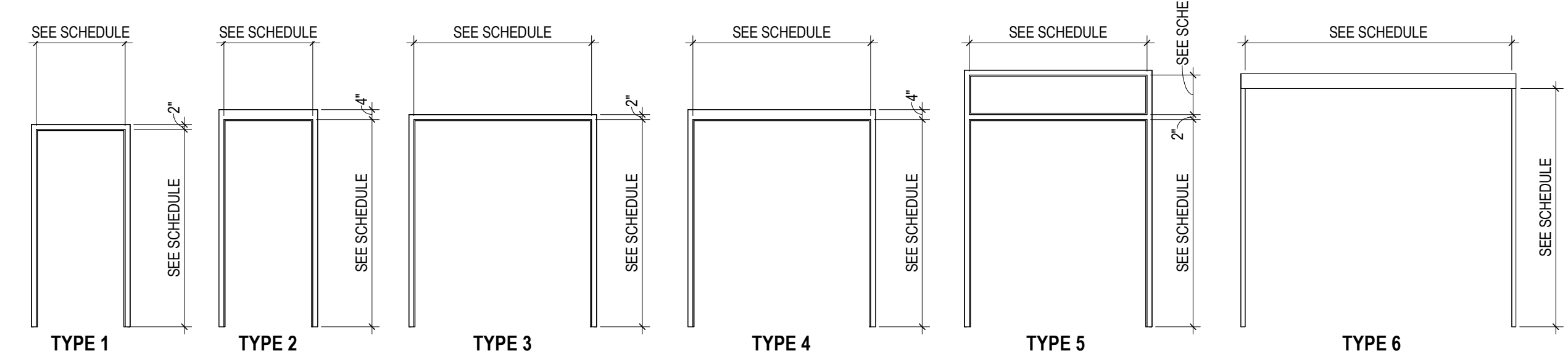


2 DETAIL HEAD - INTERIOR WOOD DOOR
 1 1/2" = 1'-0"

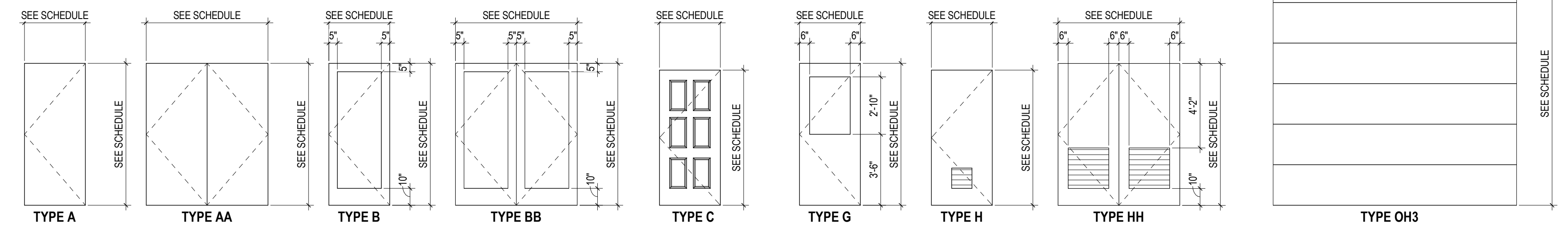


1 DETAIL JAMB - INTERIOR WOOD DOOR
 1 1/2" = 1'-0"

DOOR FRAME TYPE LEGEND



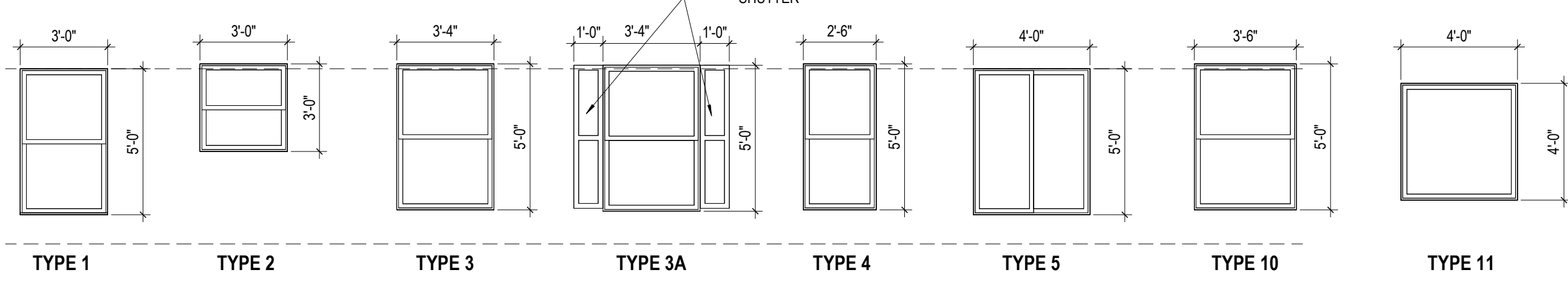
DOOR PANEL TYPE LEGEND



WINDOW SCHEDULE				
TYPE MARK	WIDTH	HEIGHT	MODEL	COMMENTS
1	3'-0"	5'-0"	SINGLE HUNG	
2	3'-0"	3'-0"	SINGLE HUNG	
3	3'-4"	5'-0"	SINGLE HUNG	
3A	3'-4"	5'-0"	SINGLE HUNG	SHUTTERS (RAISED PANEL, VINYL)
4	2'-6"	5'-0"	SINGLE HUNG	
5	4'-0"	5'-0"	SLIDING	
10	3'-6"	5'-0"	SINGLE HUNG	
11	4'-0"	4'-0"	FIXED	@ COMMUNITY CENTER CLEARSTORY
14	8'-10"	5'-6"		

NOTE: CONTRACTOR IS TO FIELD VERIFY ALL WINDOW SIZES, TYPES AND QUANTITIES.

WINDOW TYPE LEGEND



#	DATE	CHANGE DESCRIPTION

THE MEADOWS RAD RENOVATIONS
 COLUMBUS METROPOLITAN HOUSING AUTHORITY
 4855 PINTAL CREEK DRIVE
 COLUMBUS, OH 43110
 FOR COLUMBUS METROPOLITAN HOUSING AUTHORITY

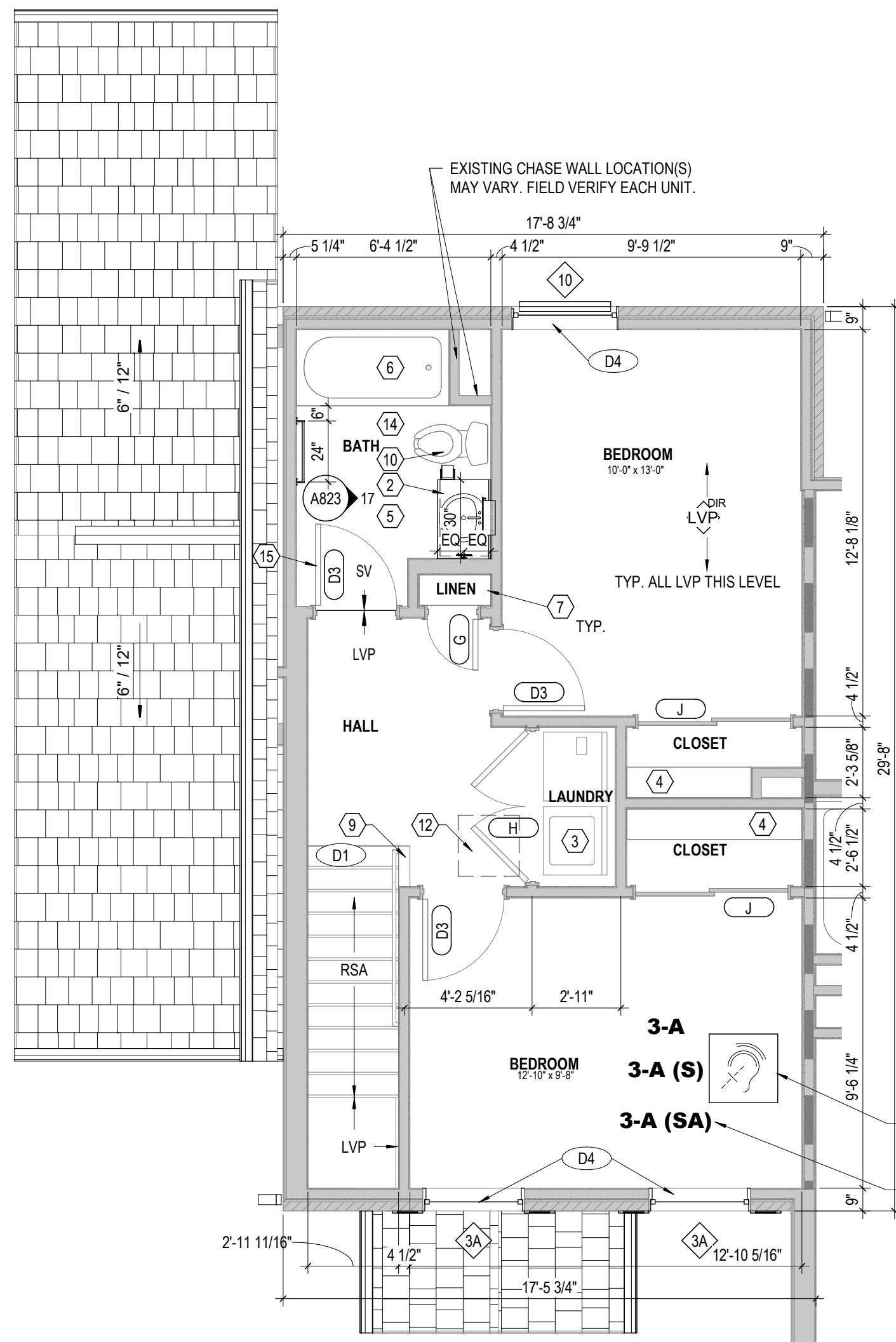
Moody Nolan
 300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881
 CERTIFICATE NO: FIRM 00197475

DOOR & WINDOW SCHEDULES

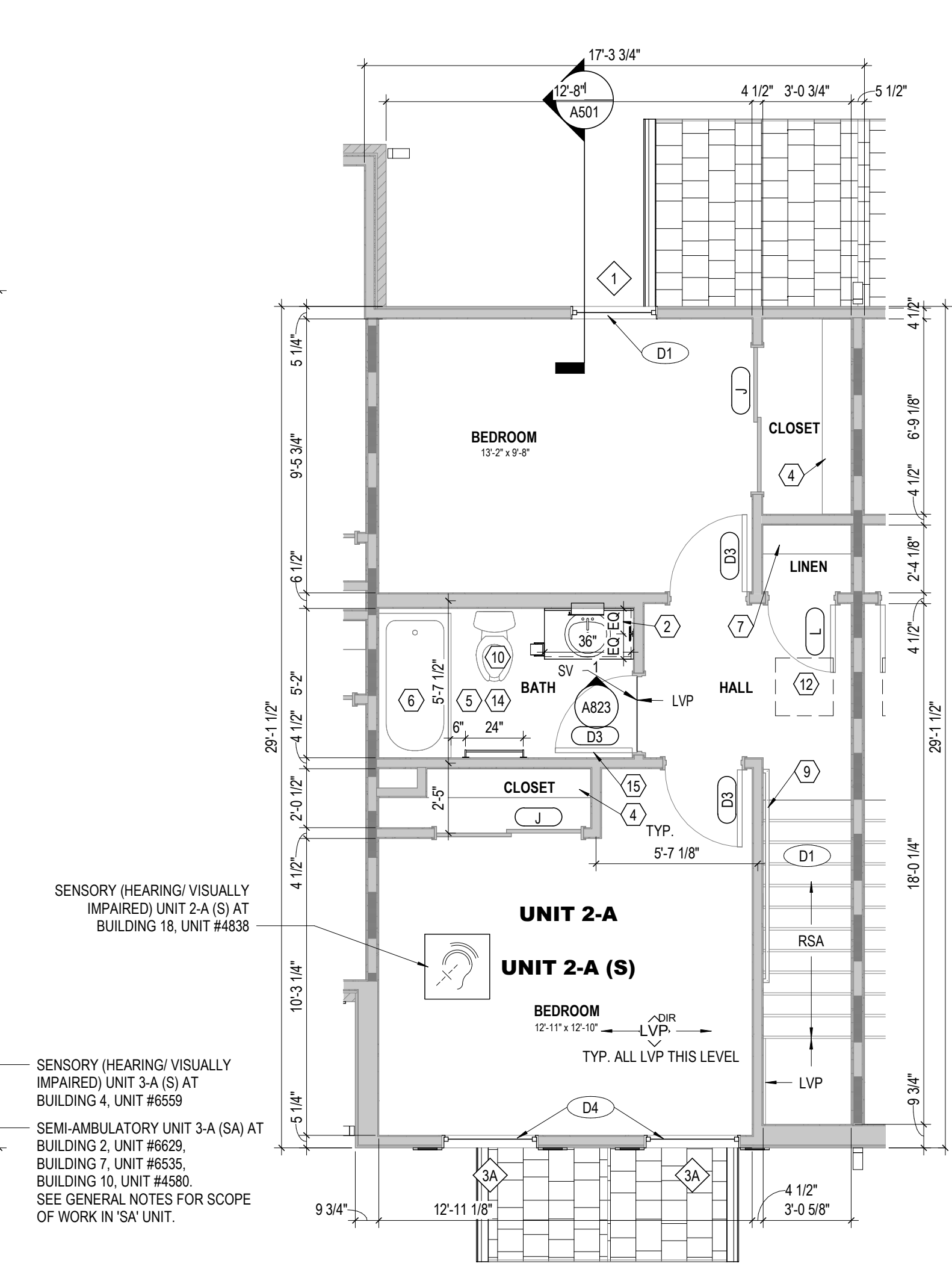
DRAWING TITLE: DOOR & WINDOW SCHEDULES

08/14/2025
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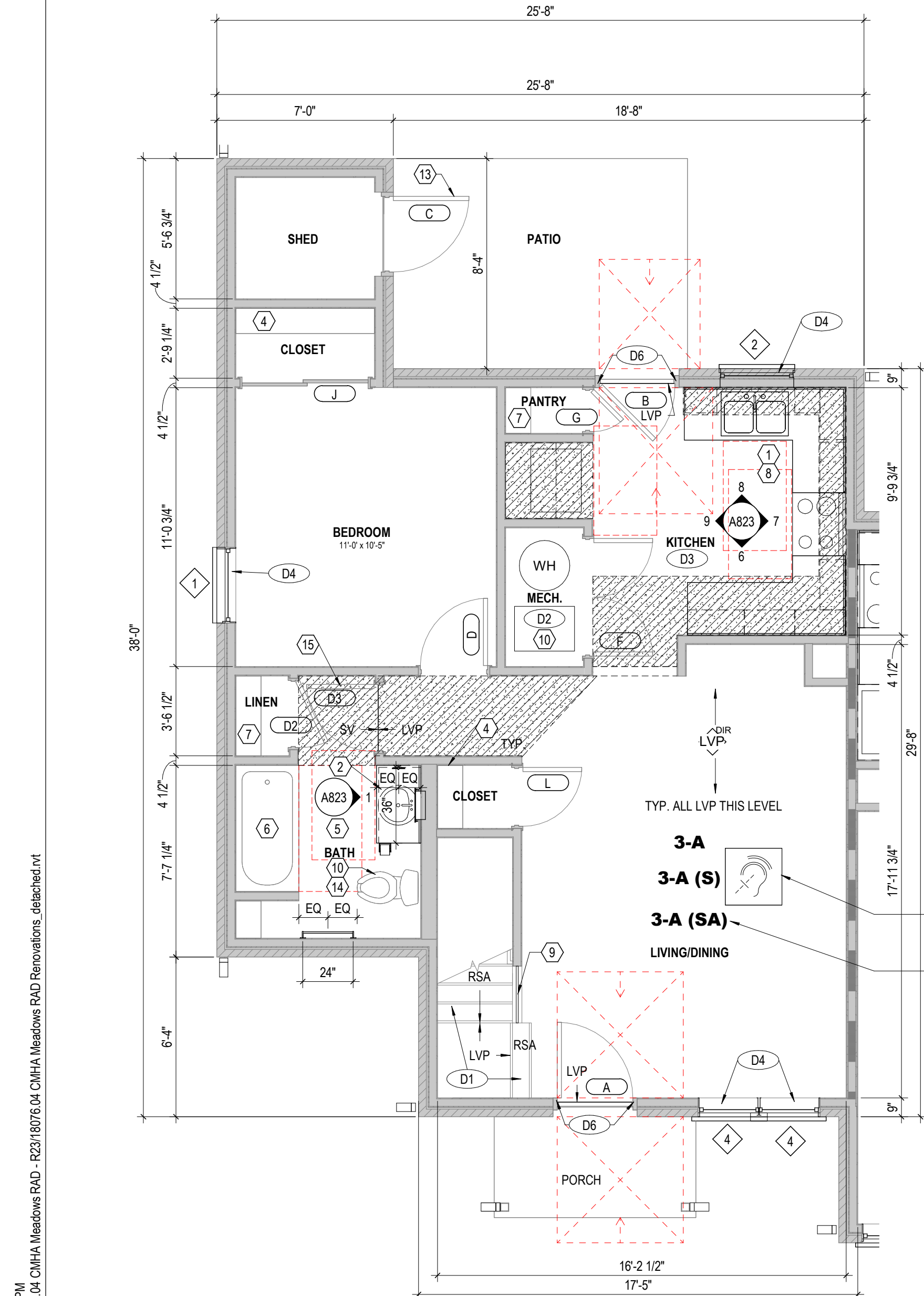
JAY W. BOONE, LIC. #10740
 EXP. DATE: 12/31/2025



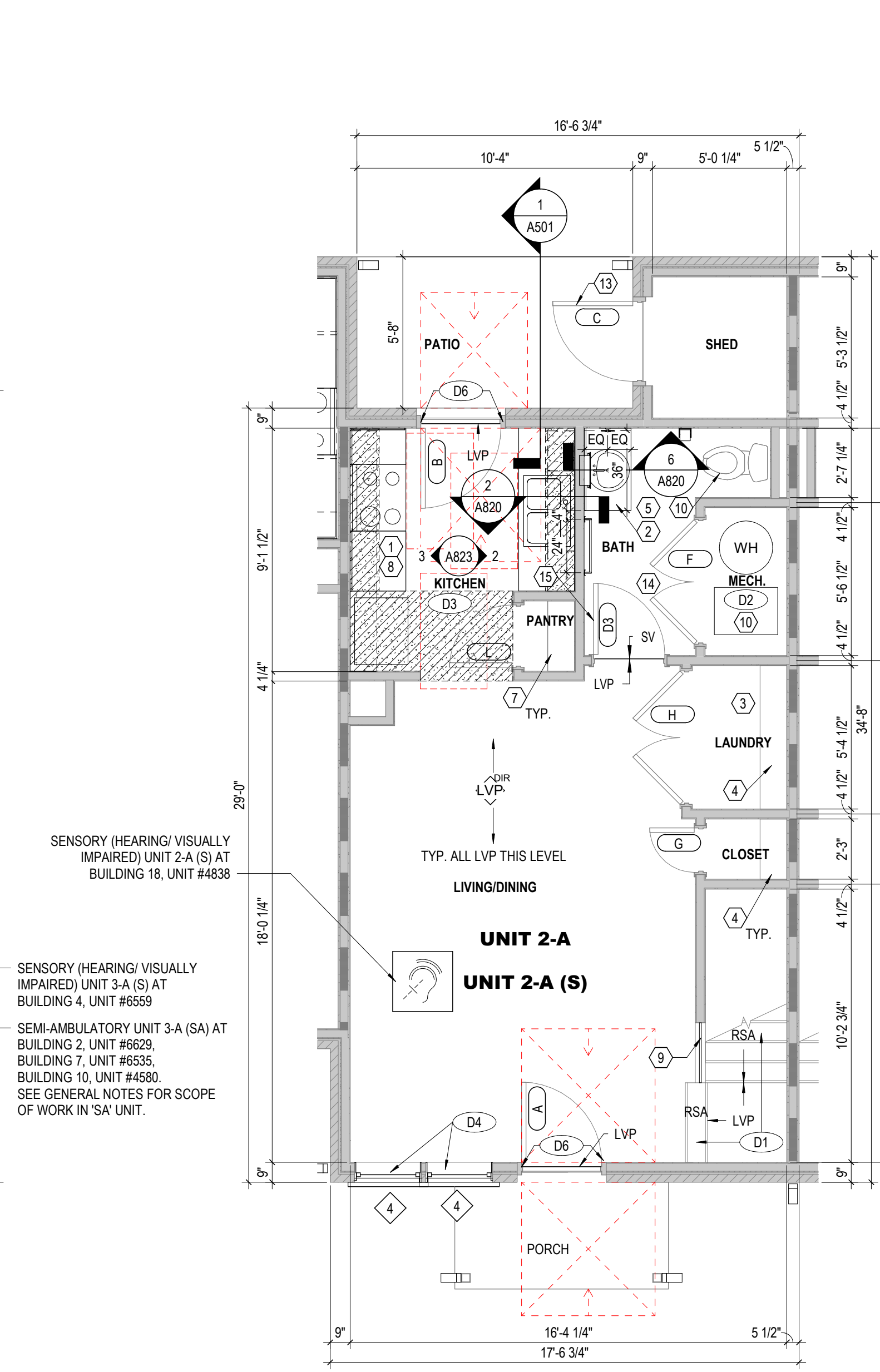
6 PLAN SECOND FLOOR PLAN - UNIT 3-A - (BLDG. TYPES I, II, III, V) 1/4" = 1'-0"



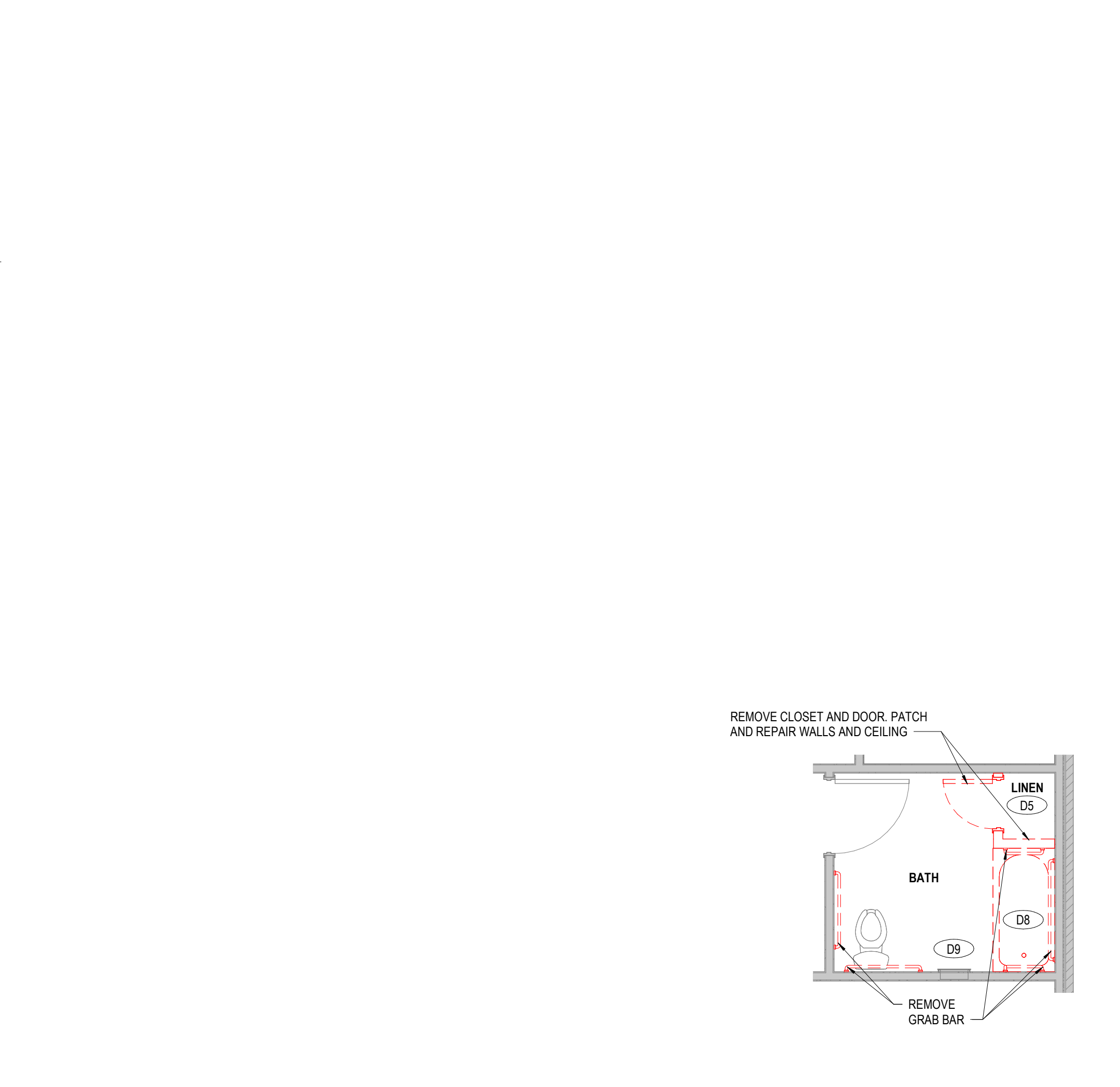
4 PLAN SECOND FLOOR PLAN - UNIT 2-A - (BLDG. TYPES I, II, III, V) 1/4" = 1'-0"



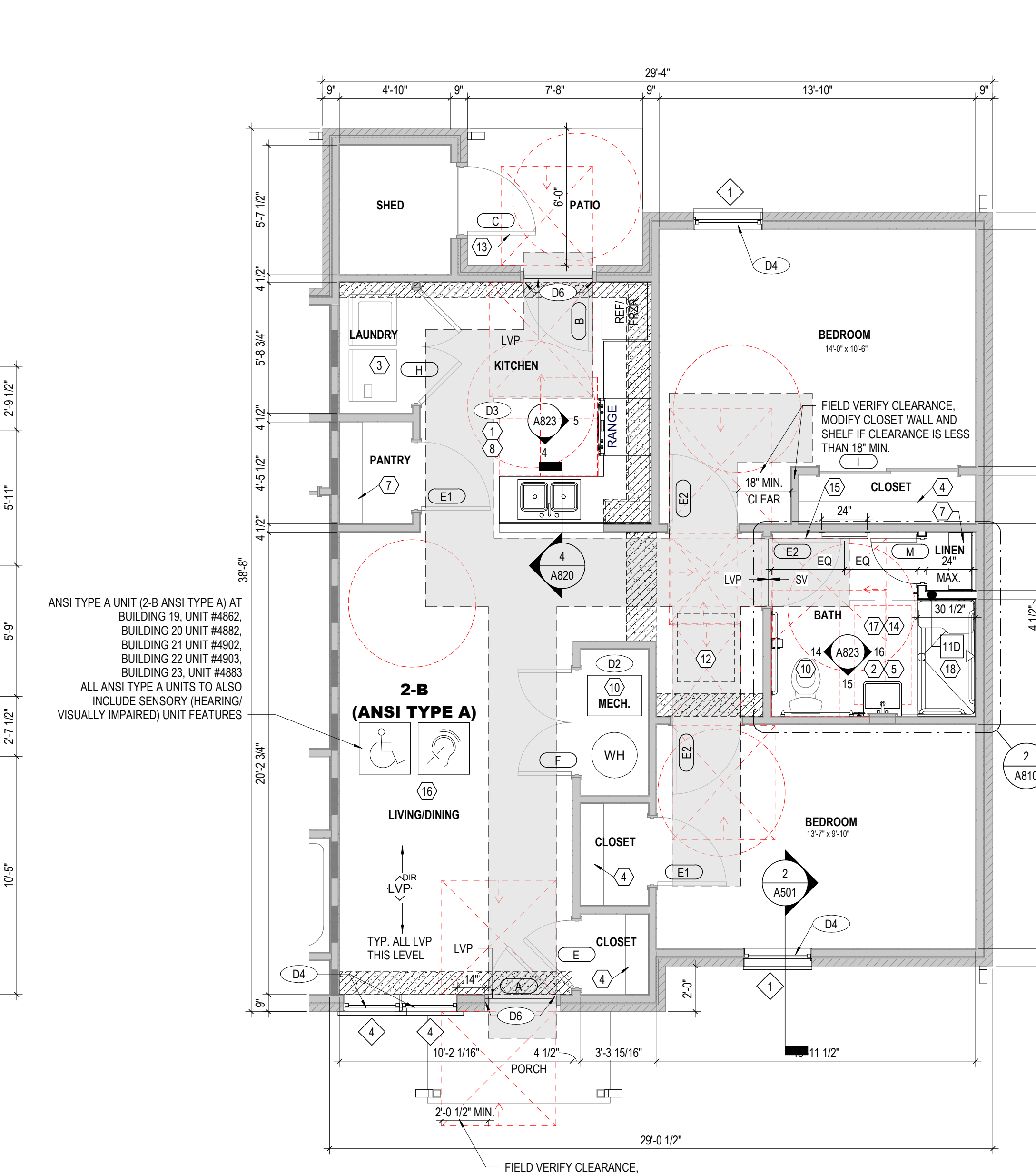
5 PLAN FIRST FLOOR PLAN - UNIT 3-A - (BLDG. TYPES I, II, III, V) 1/4" = 1'-0"



3 PLAN FIRST FLOOR PLAN - UNIT 2-A - (BLDG. TYPES I, II, III, V) 1/4" = 1'-0"



2 PLAN FIRST FLOOR DEMO PLAN - UNIT 2-B (ANSI TYPE A) - (BLDG. TYPE VI) 1/4" = 1'-0"



1 PLAN FIRST FLOOR PLAN - UNIT 2-B (ANSI TYPE A) - (BLDG. TYPE VI) 1/4" = 1'-0"

GENERAL NOTES - UNIT PLANS

- A. THE FOLLOWING GENERAL NOTES APPLY TO ALL DWELLING UNITS IN ALL RESIDENTIAL BUILDINGS (6 UNITS). U.O. REFER TO OVERALL FLOOR PLANS FOR GENERAL NOTES AND ADDITIONAL INFORMATION. UNIT ORIENTATION MAY VARY DEPENDING ON LOCATION OF UNIT ON SITE. REFER TO SITE PLAN FOR ADDITIONAL INFORMATION.
B. REFER TO MEP DRAWINGS FOR ADDITIONAL INFORMATION.
C. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD WHERE NEW WALL CONSTRUCTION IS NOTED. U.O.
D. REFER TO SHEET '001' FOR UNIVERSAL DESIGN FEATURES THAT HAVE BEEN INCORPORATED IN THE PROJECT.
E. NEW WALLS ARE 2x4 WOOD FRAMING U.O. REFER TO SHEET '001' FOR WALL TYPE SCHEDULE.
F. AT ALL BASEBOARDS IN EVERY ROOM, SEAL ALONG EXTERIOR WALLS TO REDUCE AIR LEAKAGE.
G. IN BASE BID, CONTRACTOR IS TO INCLUDE UNIT COST FOR PATCH & REPAIR OF 380 SF OF GYPSUM BOARD IN UNITS. SEE SPECIFICATIONS.
H. IN BASE BID, INCLUDE UNIT COST FOR REPLACING SUBFLOOR. SEE SPECIFICATIONS.
I. IN BASE BID, INCLUDE UNIT COST FOR REPLACING FLOOR UNDERLAYMENT. SEE SPECIFICATIONS.
J. IN BASE BID, INCLUDE UNIT COST FOR REPLACING INTERIOR DOORS IN UNITS. SEE SPECIFICATIONS.
K. AT ALL UNITS, CONTRACTOR TO REVIEW ATTACHMENT OF EXISTING HANDRAILS AT INTERIOR STAIRS, SECURELY ATTACH ANY LOOSE RAILS.
L. ADD 1x6 WOOD BLOCKING BEHIND BRACKETS SUPPORTING INTERIOR STAIR HANDRAILS. REINSTALL RAILS.
M. CONTRACTOR TO WALK ENTIRE UNIT TO IDENTIFY AREAS W/ SQUEAKY FLOOR, LOOSE TREADS, ETC. IN AREAS IDENTIFIED, WOOD SUBFLOORING TO BE SCREWED TO JOISTS BEFORE FINISHED FLOOR IS INSTALLED.
N. IN ANSI TYPE A BATHS, WHERE SHOWERS AND WATER CLOSURES ARE REPLACED, PROVIDE AND INSTALL WALL WOOD BLOCKING FOR INSTALLATION OF GRAB BARS. GRAB BARS WILL BE INSTALLED AT ANSI TYPE A UNITS AS A PART OF THIS PROJECT. REFER TO TYPICAL PROJECT DETAILS FOR ADDITIONAL INFORMATION. COORDINATE LOCATION OF BLOCKING WITH GRAB BAR REQUIREMENTS OF ICC A117.1-2017. REFER TO MEP DRAWINGS. SEE DETAILS FOR EXACT LAYOUT OF SHOWER BLOCKING.
O. PROVIDE WOOD BLOCKING NOT SHOWN OR SHOWN AS REQUIRED TO MOUNT MILKWORK, MEP DEVICES AND ALL FIXTURES.
P. EXISTING TUBS, SURROUND AND MIRRORING MEDICINE CABINETS TO REMAIN. U.O. CLEAN ALL TUBS, SURROUNDS & RE-CAULK ALL JOINTS. TYP.
Q. SEAL ALL CRACKS, HOLES, CREVICES ON INTERIOR & EXTERIOR SURFACES TO PREVENT ACCESS BY PESTS INCLUDING ANY PENETRATIONS TO THE BACK OF CASEWORK. HOLES IN THE BACK OF CABINETS MUST BE SEALED.
R. ALL EXISTING WINDOW SYSTEMS IN RESIDENTIAL BUILDINGS TO BE REPLACED. U.O. REPLACE WITH NEW ENERGY STAR RATED WINDOW SYSTEM PER SPECS & DETAILS. CALK STRIP ALLOW INSTALLATIONS.
S. EXISTING UNIT ENTRY DOORS (FRONT & REAR) TO BE REPLACED WITH NEW, INSULATED STEEL DOORS. ALL NEW FRONT ENTRY DOORS TO HAVE ONE DOOR VIEWER. AT ANSI TYPE A UNITS, PROVIDE ADDITIONAL SECOND DOOR VIEWER AT 48" A.F.F. ALL EXISTING UNIT INTERIOR BEDROOM & BATH DOORS, FRAMES TO BE REPLACED WITH SOLID CORE DOORS OF MATCHING SIZE TO EXISTING SECONDARY CLOSET DOORS TO REMAIN. PAINT ALL DOORS & FRAMES. PROVIDE NEW LEVER-TYPE HARDWARE AT ALL DOORS (LOCKS, HINGES, SEALS, ETC.). PROVIDE WALL MOUNTED DOOR STOPS AT ALL SWING DOORS. REFER TO DOOR SCHEDULE AND SPECS FOR ADDITIONAL INFO.
T. REFER TO TYPICAL PROJECT DETAILS SHEETS FOR FIXTURE MOUNTING HEIGHT SCHEDULE AND ACCESSIBILITY DETAILS.
U. UNIT KITCHEN BASE BID: NEW FRP BACKSPLASH AT KITCHEN WALL, FULL HEIGHT BETWEEN TOP OF BACKSPLASH TO UNDERSIDE OF WALL CABINET. TYP. SEE KITCHEN ELEVATIONS. FIELD VERIFY EXACT SIZES.
V. UNIT KITCHEN ALTERNATE: NEW TILE BACKSPLASH AT KITCHEN WALL, FULL HEIGHT BETWEEN TOP OF BACKSPLASH TO UNDERSIDE OF WALL CABINET. TYP. FIELD VERIFY EXACT SIZES.
W. PROVIDE 2" HIGH COVE BASE AT ALL BATH/TUB FLOORING INTERFACE. INSTALL AFTER FLOORING IS IN PLACE.
X. REMOVE EXISTING BATH ACCESSORIES AND REPLACE WITH NEW PER DRAWINGS AND SPECS. TYPICAL AT ALL UNIT BATHS.
Y. ADD 1x6 PAINTED WOOD TRIM WITH BEVELED EDGES ON OUTSIDE OF WALL AT ALL TOWEL HANGERS AND TOILET PAPER HOLDER LOCATIONS.
Z. ALL UNITS PAINT EXISTING DOOR AND CLOSET SHelves. PAINT ALL CLOSET SHelves AT LINEN CLOSETS. TYP. WHERE NEW SHELVING IS NOTED ON PLAN, PROVIDE WIRE SHELVING PER SPECS. SEE MOUNTING HEIGHTS SCHEDULE FOR ADDITIONAL INFORMATION.
AA. NEW ENERGY STAR RATED APPLIANCES AT ALL KITCHENS PER DRAWINGS AND SPECS. ALL RESIDENTIAL APPLIANCES TO BE BLACK, TYPICAL AT ALL KITCHENS.
AB. IN ALL UNITS, WASHER AND DRYER EQUIPMENT IS BY THE TENANT. CLEAN ALL DRYER VENTS. INSTALL NEW DRYER VENT CAPS.
AC. NEW WINDOW TREATMENT (BLINDS) & HEAVY-DUTY WINDOW SCREENS AT ALL WINDOWS. FIELD VERIFY EXACT SIZE & QUANTITY.
AD. IN ALL UNITS, EXTEND FINISH FLOOR MATERIAL UNDER KITCHEN APPLIANCES, UNDER BASE CABINETS AND VANITY IN ALL BATHS. AT ALL VISIBLE CABINET SURFACES AND EXPOSED SIDES OF CABINETS, PROVIDE FINISH END PANEL TO MATCH ADJACENT CASEWORK.
AE. IN ALL UNITS, AT SIDES OF RANGE OR OPEN WORK AREAS BELOW THE BASE CABINETS, PROVIDE FINISH END PANEL TO MATCH ADJACENT CASEWORK.
AF. WATER SUPPLY AND DRAIN PIPES UNDER SINKS SHALL BE INSULATED, TYPICAL AT ALL UNITS.
AG. ALL PLUMBING FIXTURES IN UNITS TO BE PROVIDED WITH NEW LEVER-TYPE FAUCETS, TYPICAL.
AH. AT ALL ANSI TYPE A UNITS, FLUSH CONTROL FOR THE W.C. WILL BE LOCATED ON THE OPEN SIDE AWAY FROM THE SIDE WALL.
AI. AT ALL ANSI TYPE A UNITS, KITCHEN SINKS SHALL INCLUDE REAR DRAINED SINKS TO ACCOMMODATE DISPOSERS. AT LEAST ONE SINK BOWL SHALL NOT BE DEEPER THAN 1/2".
AJ. REPLACE ALL HVAC DIFFUSERS AND GRILLES AT ALL UNITS.
AK. ADD AUDIO VISUAL ALARM NOTIFICATION IN TWO PERCENT OF EXISTING UNITS THAT ARE DESIGNATED FOR PERSONS WITH SENSORY IMPAIRMENTS. ADDITIONALLY, ADD SENSORY UNIT FEATURES TO THE FIVE PERCENT OF UNITS DESIGNATED AS ANSI TYPE A UNITS. SEE SITE PLAN & OVERALL FLOOR PLANS FOR LOCATIONS. SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.
AL. LOCATION OF EXISTING MOBILITY UNITS TO REMAIN AND WILL BE DESIGNATED AS ANSI TYPE A UNITS. SEE SITE PLAN & OVERALL FLOOR PLANS FOR LOCATIONS.
AM. CONTRACTOR TO REVIEW ATTACHMENT OF EXISTING RAILS AT INTERIOR STAIRS. INSTALL PRE-PRIMED 1x6 PINE LOCKING HANDRAIL AT EACH STAIR. SECURE TO WALLS.
AN. SEAL ALL ACCESSIBLE CRACKS IN CONCRETE FLOOR SLAB WITH POLYURETHANE CALKING.
AO. CLEAN CONCRETE FLOOR SLAB AT MECH/UTILITY CLOSET. CLEAN ANY CLOGGED FLOOR DRAIN, DRAIN LINE, CONDENSATE LINE.
AP. WHERE GYPSUM BOARD IS REPLACED, INSTALL PAPERLESS GYPSUM BOARD (PGB) BEHIND TUB/SHOWER WALLS THAT WILL NOT HAVE AN EXPOSED FINISH EXCEPT 6 INCHES BEYOND SHOWER AND TUB JAMBS. BEHIND TOILETS, THE SPACE BETWEEN A TUB/SHOWER ENCLOSURE, AND THE TOILET CLOSING SHALL BE INSTALLED WITHIN 4 FEET IN ANY DIRECTION BEHIND ANY TOILET CLOSING. WASHING MACHINES, WATER HEATERS, WATER METERS, ETC. ON WALLS LESS THAN 4 FEET FROM SPRINKLER SERVICE CONTROLS AND WATER SERVICE LINES LOCATED IN SERVICE ROOMS, AND FAUCET WITH LEVER HANDLE PER SPECS.
AQ. CAULK AT JOINT BETWEEN WALLS AND FLOORING BEFORE INSTALLING NEW COVE BASE.
AR. REPLACE ALL WATER CLOSETS IN DWELLING UNITS AND OFFICE BUILDING. SEE PLUMBING DRAWINGS.
AS. CLEAN ALL EXISTING DRYER VENTS. SEE MEP DRAWINGS.

CODED NOTES - UNIT PLANS

- 1. NEW ENERGY-EFFICIENT KITCHEN APPLIANCES (REFRIGERATOR, STOVE, ETC.). SEE SPECIFICATIONS.
2. AT TYPICAL UNITS, NEW CULTURED MARBLE VANITY COUNTERTOP WITH INTEGRAL BOWL & BACKSPLASH. IN ANSI TYPE A UNITS, NEW WALL-HUNG SINK WITH BACKSPLASH AND EASED EDGES. REMOVE EXISTING SINK AFTER INSTALLING A NEW CONCEALED FLOOR AND STUD-BRACED CARRIER. INSTALL MIR GYP BO. PIPE PROTECTION AND FAUCET WITH LEVER HANDLE PER SPECS. ALL BATH SINK RIMS/COUNTERS TO BE AT 34" A.F.F. REFER TO TYPICAL PROJECT DETAILS FOR ADDITIONAL INFORMATION.
3. LOCATION OF EXISTING WASHER AND DRYER HOOK UP EQUIPMENT IS PROVIDED BY TENANT. CLEAN DRYER VENTS.
4. CLEAN, PREP & PAINT EXISTING WOOD CLOSET SHelves AND RODS WHERE INSTALLED IN TYPICAL UNITS. CLEAN AND REPAIR EXISTING WIRE CLOSET SHELVING WHERE INSTALLED IN TYPICAL UNITS. INSTALL WIRE SHelves AND RODS WHERE MISSING AND LOCATE AT ACCESSIBLE REACH RANGES IN ANSI TYPE A UNITS. REFER TO TYPICAL PROJECT DETAILS FOR ADDITIONAL INFORMATION.
5. EXISTING MIRROR/MEDICINE CABINET TO REMAIN IN TYPICAL UNITS. CLEAN & REPAIR. EXISTING HARBOR MEDICINE CABINET TO BE REMOVED IN ALL ANSI TYPE A UNITS. REFER TO TYPICAL PROJECT DETAILS FOR ADDITIONAL INFORMATION.
6. EXISTING TUB SURROUND TO REMAIN U.O. CLEAN TUB, SURROUND & RECAULK ALL JOINTS. SEE TYP. PROJECT DETAILS & SPECIFICATIONS. REFER TO MEP DRAWINGS FOR REPLACEMENT OF SHOWERHEADS, LIGHTS, ETC.
7. CLEAN, PREP & PAINT EXISTING ADJUSTABLE WOOD CLOSET SHelves WHERE INSTALLED IN TYPICAL UNITS. CLEAN, REPAIR EXISTING ADJUSTABLE WIRE CLOSET SHELVING WHERE INSTALLED IN TYPICAL UNITS. INSTALL NEW ADJUSTABLE WIRE SHELVING, RAILS AND BRACKETS WHERE MISSING AND LOCATE AT ACCESSIBLE REACH RANGES IN ANSI TYPE A UNITS. REFER TO TYPICAL PROJECT DETAILS FOR ADDITIONAL INFORMATION.
8. UNIT KITCHEN BASE BID: NEW PLASTIC LAMINATE COUNTERTOP WITH RADUSED CORNERS AND DROP-IN SINK. UNIT KITCHEN ALTERNATE: NEW QUARTZ COUNTERTOP WITH EASED EDGES AND UNDERMOUNT SINK. KITCHEN COUNTERTOPS TO BE 34" A.F.F. IN ANSI TYPE A UNITS. NEW BASE AND WALL CABINETS IN ALL KITCHENS. SEE INTERIOR ELEVATIONS.
9. PAINT EXISTING METAL HANDRAIL AND OR WOOD CAP (IF CURRENTLY PAINTED) AT THIS LOCATION. TYPICAL AT ALL SIM. UNITS.
10. REFER TO MEP DRAWINGS FOR SCOPE OF WORK IN THIS AREA ROOM.
11. NEW GARAGE DOOR, ALL ATTACHMENTS AND OPERATOR. REPAIR FRAME AS REQUIRED.
12. EXISTING ATTIC ACCESS PANEL.
13. PAINT EXISTING DOORS AND FRAMES AT EXTERIOR SHED/STORAGE. TYP.
14. EXISTING BATH VANITY, TOWEL BARS & TOILET PAPER DISPENSER TO BE REMOVED AND REPLACED WITH NEW.
15. NEW ROBE HOOK ON TOILET SIDE OF BATH DOOR. REFER TO TYPICAL PROJECT DETAILS FOR ADDITIONAL INFORMATION.
16. ANSI TYPE A UNIT: LOWER ALL CONTROLS (THERMOSTAT, SWITCHES, ELECTRICAL PANEL, ETC.) TO BE WITHIN ACCESSIBLE REACH RANGES. TYP. REFER TO TYPICAL PROJECT DETAILS FOR ADDITIONAL INFORMATION.
17. ANSI TYPE A UNIT: NEW, COMPLIANT GRAB BARS AT W.C. AND SHOWER IN BATHS. REFER TO INTERIOR ELEVATIONS AND PROJECT DETAILS FOR ADDITIONAL INFORMATION.
18. ANSI TYPE A UNIT: NEW ROLL-IN SHOWER W/ TRENCH DRAIN, CONFIRM DIMENSIONS W/ FINAL SELECTION & MFR'S INSTALLATION INSTRUCTIONS. CONTACT ARCHITECT REGARDING DIMENSIONAL DISCREPANCIES PRIOR TO UNIT WALL DEMOLITION CONSTRUCTION, IF REQUIRED.

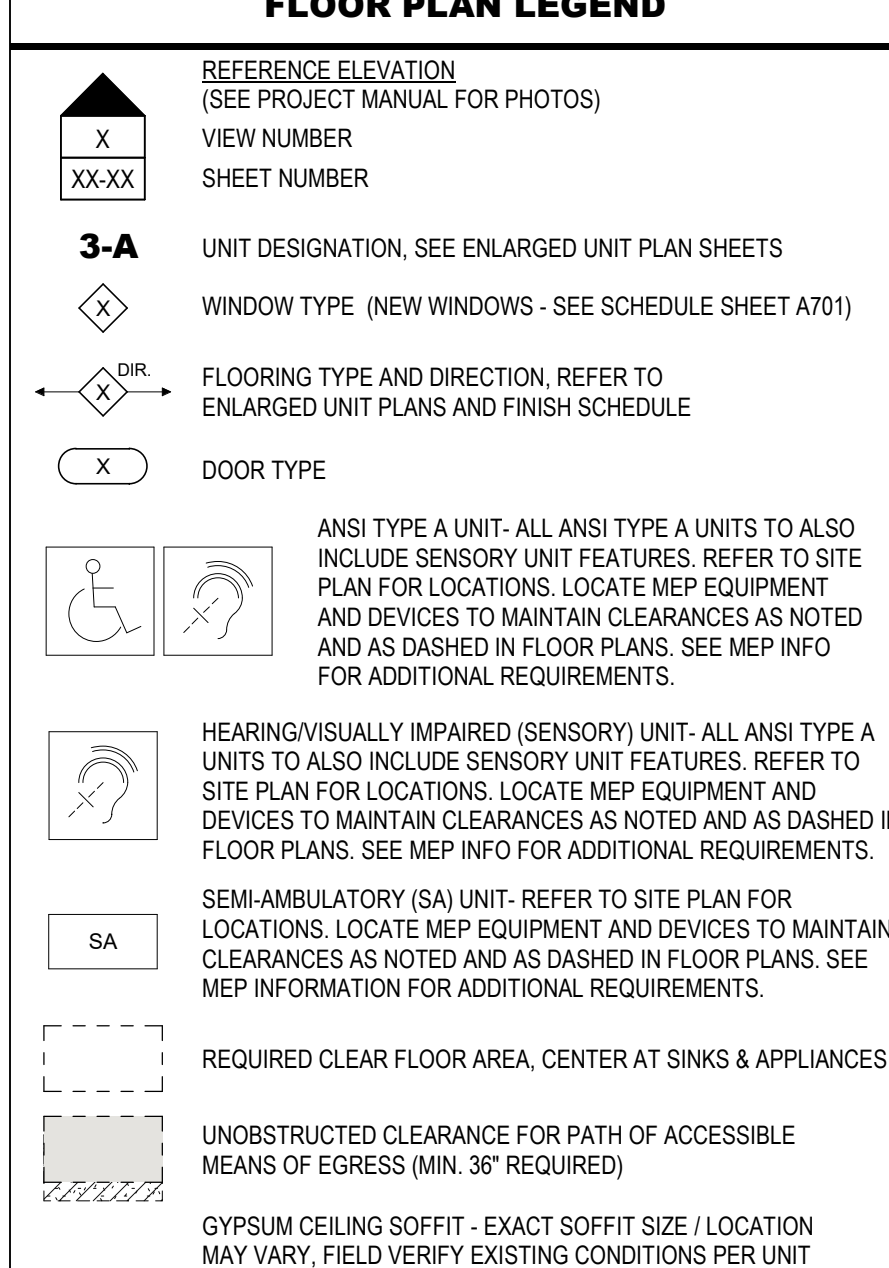
GENERAL NOTES - DEMOLITION

- A. THE FOLLOWING GENERAL NOTES APPLY TO ALL DWELLING UNITS IN THE PROJECT (U.O. 68 UNITS).
B. REFER TO MEP DRAWINGS FOR ADDITIONAL SCOPE OF DEMOLITION WORK. CONTRACTOR SHALL VERIFY ALL CONDITIONS/ DIMENSIONS PRIOR TO WORK. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND CONTRACT DOCUMENTS.
C. REMOVE EXISTING RUBBER BASE IN UNITS WITHOUT DAMAGE TO SUBSTRATE AND PREPARE SURFACE TO RECEIVE NEW BASE. SEE FINISH SCHEDULE.
D. ANY DAMAGE TO EXISTING WORK TO REMAIN SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR TO MATCH EXISTING SIMILAR WORK IN PLACE WHEN NEW, REPAIR ALL DAMAGED WORK IN CONNECTION WITH DEMOLITION WORK INCLUDING DAMAGE CAUSED BY REMOVAL OR INSTALLATION OF MECHANICAL OR ELECTRICAL ITEMS OR EQUIPMENT.
E. WHERE WALLS ARE BEING REMOVED, FILL ALL VOIDS IN FLOORING WITH CEMENTITIOUS INFILL. FINISH FLOOR TO BE LEVEL WITH ANY ADJACENT FLOOR FINISHES.
F. U.O. REMOVE ALL EXISTING WALL FINISHES (WALL COVERINGS, BASES, ETC.) FROM EXISTING WALLS. SEE PLANS FOR LOCATION AND FINISH SCHEDULE FOR ADDITIONAL INFORMATION ON NEW FINISHES.
G. DO NOT CUT INTO, REMOVE OR ALTER ANY STRUCTURAL MEMBER OR PORTION OF THE FLOOR, WALL OR ROOF SYSTEM UNLESS SPECIFICALLY NOTED OR INDICATED ON THE DRAWINGS. IF UNCLEAR, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
H. MAINTAIN & PROTECT EXISTING LAUNDRY EQUIPMENT (TENANT FURNISHED) IN UNITS. REMOVE & REINSTALL FOR FINISH WORK INSTALLATION.
I. REMOVE EXISTING WINDOW TREATMENTS AT ALL BUILDINGS.
J. AT ALL RESIDENTIAL BUILDINGS, REMOVE EXISTING WINDOWS AND PREPARE FOR INSTALLATION OF NEW WINDOW.
K. REMOVE ALL EXISTING WINDOW STORM DOORS.
L. REMOVE GYPSUM BD. AT KITCHEN WALL CABINETS AND BACKSPLASH AREAS.
M. REMOVE GYPSUM BD. BEHIND BATH VANITIES, WALL SINKS AND WHERE TUB/SHOWERS ARE BEING REPLACED.
N. AT ALL UNITS WITH GARAGES, REMOVE EXISTING GARAGE DOOR, ALL ATTACHMENTS AND OPERATOR AND PREPARE FOR NEW DOOR AND OPERATOR.

GENERAL NOTES - SEMI-AMBULATORY (SA) UNIT

- A. PROVIDE SEMI-AMBULATORY UNITS IN FIVE PERCENT OF EXISTING UNITS THAT ARE DESIGNATED AS SA (TOTAL UNITS). SEE SITE PLAN AND OVERALL FLOOR PLANS FOR LOCATIONS.
B. SEMI-AMBULATORY UNITS MUST BE DESIGNATED AS SECTION 504 MODIFIABLE PER REASONABLE ACCOMMODATION MODIFICATION.
C. AT ALL UNITS DESIGNATED AS SEMI-AMBULATORY (SA), PROVIDE THE FOLLOWING:
1. STAIRS, NOSINGS AND HANDRAILS WITH EXTENSIONS PER ANSI A117.1-2017 REQUIREMENTS, BLOCKING FOR GRAB BARS AT BATH TUB/SHOWERS AND TOILETS PER ANSI A117.1-2017 REQUIREMENTS. ACCESSIBLE PATH TO ENTRY AND THROUGH UNIT. DESIGNATED VAN ACCESSIBLE PARKING SPACE, RANGE WITH FRONT CONTROLS, KITCHEN COUNTERS AND SINK RIM AT 34" MAX. A.F.F., HARD WOOD DOORBELL AT FRONT OF EXISTING UNIT. REPLACE BATH TUB AND SURROUND IN ONE BATH WITH 48" MIN LENGTH CURBED SHOWER (6" HIGH) WITH CENTER DRAIN AND FULL LENGTH MIRROR IN BATH WITH TOP EDGE MOUNTED AT 77" A.F.F.
2. REMOVE EXISTING RUBBER TREADS WITHOUT DAMAGE TO EXISTING SUBSTRATE. PREPARE SURFACE TO RECEIVE NEW TREADS. SEE FINISH SCHEDULE.
3. REMOVE ALL TOWNHOUSE STYLE UNITS.
4. REMOVE EXISTING VINYL WINDOW SYSTEM AND WALL CABINETS TO RECEIVE NEW WINDOW. CLEAN AND PREPARE STEEL LINTELS IN MASONRY WINDOW OPENINGS TO RECEIVE NEW WINDOW. TYPICAL ALL WINDOWS.
5. AT ANSI TYPE A UNIT BATHS, REVISE WALLS OF LINEN CLOSET AND DOOR SIZE TO ACCOMMODATE NEW ROLL-IN SHOWER SLAT CLEARANCES. REMOVE EXISTING DOOR AND FRAME. PREPARE OPENING WITH NEW BLOCKING FOR DOOR FRAME AS REQUIRED.
6. REMOVE EXISTING GARAGE DOOR. REPAIR/REPLACE ALL EXISTING DAMAGED DOOR FRAMES AND TRACK COMPONENTS AS REQUIRED.
7. REMOVE EXISTING BATH/TUB. MODIFY/REMOVE PORTION OF EXISTING CONCRETE FLOOR TO INSTALL NEW ACCESSIBLE ROLL-IN SHOWER. EXISTING WALL-HUNG SINK TO BE REMOVED. INSTALL NEW CONCEALED FLOOR AND STUD-BRACED CARRIER TO RECEIVE SINK. PATCH AND REPAIR WALLS AS REQUIRED.

FLOOR PLAN LEGEND



CODED NOTES - UNIT PLANS

- NOTE: THE INTEGRITY OF THE EXISTING FIRE PARTITIONS HAVE NOT BEEN VERIFIED. THE LOCATIONS FOR FIRE RATED WALLS SHOWN ON THE PLANS INDICATES WHERE WALLS WOULD BE REQUIRED TO BE FIRE-RATED BASED UPON CURRENT CODE REQUIREMENTS. ALL NEW PENETRATIONS MADE THROUGH THESE WALLS ARE TO BE FIRESTOPPED.

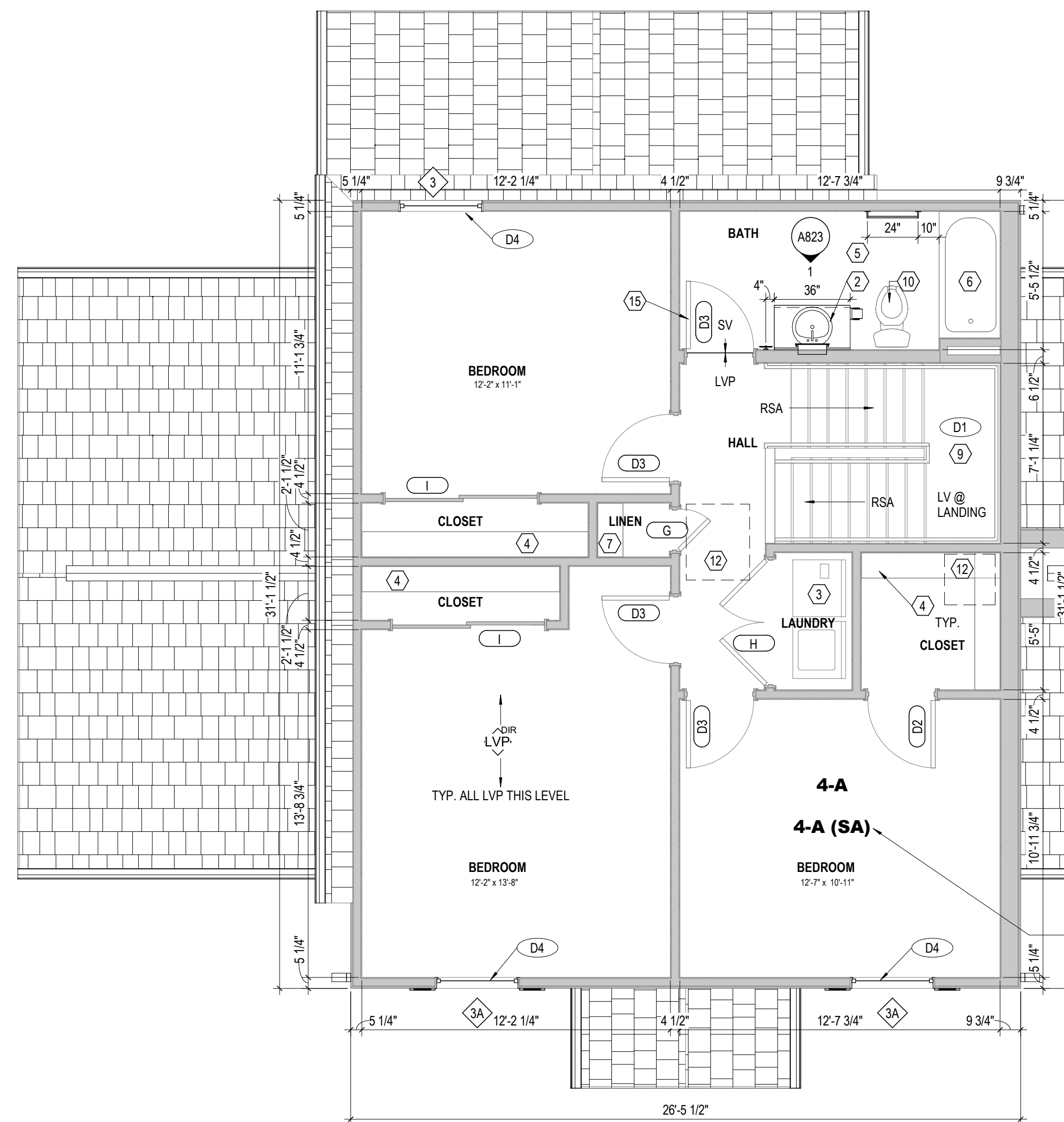
Table with columns: #, DATE, CHANGE DESCRIPTION. It lists several changes to the plans, including updates to unit designations and window types.

THE MEADOWS RAD REINOVATIONS logo and contact information for Columbus Metropolitan Housing Authority, including address, phone, and fax numbers.

Moody Nolan logo and contact information, including address, phone, and fax numbers. Also includes a certificate number: FIRM 00197475.

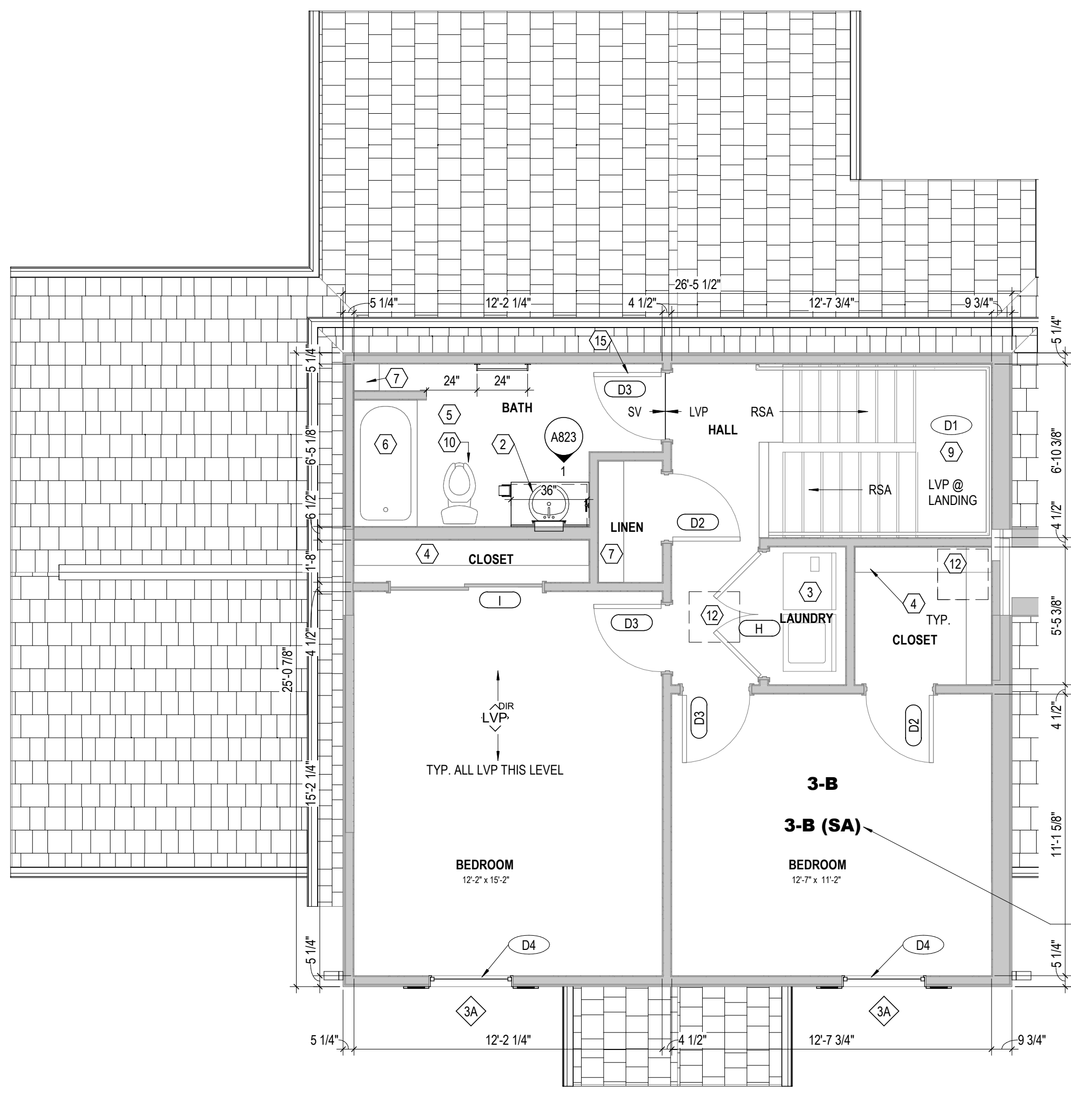
ENLARGED PLANS - UNIT TYPE 2-A, 2-B (ANSI-A) & 3-A

Professional seal for Jay W. Boone, Registered Architect, No. 10740. Includes drawing title, date (08/14/2025), and project name (A810). Also includes a signature and date.



4 PLAN SECOND FLOOR PLAN - UNIT 4-A - (BLDG. TYPE V) 1/4" = 1'-0"

SEMI-AMBULATORY UNIT 4-A (SA) AT BUILDING 14, UNIT #4888. SEE GENERAL NOTES FOR SCOPE OF WORK IN 'SA' UNIT.



2 PLAN SECOND FLOOR PLAN - UNIT 3-B - (BLDG. TYPE IV) 1/4" = 1'-0"

SEMI-AMBULATORY UNIT 3-B (SA) AT BUILDING 17, UNIT #4754. SEE GENERAL NOTES FOR SCOPE OF WORK IN 'SA' UNIT.

GENERAL NOTES - UNIT PLANS

- A. THE FOLLOWING GENERAL NOTES APPLY TO ALL DWELLING UNITS IN ALL RESIDENTIAL BUILDINGS (SA UNITS). U.O. REFER TO OVERALL FLOOR PLANS FOR GENERAL NOTES AND ADDITIONAL INFORMATION. UNIT ORIENTATION MAY VARY DEPENDING ON LOCATION OF UNIT ON SITE. REFER TO SITE PLAN FOR ADDITIONAL INFORMATION.
B. REFER TO MEP DRAWINGS FOR ADDITIONAL INFORMATION.
C. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD WHERE NEW WALL CONSTRUCTION IS NOTED. U.O.
D. REFER TO SHEET 'G01' FOR UNIVERSAL DESIGN FEATURES THAT HAVE BEEN INCORPORATED IN THE PROJECT.
E. NEW WALLS ARE 2x4 WOOD FRAMING U.O. REFER TO SHEET 'G01' FOR WALL TYPE SCHEDULE.
F. AT ALL BASEBOARDS IN EVERY ROOM, SEAL ALONG EXTERIOR WALLS TO REDUCE AIR LEAKAGE.
G. IN BASE BID, CONTRACTOR IS TO INCLUDE UNIT COST FOR PATCH & REPAIR OF 380 SF OF GYPSUM BOARD IN UNITS. SEE SPECIFICATIONS.
H. IN BASE BID, INCLUDE UNIT COST FOR REPLACING SUBFLOOR. SEE SPECIFICATIONS.
I. IN BASE BID, INCLUDE UNIT COST FOR REPLACING FLOOR UNDERLAYMENT. SEE SPECIFICATIONS.
J. IN BASE BID, INCLUDE UNIT COST FOR REPLACING INTERIOR DOORS IN UNITS. SEE SPECIFICATIONS.
K. AT ALL UNITS, CONTRACTOR TO REVIEW ATTACHMENT OF EXISTING HANDRAILS AT INTERIOR STAIRS, SECURELY ATTACH ANY LOOSE RAILS.
L. ADD 1x6 WOOD BLOCKING BEHIND BRACKETS SUPPORTING INTERIOR STAIR HANDRAILS. REINSTALL RAILS.
M. CONTRACTOR TO IDENTIFY AREAS W/ SQUEAKY FLOOR, LOOSE TREADS, ETC. IN AREAS IDENTIFIED, WOOD SUBFLOORING TO BE SCREWED TO JOISTS BEFORE FINISHED FLOOR IS INSTALLED.
N. IN ANSI TYPE A UNITS, WHERE SHOWERS AND WATER CLOSETS ARE REPLACED, PROVIDE AND INSTALL IN-WALL WOOD BLOCKING FOR INSTALLATION OF GRAB BARS. GRAB BARS WILL BE INSTALLED AT ANSI TYPE A UNITS AS A PART OF THIS PROJECT. REFER TO TYPICAL PROJECT DETAILS FOR ADDITIONAL INFORMATION. COORDINATE LOCATION OF BLOCKING WITH GRAB BAR REQUIREMENTS OF ICC A117.1-2017. REFER TO MEP DRAWINGS, SEE DETAILS FOR EXACT LAYOUT OF SHOWER BLOCKING.
O. PROVIDE WOOD BLOCKING NOT SHOWN OR SHOWN AS REQUIRED TO MOUNT MILKWORK, MEP DEVICES AND ALL FIXTURES.
P. EXISTING TUBS, SURROUNDS AND MIRROR/MEDICINE CABINETS TO REMAIN, U.O. CLEAN ALL TUBS, SURROUNDS & RE-CAULK ALL JOINTS, TYP.
Q. SEAL ALL CRACKS, HOLES, CREVICES ON INTERIOR & EXTERIOR SURFACES TO PREVENT ACCESS BY PESTS, INCLUDING ANY LEAKS TO THE BACK OF CASEWORK. HOLES IN THE BACK OF CABINETS MUST BE SEALED.
R. ALL EXISTING WINDOW SYSTEMS IN RESIDENTIAL BUILDINGS TO BE REPLACED, U.O. REPLACE EXISTING WINDOW SYSTEM PER SPEC & DETAILS. CAULK STRIP ALL WINDOW INSTALLATIONS.
S. EXISTING UNIT ENTRY DOORS (FRONT & REAR) TO BE REPLACED WITH NEW, INSULATED STEEL ENTRY DOORS. ALL NEW FRONT DOORS TO HAVE ONE DOOR VIEWER. AT ANSI TYPE A UNITS, PROVIDE ADDITIONAL SECOND DOOR VIEWER AT 48" A.F.F. ALL EXISTING UNIT INTERIOR BEDROOM & BATH DOORS, FRAMES TO BE REPLACED WITH SOLID CORE DOORS OF SAME SIZE. U.O. EXISTING SECONDARY CLOSET DOORS TO REMAIN, PAINT ALL DOORS & FRAMES. PROVIDE NEW LEVER-TYPE HARDWARE AT ALL DOORS (LOCKS, HINGES, SEALS, ETC.). PROVIDE WALL MOUNTED DOOR STOPS AT ALL SWING DOORS, REFER TO DOOR SCHEDULE AND SPEC FOR ADDITIONAL INFO.
T. REFER TO TYPICAL PROJECT DETAILS SHEETS FOR FIXTURE MOUNTING HEIGHT SCHEDULE. FIELD VERIFY EXACT SIZES.
U. UNIT KITCHEN BASE BID: NEW FRP BACKSPLASH AT KITCHEN WALL, FULL HEIGHT BETWEEN TOP OF BACKSPLASH TO UNDERSIDE OF WALL CABINET, TYP. SEE KITCHEN ELEVATIONS, FIELD VERIFY EXACT SIZES.
V. UNIT KITCHEN ALTERNATE: NEW TILE BACKSPLASH AT KITCHEN WALL, FULL HEIGHT BETWEEN TOP OF BACKSPLASH TO UNDERSIDE OF WALL CABINET, TYP. FIELD VERIFY EXACT SIZES.
W. PROVIDE 2" X 2" HIGH COVE BASE AT ALL BATH/TUB FLOORING INTERFACE. INSTALL AFTER FLOORING IS IN PLACE.
X. REMOVE EXISTING BATH ACCESSORIES AND REPLACE WITH NEW PER DRAWINGS AND SPEC. TYPICAL AT ALL UNIT BATHS.
Y. ADD 1x6 PAINTED WOOD TRIM WITH BEVELED EDGES ON OUTSIDE OF WALL AT ALL TOWEL BAR AND TOILET PAPER HOLDER LOCATIONS.
Z. IN UNITS, PAINT EXISTING CABINETS AND ALL CLOSETS. PAINT ALL SHELVES AT LINEN CLOSETS, TYP. WHERE NEW SHELVING IS NOTED ON PLAN, PROVIDE WIRE SHELVING PER SPEC. SEE MOUNTING HEIGHTS SCHEDULE FOR ADDITIONAL INFORMATION.
AA. NEW ENERGY-STAR RATED APPLIANCES AT ALL KITCHENS PER DRAWINGS AND SPEC. ALL RESIDENTIAL APPLIANCES TO BE BLACK, TYPICAL AT ALL KITCHENS.
AB. IN ALL UNITS, WASHER AND DRYER EQUIPMENT IS BY THE TENANT. CLEAN ALL DRYER VENTS, INSTALL NEW DRYER VENT CAPS.
AC. NEW WINDOW TREATMENT (BLINDS) & HEAVY-DUTY WINDOW SCREENS AT ALL WINDOWS. FIELD VERIFY EXACT SIZE & QUANTITY.
AD. IN ALL UNITS, EXTEND FINISH FLOOR MATERIAL UNDER KITCHEN APPLIANCES, UNDER BASE CABINETS AND VANITY IN ALL BATHS. AT ALL VISIBLE CABINET SURFACES AND EXPOSED SIDES OF CABINETS, PROVIDE FINISH END PANEL TO MATCH ADJACENT CASEWORK.
AE. IN ALL UNITS, AT SIDES OF RANGE OR OPEN WORK AREAS BELOW THE BASE CABINETS, PROVIDE FINISH END PANEL TO MATCH ADJACENT CASEWORK.
AF. WATER SUPPLY AND DRAIN PIPES UNDER SINKS SHALL BE INSULATED, TYPICAL AT ALL UNITS.
AG. ALL PLUMBING FIXTURES IN UNITS TO BE PROVIDED WITH NEW LEVER-TYPE FAUCETS, TYPICAL.
AH. AT ALL ANSI TYPE A UNITS, FLUSH CONTROL FOR THE W.C. WILL BE LOCATED ON THE OPEN SIDE AWAY FROM THE SIDE WALL.
AI. AT ALL ANSI TYPE A UNITS, KITCHEN SINKS SHALL INCLUDE REAR DRAINED SINKS TO ACCOMMODATE DISPOSERS. AT LEAST ONE SINK BOWL SHALL NOT BE DEEPER THAN 6" 1/2".
AJ. REPLACE ALL HVAC DIFFUSERS AND GRILLES AT ALL UNITS.
AK. ADD AUDIO VISUAL ALARM NOTIFICATION IN TWO PERCENT OF EXISTING UNITS THAT ARE DESIGNATED FOR PERSONS WITH SENSORY IMPAIRMENTS. ADDITIONALLY, ADD SENSORY UNIT FEATURES TO THE FIVE PERCENT OF UNITS DESIGNATED AS ANSI TYPE A UNITS. SEE SITE PLAN & OVERALL FLOOR PLANS FOR LOCATIONS. SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.
AL. LOCATION OF EXISTING HUNG UNITS TO REMAIN AND WILL BE DESIGNATED AS ANSI TYPE A UNITS. SEE SITE PLAN & OVERALL FLOOR PLANS FOR LOCATIONS.
AM. CONTRACTOR TO REVIEW ATTACHMENT OF EXISTING RAILS AT INTERIOR STAIRS. INSTALL PRE-PRIMED 1x6 BLUEMENTAL HANDRAIL AT INTERIOR STAIRS TO SECURE TO WALLS.
AN. CONTRACTOR TO WALK ENTIRE UNIT TO IDENTIFY AREAS W/ SQUEAKY FLOOR, LOOSE TREADS, ETC. IN AREAS IDENTIFIED, WOOD SUBFLOORING TO BE SCREWED TO JOISTS BEFORE FINISHED FLOOR IS INSTALLED.
AO. SEAL ALL ACCESSIBLE CRACKS IN CONCRETE FLOOR SLAB WITH POLYURETHANE CAULKING.
AP. CLEAN CONCRETE FLOOR SLAB AT MECH/UTILITY CLOSET. CLEAN ANY CLOGGED FLOOR DRAIN, DRAIN LINE, CONDENSATE LINE.
AQ. WHERE GYPSUM BOARD IS REPLACED, INSTALL PAPERLESS GYPSUM BOARD (PGB) BEHIND TUB/SHOWER WALLS THAT WILL NOT HAVE AN EXPOSED FINISH EXCEPT 6 INCHES BEYOND SHOWER AND TUB JAMBS, BEHIND TOILETS, THE SPACE BETWEEN A TUB/SHOWER ENCLOSURE AND TO THE TOP OF TOILET TANKS, INSTALL PAPER-FACED MOISTURE-RESISTANT GYPSUM BOARD, WITHIN 4 FEET HORIZONTALLY AND VERTICALLY OF ANY WATER SOURCE (UNLESS PGB IS INSTALLED), WITHIN 4 FEET OF ANY DIRECTION BEHIND LAUNDRY CLOTHES WASHING MACHINES, WATER HEATERS, WATER METERS, ETC., ON WALLS LESS THAN 4 FEET FROM SPRINKLER SERVICE CONTROLS AND WATER SERVICE LINES LOCATED IN SERVICE ROOMS, AND BEHIND PUBLIC DRINKING FOUNTAINS.
AR. CAULK AT JOINT BETWEEN WALLS AND FLOORING BEFORE INSTALLING NEW COVE BASE.
AS. REPLACE ALL WATER CLOSETS IN DWELLING UNITS AND OFFICE BUILDING. SEE PLUMBING DRAWINGS.
AT. CLEAN ALL EXISTING DRYER VENTS. SEE MEP DRAWINGS.

GENERAL NOTES - DEMOLITION

- A. THE FOLLOWING GENERAL NOTES APPLY TO ALL DWELLING UNITS IN THE PROJECT (U.O. (SA UNITS)).
B. REFER TO MEP DRAWINGS FOR ADDITIONAL SCOPE OF DEMOLITION WORK. CONTRACTOR SHALL VERIFY ALL CONDITIONS/ DIMENSIONS PRIOR TO WORK. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND CONTRACT DOCUMENTS.
C. EXISTING VCT FLOOR FINISH IS TO REMAIN U.O. CLEAN AND PREPARE SURFACE TO RECEIVE NEW FLOOR FINISH OVER EXISTING.
D. REMOVE EXISTING RUBBER BASE IN UNITS WITHOUT DAMAGE TO SUBSTRATE AND PREPARE SURFACE TO RECEIVE NEW BASE. SEE FINISH SCHEDULE.
E. ANY DAMAGE TO EXISTING WORK TO REMAIN SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR TO MATCH EXISTING SIMILAR WORK IN PLACE WHEN NEW, REPAIR ALL DAMAGED WORK IN CONNECTION WITH DEMOLITION WORK INCLUDING DAMAGE CAUSED BY REMOVAL OR INSTALLATION OF MECHANICAL OR ELECTRICAL ITEMS OR EQUIPMENT.
F. WHERE WALLS ARE BEING REMOVED, FILL ALL VOIDS IN FLOORING WITH CEMENTITIOUS INFILL. FINISH FLOOR TO BE LEVEL WITH ANY ADJACENT FLOOR FINISHES.
G. U.O. REMOVE ALL EXISTING FLOOR FINISHES (WALL COVERINGS, BASES, ETC.) FROM EXISTING WALLS. SEE PLANS FOR LOCATION AND FINISH SCHEDULE FOR ADDITIONAL INFORMATION ON NEW FINISHES.
H. DO NOT CUT INTO, REMOVE OR ALTER ANY STRUCTURAL MEMBER OR PORTION OF THE FLOOR, WALL OR ROOF SYSTEM UNLESS SPECIFICALLY NOTED OR INDICATED ON THE DRAWINGS. IF UNCLEAR, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
I. MAINTAIN & PROTECT EXISTING LAUNDRY EQUIPMENT (TENANT FURNISHED) IN UNITS. REMOVE & REINSTALL FOR FINISH WORK INSTALLATION.
J. REMOVE ALL EXISTING UNIT ENTRY DOORS, STORM DOORS.
K. AT ALL RESIDENTIAL BUILDINGS, REMOVE EXISTING WINDOWS AND PREPARE FOR INSTALLATION OF NEW WINDOW.
L. REMOVE GYPSUM BD. AT KITCHEN WALL CABINETS AND BACKSPLASH AREAS.
M. REMOVE GYPSUM BD. BEHIND BATH VANITIES, WALL SINKS AND WHERE TUB/SHOWERS ARE BEING REPLACED.
N. REMOVE GYPSUM BD. AT KITCHEN WALL CABINETS AND BACKSPLASH AREAS.
O. REMOVE GYPSUM BD. BEHIND BATH VANITIES, WALL SINKS AND WHERE TUB/SHOWERS ARE BEING REPLACED.
P. AT ALL UNITS WITH OPERATORS, REMOVE EXISTING GARAGE DOOR, ALL ATTACHMENTS AND GARAGE AND PREPARE FOR NEW DOOR AND OPERATOR.

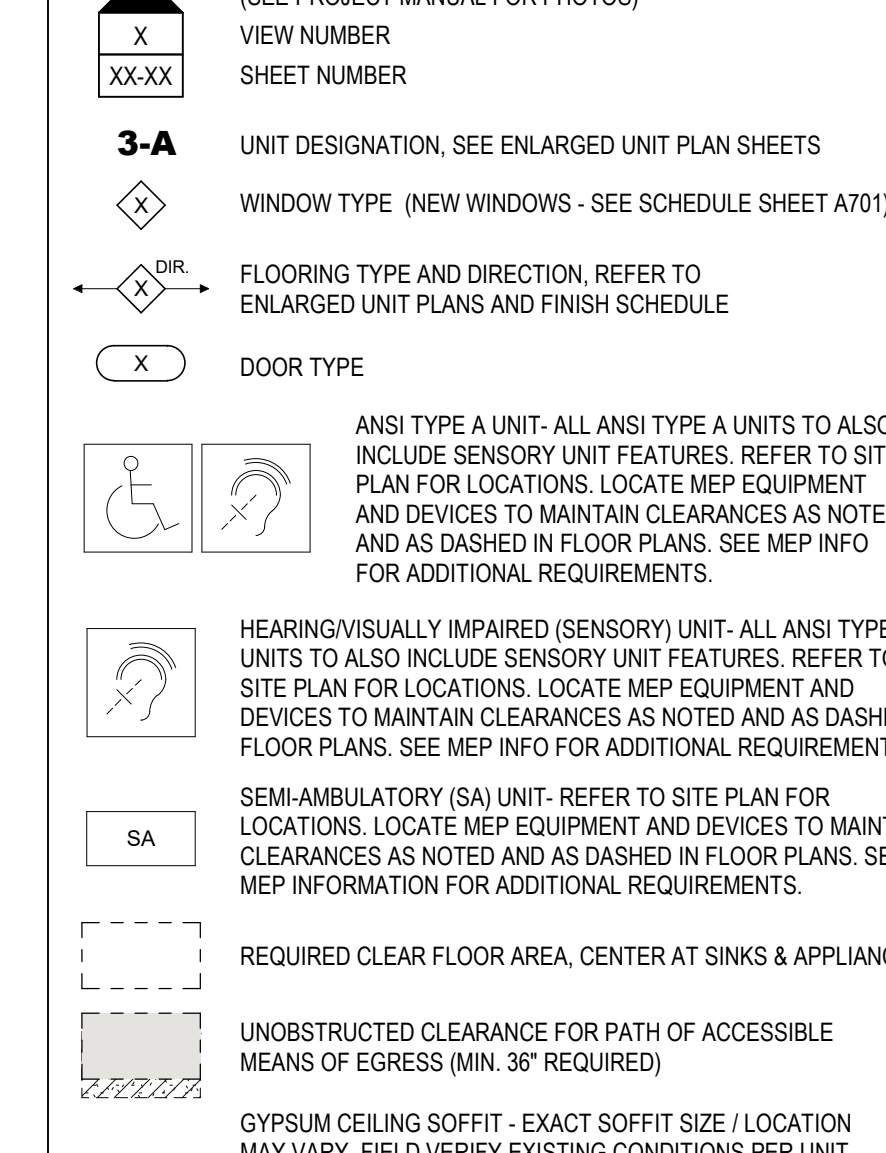
GENERAL NOTES - SEMI-AMBULATORY (SA) UNIT

- A. PROVIDE SEMI-AMBULATORY UNITS IN FIVE PERCENT OF EXISTING UNITS THAT ARE DESIGNATED AS 'SA' (TOTAL UNITS). SEE SITE PLAN AND OVERALL FLOOR PLANS FOR LOCATIONS.
B. SEMI-AMBULATORY UNITS MUST BE DESIGNATED AS SECTION 504 MODIFIABLE PER REASONABLE ACCOMMODATION MODIFICATION.
C. AT ALL UNITS DESIGNATED AS SEMI-AMBULATORY (SA), PROVIDE THE FOLLOWING:
STAIRS, NOSINGS AND HANDRAILS WITH EXTENSIONS PER ANSI A117.1-2017 REQUIREMENTS, BLOCKING FOR GRAB BARS AT BATH TUB/SHOWERS AND TOILETS PER ANSI A117.1-2017 REQUIREMENTS, ACCESSIBLE PATH TO ENTRY AND THROUGH UNIT, DESIGNATED VAN ACCESSIBLE PARKING SPACE, RANGE WITH FRONT CONTROLS, KITCHEN COUNTERS AND SINK RIM AT 34" MAX. A.F.F., HARD WOOD DOORBELL AT FRONT ENTRY DOOR, REPLACE BATH TUB AND SURROUND IN ONE BATH WITH 48" MIN LENGTH CURBED SHOWER (6" HIGH) WITH CENTER DRAIN AND FULL LENGTH MIRROR IN BATH WITH TOP EDGE MOUNTED AT 77" A.F.F.

CODED NOTES - DEMOLITION

- 1. REMOVE EXISTING RUBBER TREADS WITHOUT DAMAGE TO EXISTING SUBSTRATE. PREPARE SURFACE TO RECEIVE NEW TREADS. SEE FINISH SCHEDULE, TYPICAL AT TOWNHOUSE STYLE UNITS.
2. REFER TO MEP DRAWINGS FOR DEMOLITION WORK IN THIS AREA.
3. REMOVE ALL KITCHEN BASE CABINETS AND WALL CABINETS, COUNTERTOPS, AND BACKSPLASH. PATCH ANY DAMAGE TO GYPSUM BOARD, REPAIR EXISTING VINYL WINDOW SYSTEM AND PREPARE SURFACE TO RECEIVE NEW WINDOW. CLEAN AND PREPARE STEEL LINTELS IN MASONRY WINDOW OPENINGS TO RECEIVE NEW PAINT, TYPICAL AT ALL WINDOWS.
4. AT ANSI TYPE A UNIT BATHS, REVISE WALLS OF LINEN CLOSET AND DOOR SIZE TO ACCOMMODATE NEW ROLL-IN SHOWER STALL CLEARANCES.
5. REMOVE EXISTING DOOR AND FRAME. PREPARE OPENING WITH NEW BLOCKING FOR DOOR FRAME AS REQUIRED.
6. REMOVE EXISTING GARAGE DOOR, REPAIR REPLACEMENT ALL EXISTING DAMAGED DOOR FRAMES AND TRACK COMPONENTS AS REQUIRED.
7. REMOVE EXISTING BATH/TUB. MODIFY REMOVED PORTION OF EXISTING CONCRETE FLOOR TO INSTALL NEW ACCESSIBLE ROLL-IN SHOWER.
8. EXISTING WALL-HUNG SINK TO BE REMOVED. INSTALL NEW CONCEALED FLOOR AND STUD-BRACED CARRIER TO RECEIVE SINK. PATCH AND REPAIR WALLS AS REQUIRED.

FLOOR PLAN LEGEND



CODED NOTES - UNIT PLANS

- 1. NEW ENERGY-EFFICIENT KITCHEN APPLIANCES (REFRIGERATOR, STOVE, ETC.) SEE SPECIFICATIONS.
2. AT TYPICAL UNITS, NEW CULTURED MARBLE VANITY COUNTERTOP WITH INTEGRAL BOWL & BACKSPLASH. IN ANSI TYPE A UNITS, NEW WALL-HUNG SINK WITH BACKSPLASH AND EASED EDGES. REMOVE EXISTING SINK AFTER INSTALLING NEW CONCEALED FLOOR AND STUD-BRACED CARRIER. INSTALL MR GYP BD, PIPE PROTECTION AND FAUCET WITH LEVER HANDLEWARE PER SPEC. ALL BATH SINK RIMS/ COUNTERS TO BE AT 34" A.F.F. REFER TO TYPICAL PROJECT DETAILS FOR ADDITIONAL INFORMATION.
3. LOCATION OF EXISTING WASHER AND DRYER HOOK UP. EQUIPMENT IS PROVIDED BY TENANT. CLEAN DRYER VENTS.
4. CLEAN, PREP & PAINT EXISTING WOOD CLOSET SHELVES AND RODS WHERE INSTALLED IN TYPICAL UNITS. CLEAN AND REPAIR EXISTING WIRE CLOSET SHELVING AND RODS WHERE INSTALLED IN TYPICAL UNITS. INSTALL NEW ADJUSTABLE WIRE SHELVING, RAILS AND BRACKETS WHERE MISSING AND LOCATE AT ACCESSIBLE REACH RANGES IN ANSI TYPE A UNITS. REFER TO TYPICAL PROJECT DETAILS FOR ADDITIONAL INFORMATION.
5. EXISTING MIRROR/MEDICINE CABINET TO REMAIN IN TYPICAL UNITS. CLEAN & RECAULK EXISTING MIRROR/MEDICINE CABINET TO BE LOEWERED IN ALL ANSI TYPE A UNITS. REFER TO TYPICAL PROJECT DETAILS FOR ADDITIONAL INFORMATION.
6. EXISTING TUB & SURROUND TO REMAIN U.O. CLEAN TUB, SURROUND, AND RECAULK ALL JOINTS. SEE TYP. PROJECT DETAILS & SPECIFICATIONS. REFER TO MEP DRAWINGS FOR REPLACEMENT OF SHOWERHEADS, LIGHTS, ETC.
7. CLEAN, PREP & PAINT EXISTING ADJUSTABLE WOOD CLOSET SHELVES WHERE INSTALLED IN TYPICAL UNITS. CLEAN, REPAIR EXISTING ADJUSTABLE WIRE CLOSET SHELVING WHERE INSTALLED IN TYPICAL UNITS. INSTALL NEW ADJUSTABLE WIRE SHELVING, RAILS AND BRACKETS WHERE MISSING AND LOCATE AT ACCESSIBLE REACH RANGES IN ANSI TYPE A UNITS. REFER TO TYPICAL PROJECT DETAILS FOR ADDITIONAL INFORMATION.
8. UNIT KITCHEN BASE BID: NEW PLASTIC LAMINATE COUNTERTOP WITH RADIUS CORNERS AND DROP-IN SINK. UNIT KITCHEN ALTERNATE: NEW QUARTZ COUNTERTOP WITH EASED EDGES AND UNDERMOUNT SINK. KITCHEN COUNTERTOPS TO BE 34" A.F.F. IN ANSI TYPE A UNITS. NEW BASE AND WALL CABINETS IN ALL KITCHENS. SEE INTERIOR ELEVATIONS.
9. PAINT EXISTING METAL HANDRAIL, AND OR WOOD CAP (IF CURRENTLY PAINTED) AT THIS LOCATION, TYPICAL AT ALL SIV. UNITS.
10. REFER TO MEP DRAWINGS FOR SCOPE OF WORK IN THIS AREA ROOM.
11. NEW GARAGE DOOR, ALL ATTACHMENTS AND OPERATOR. REPAIR FRAME AS REQUIRED.
12. EXISTING ATTIC ACCESS PANEL.
13. PAINT EXISTING DOORS AND FRAMES AT EXTERIOR SHED/ STORAGE. TYP.
14. EXISTING BATH VANITY, TOWEL BARS & TOILET PAPER DISPENSER TO BE REMOVED AND REPLACED WITH NEW.
15. NEW ROBE HOOK ON TOILET SIDE OF BATH DOOR. REFER TO TYPICAL PROJECT DETAILS FOR ADDITIONAL INFORMATION.
16. ANSI TYPE UNIT: LOWER ALL CONTROLS (THERMOSTAT, SWITCHES, ELECTRICAL PANEL, ETC.) TO BE WITHIN ACCESSIBLE REACH RANGES. TYP. REFER TO TYPICAL PROJECT DETAILS FOR ADDITIONAL INFORMATION.
17. ANSI TYPE UNIT: NEW, COMPLIANT GRAB BARS AT W.C. AND SHOWER IN BATHS. REFER TO INTERIOR ELEVATIONS AND PROJECT DETAILS FOR ADDITIONAL INFORMATION.
18. ANSI TYPE UNIT: NEW ROLL-IN SHOWER W/ TRENCH DRAIN, CONFIRM DIMENSIONS W/ FINAL SELECTION & MFR'S INSTALLATION INSTRUCTIONS. CONTACT ARCHITECT REGARDING DIMENSIONAL DISCREPANCIES PRIOR TO UNIT WALL DEMOLITION CONSTRUCTION, IF REQUIRED.

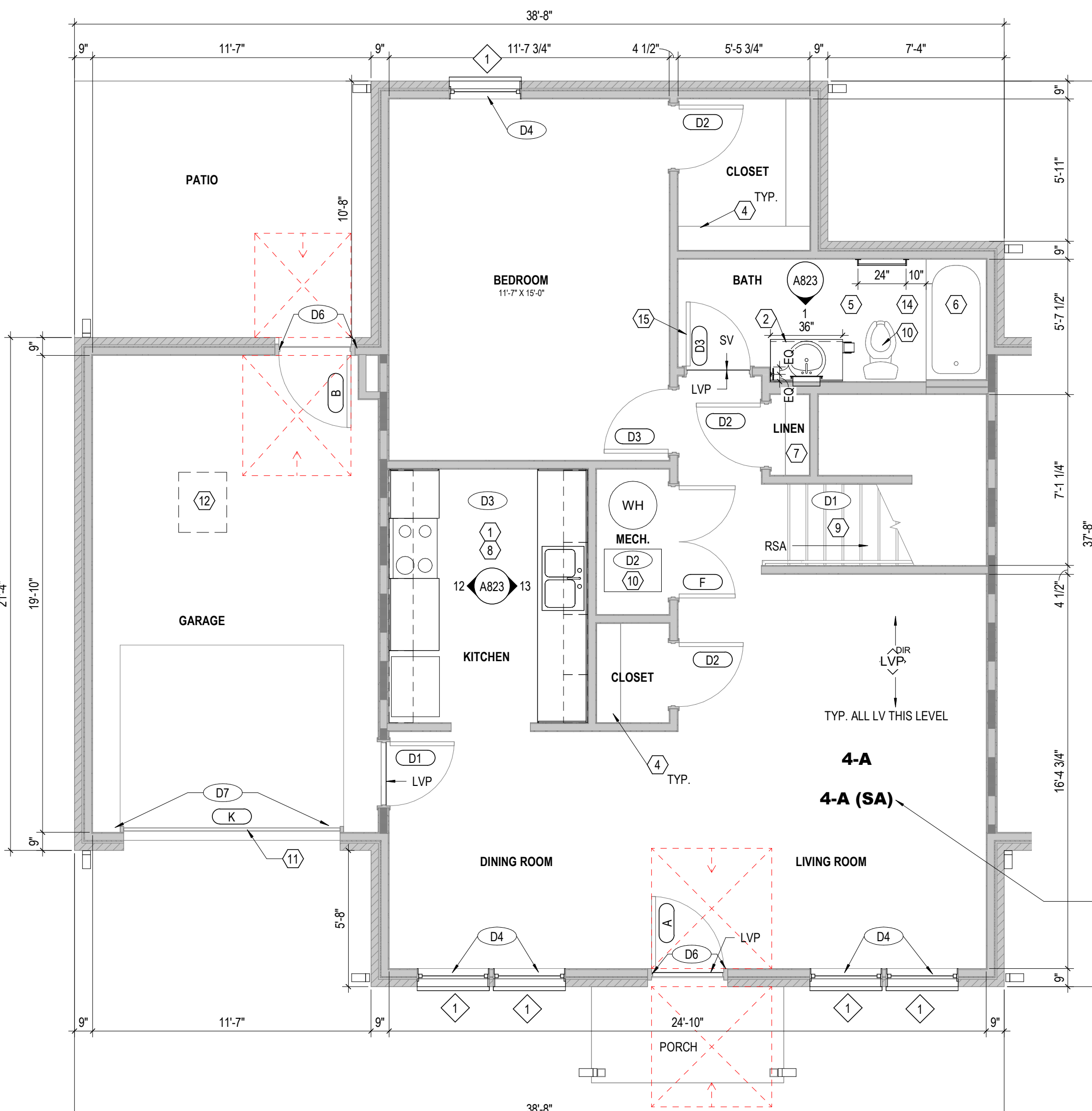
CHANGE DESCRIPTION

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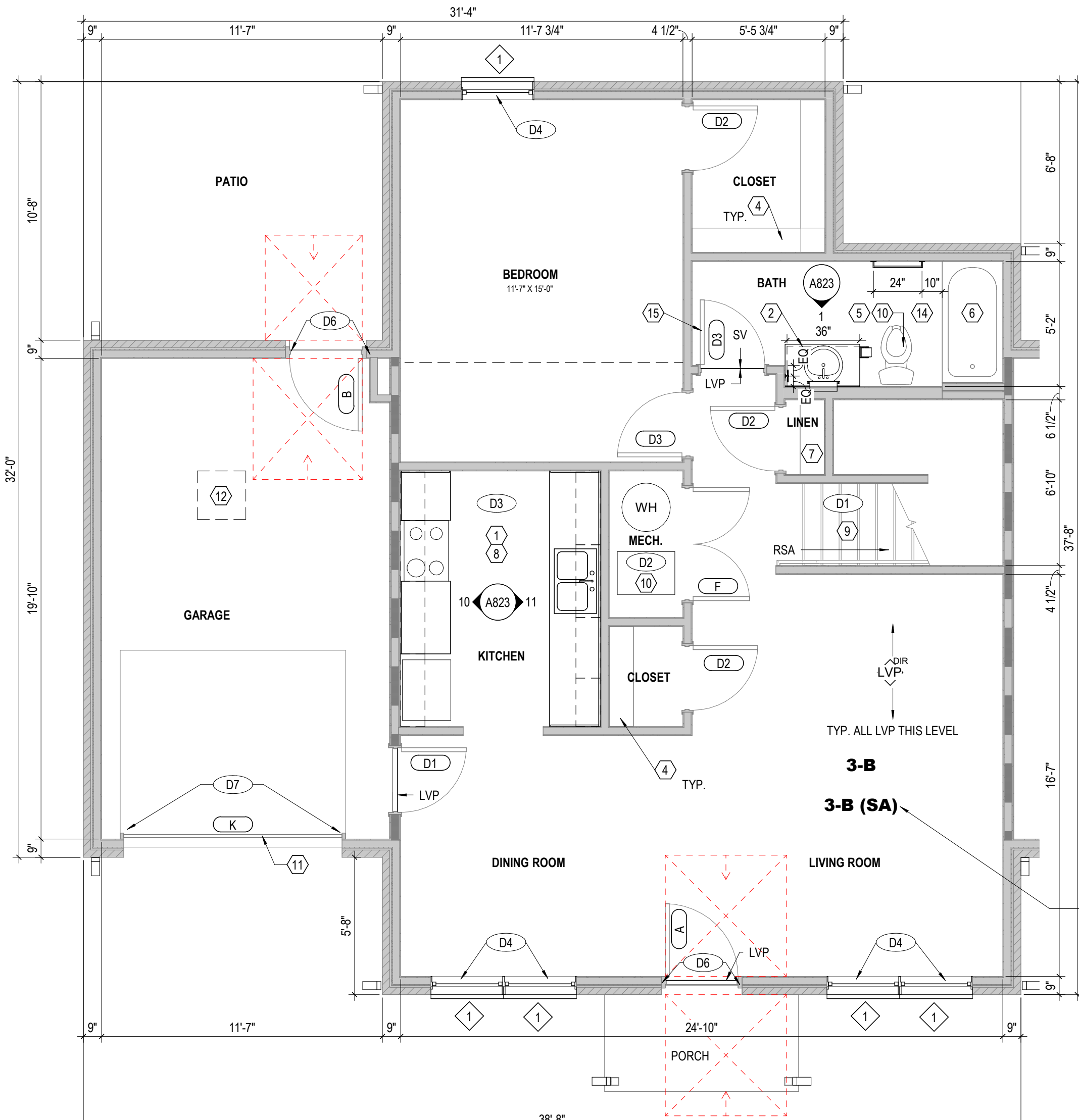
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Moody Nolan CERTIFICATE NO: FIRM 00197475



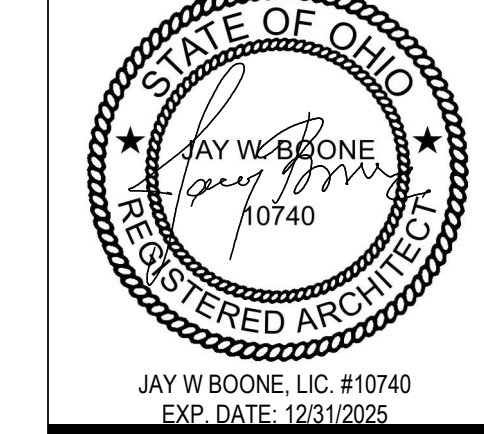
3 PLAN FIRST FLOOR PLAN - UNIT 4-A - (BLDG. TYPE V) 1/4" = 1'-0"

SEMI-AMBULATORY UNIT 4-A (SA) AT BUILDING 17, UNIT #4754. SEE GENERAL NOTES FOR SCOPE OF WORK IN 'SA' UNIT.

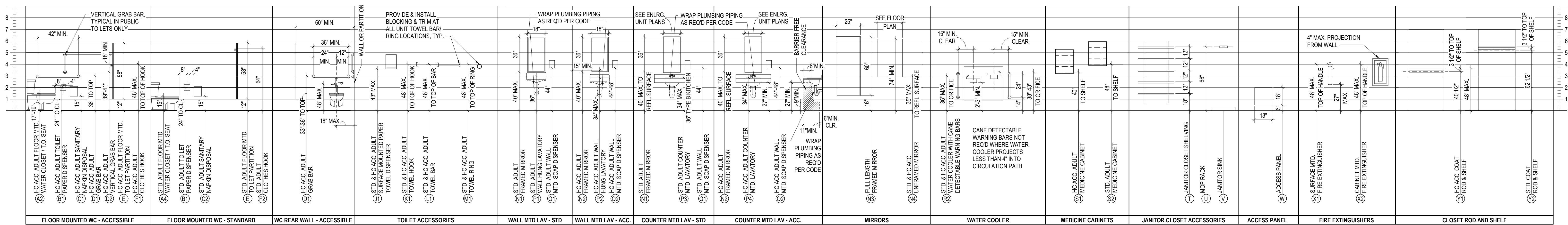


1 PLAN FIRST FLOOR PLAN - UNIT 3-B - (BLDG. TYPE IV) 1/4" = 1'-0"

SEMI-AMBULATORY UNIT 3-B (SA) AT BUILDING 17, UNIT #4754. SEE GENERAL NOTES FOR SCOPE OF WORK IN 'SA' UNIT.

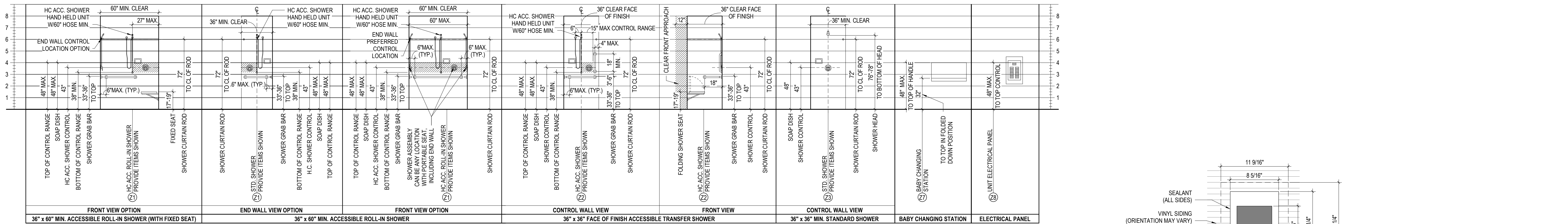


08/14/2025 DRAWN BY: xxx CHECKED BY: xxx 18076.04 A811 BID / PERMIT SET



GENERAL NOTES - MOUNTING HEIGHTS

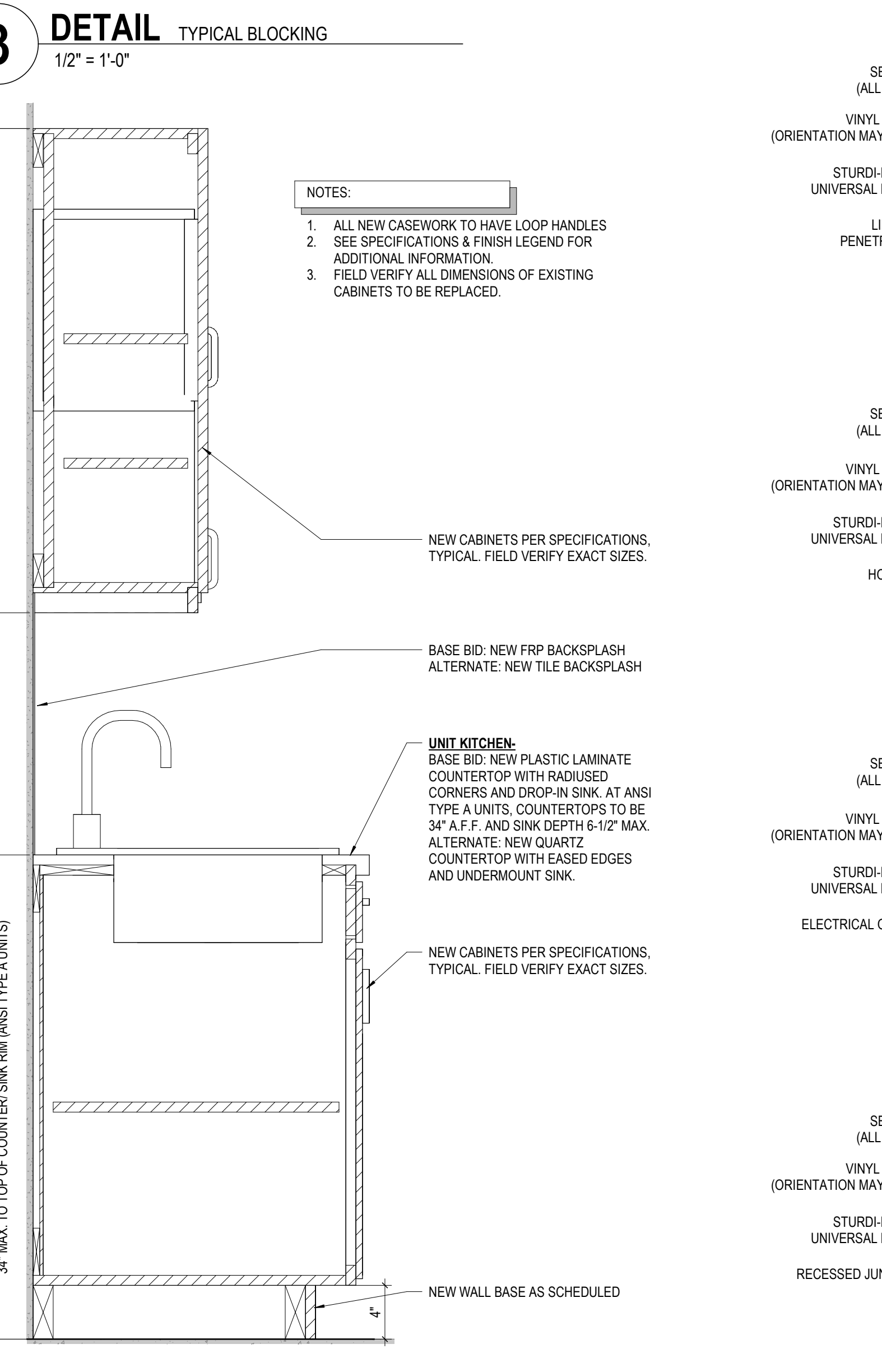
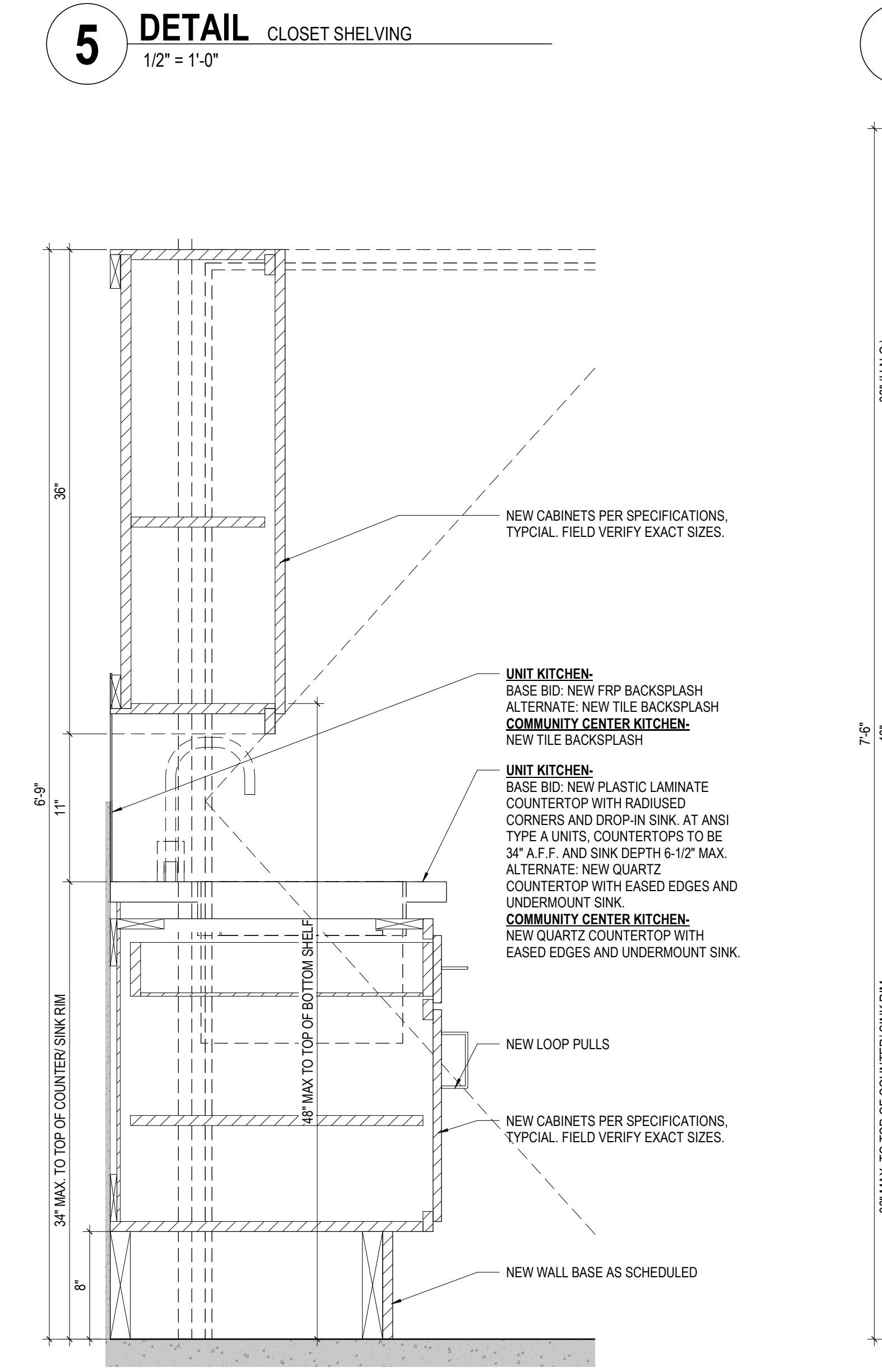
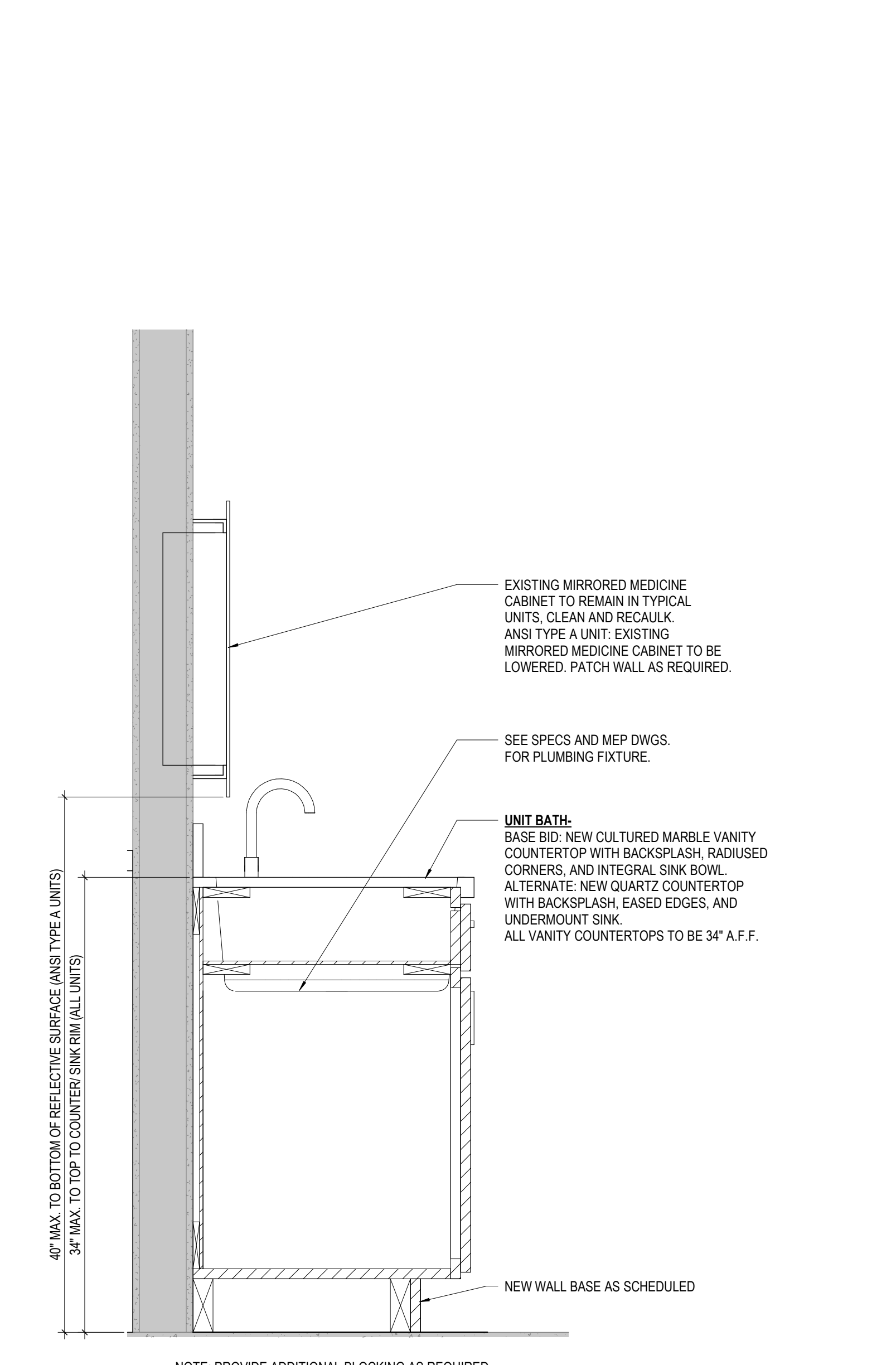
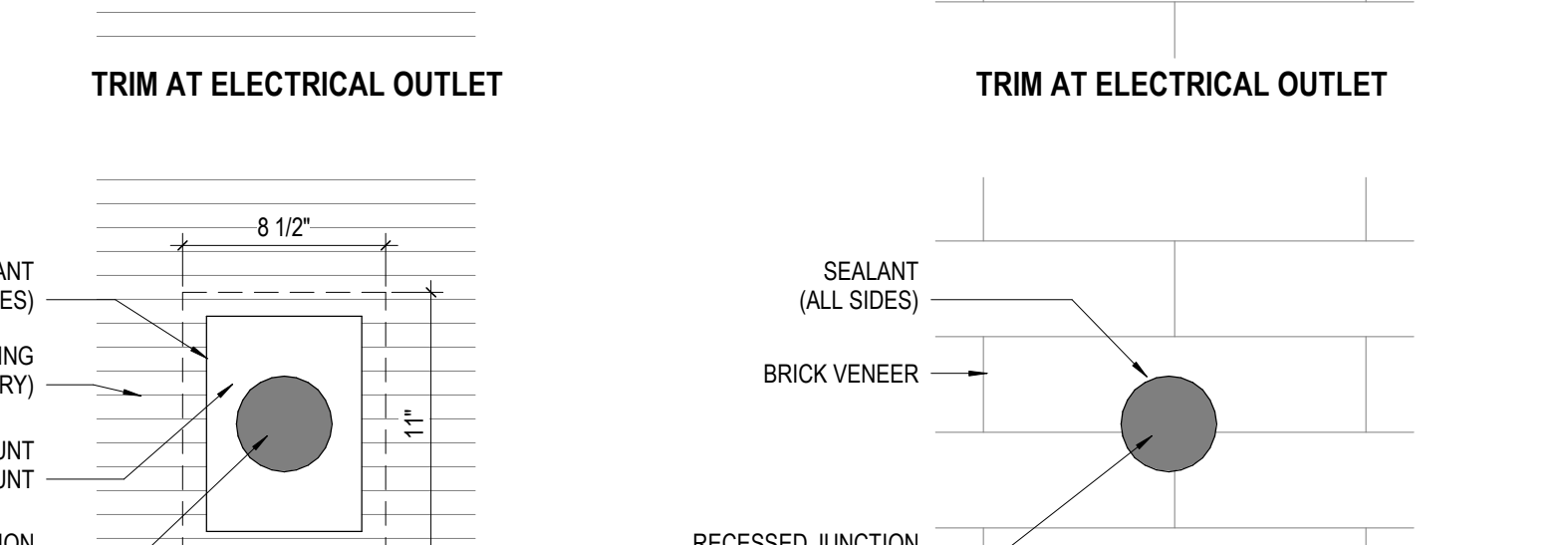
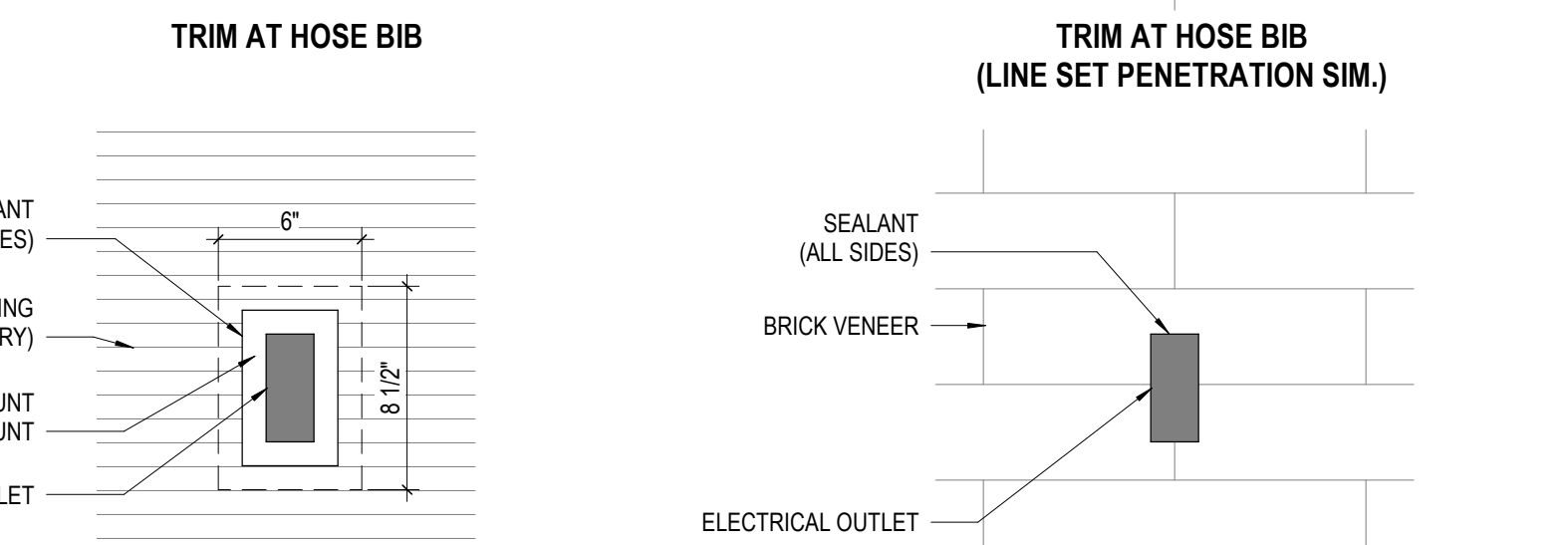
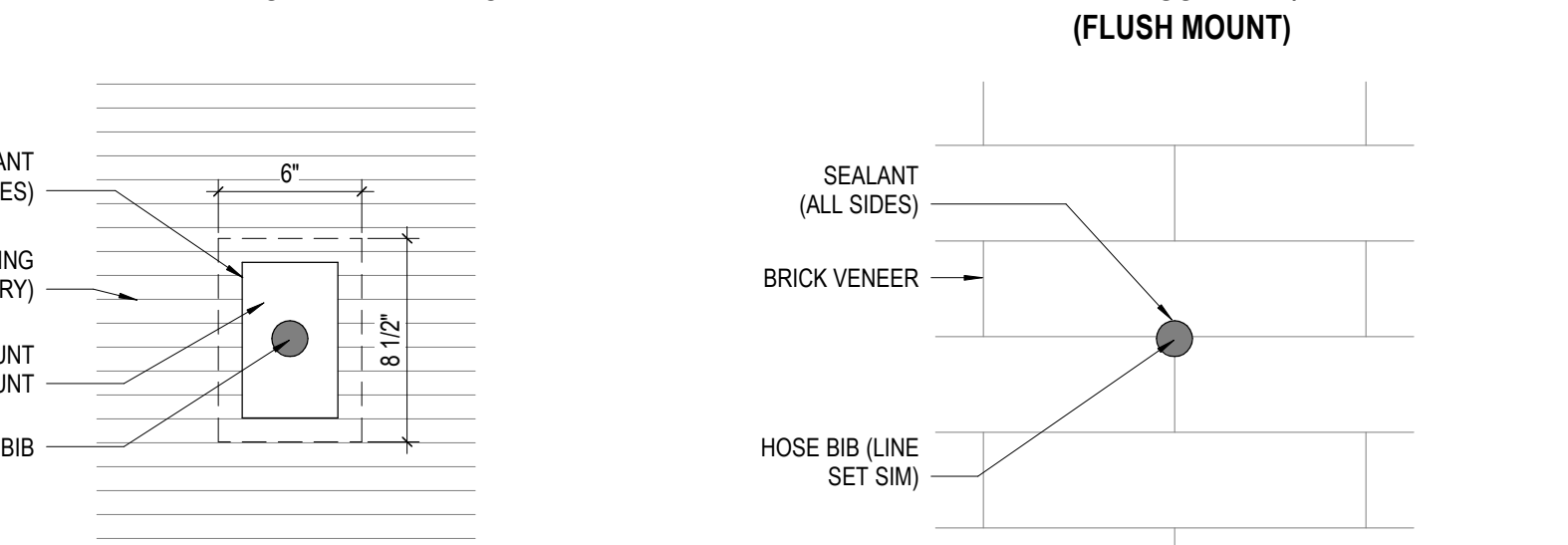
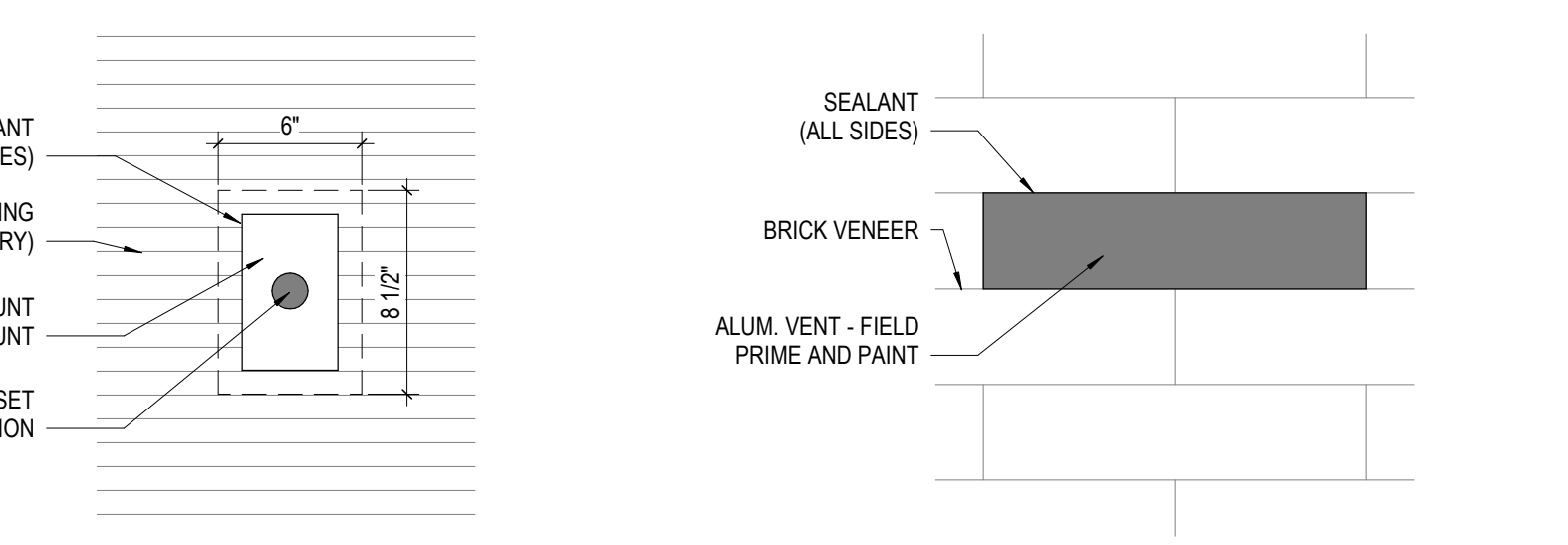
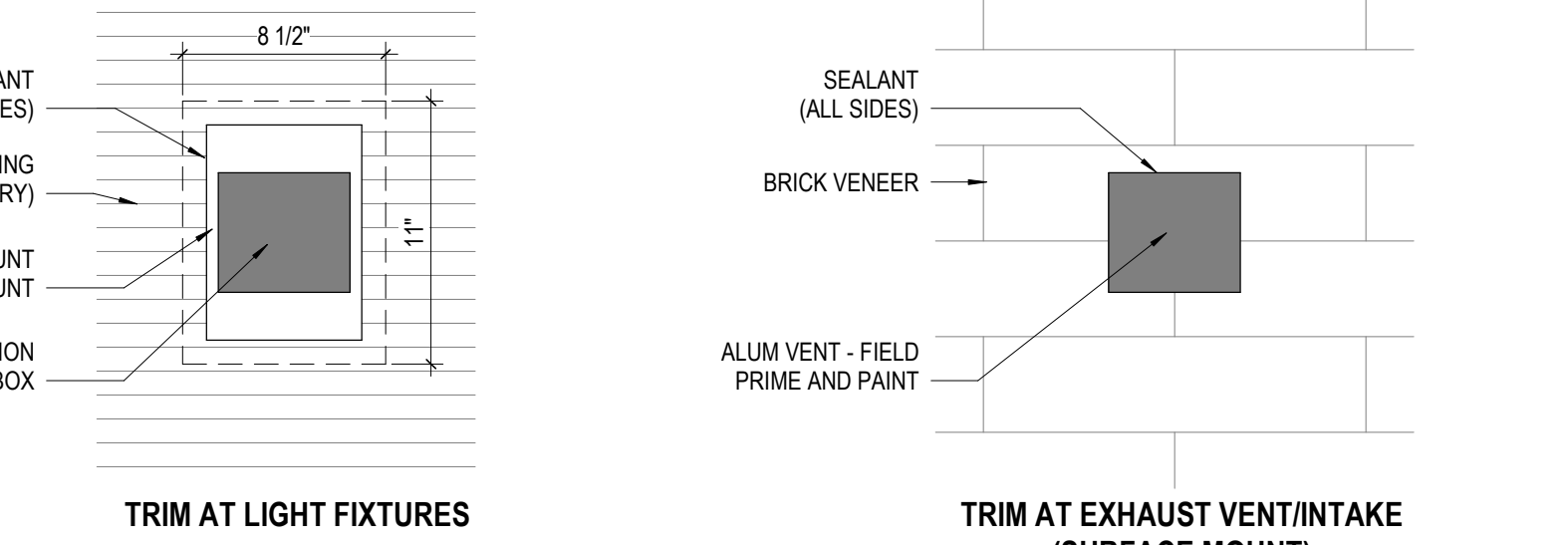
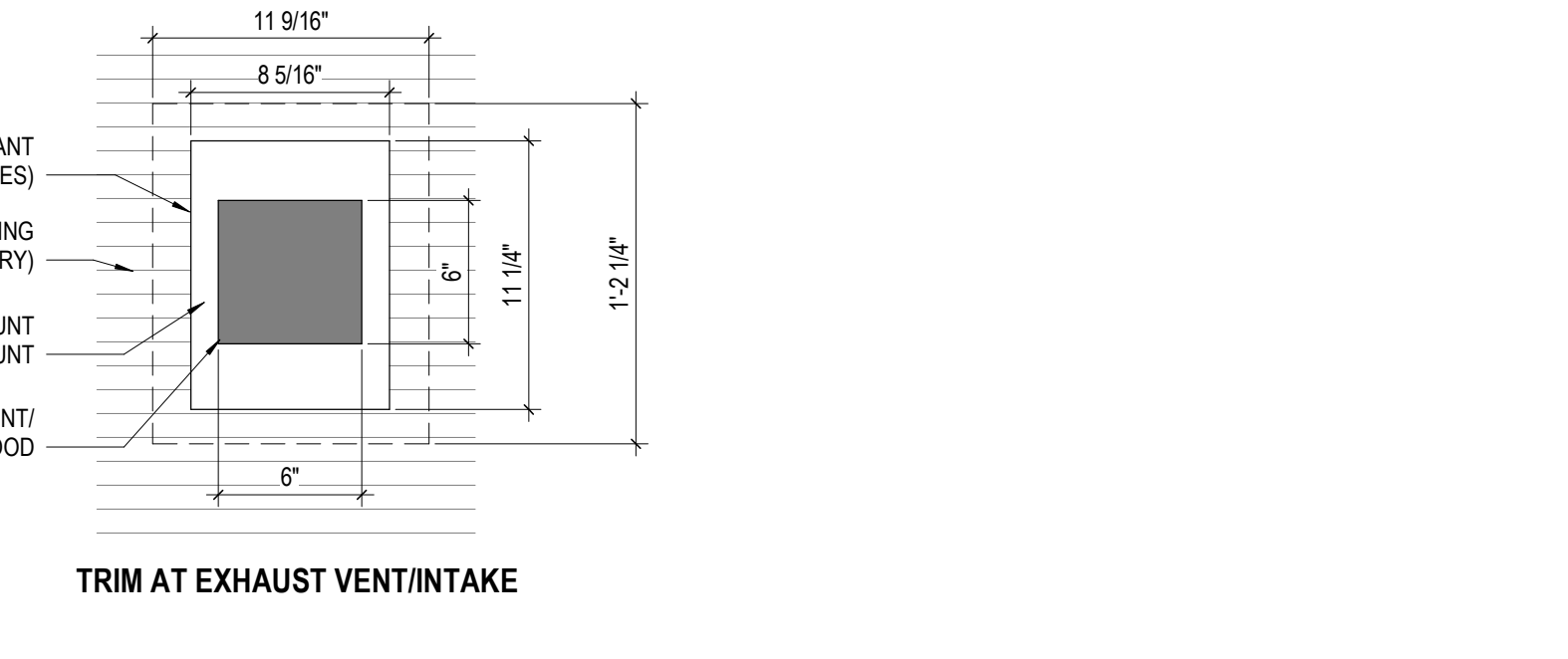
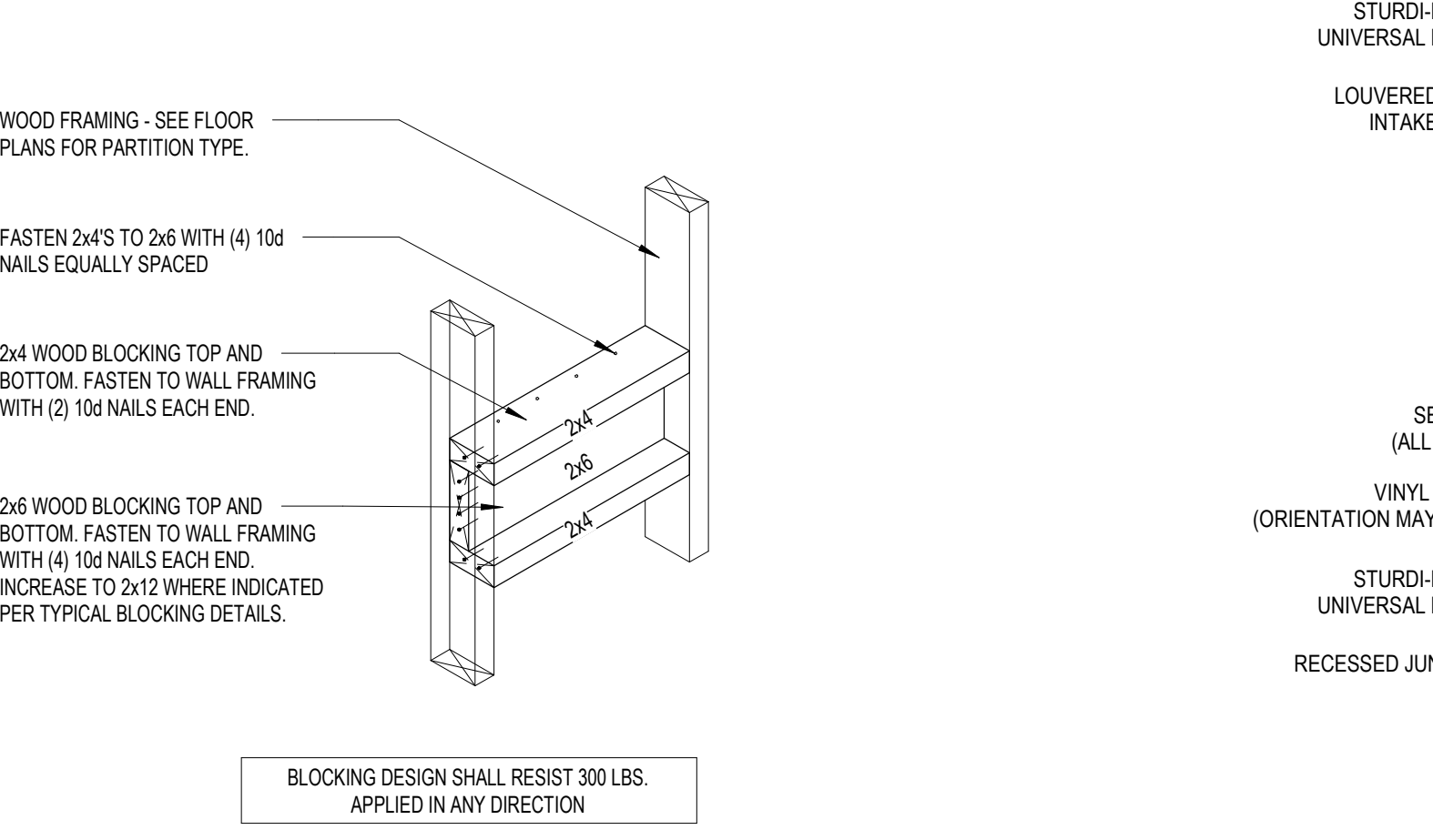
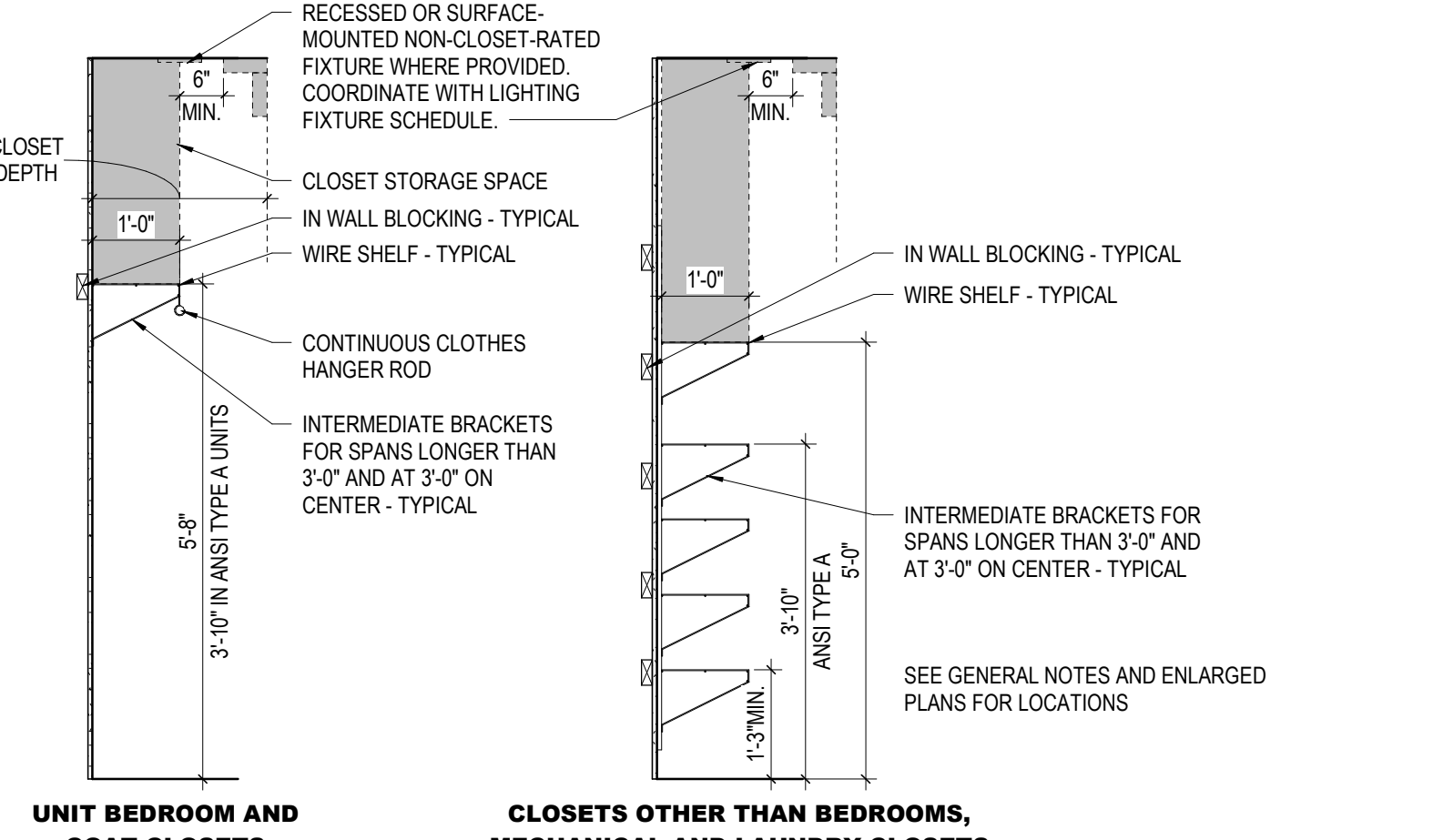
- ACC. INDICATES HANDICAPPED ACCESSIBLE FIXTURE
- STD. INDICATES STANDARD FIXTURE
- ADULT INDICATES FIXTURE INTENDED FOR ADULTS
- GENERAL CONTRACTOR SHALL COORDINATE TOILET FIXTURE LOCATIONS WITH PLUMBING CONTRACTOR WITH RESPECT TO FLUSH VALVE HEIGHT AND HORIZONTAL LOCATION VS. GRAB BAR LOCATIONS.
- NOTE: GRAB BAR HEIGHT IS BASED ON ADAAG AND CANNOT BE CHANGED. TOP OF SEAT HEIGHT IS BASED ON ADAAG AND CANNOT BE CHANGED.
- ALL MOUNTING HEIGHTS ARE ABOVE FINISH FLOOR (CRITICAL FOR ADA COMPLIANCE)
- ALL DIMENSIONS ARE TO FACE OF FINISHED WALL (CRITICAL FOR ADA COMPLIANCE)
- WHERE TOILET IS INDICATED TO BE "WALL MOUNTED OR FLOOR MOUNTED" REFER TO PLUMBING DRAWINGS FOR EXACT FIXTURE



GENERAL NOTES - CASEWORK

- REFER TO SPECIFICATION MANUAL SECTIONS 06-20-00 (FINISHED CARPENTRY) AND 06-20-03 (ARCHITECTURAL WOODWORKING) FOR A COMPLETE ENUMERATION OF PERFORMANCE AND FABRICATION GUIDELINES.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING IN-WALL BLOCKING ADEQUATE FOR THE SUPPORT OF ALL CABINETS MOUNTED HEREIN. IN ADDITION, THE CONTRACTOR SHALL PROVIDE ADEQUATE IN-WALL BLOCKING FOR ANY ALL FINISH CARPENTRY OR ANGLIARY COMPONENTS (INCLUDING BUT NOT LIMITED TO WALL PANELS, MILLWORK, CUSTOM CASEWORK, GRAPHIC PANELS, BANNERS, ETC.) DESIGNATED AND DETAILED HEREIN AS RIGIDLY ATTACHED TO WALL ASSEMBLIES OR OTHER STRUCTURAL COMPONENTS. SEE SPECIFICATION SECTION 06-10-00 FOR BLOCKING REQUIREMENTS. NOTE: SPECIFIC TYPES OF BLOCKING ARE SHOWN IN DETAIL DRAWINGS ON A202 FOR CLARITY - THIS IS NOT TO BE TAKEN AS A FULL ACCOUNTING. GENERAL TYPICAL BLOCKING MAY OR MAY NOT BE SHOWN.
- BATH COUNTERTOPS ARE TO INCLUDE A CONTINUOUS MATCHING 4" (6" IN ANSI TYPE A UNITS) BACKSLASH (UNLESS SHOWN AND NOTED OTHERWISE). ALL BACKSLASHES ASSUMED TO INCLUDE SIDESPLASHES AT ADJOINING WALLS AND/OR OTHER VERTICAL INTERRUPTIONS.
- PLASTIC LAMINATE COUNTERTOPS ARE TO HAVE A 1/2" NOSSING WITH A MATCHING DOELKIN WOODTAPE VINYL EDGE BAND (MANUFACTURER'S BEST MATCH). EDGE BAND MATCHES TO BE SUBMITTED FOR APPROVAL PRIOR TO FABRICATION. UNDERSIDES OF COUNTERTOP ARE TO BE CLAD WITH BACKER SHEET.
- FOR "WET" AREAS, COUNTERTOP BACKSLASH SUBSTRATE TO BE MARINE GRADE MFC.
- ALL SHELVES ARE ADJUSTABLE (UNLESS NOTED OTHERWISE) SUPPORTED ON NICKEL (SPOON-TYPE) SHELF PINS. RECEIVING HOLES TO BE SPACED 2" O.C.
- FOR CABINETS AT INSIDE CORNERS, PROVIDE BLIND OR CORNER CABINET AS NOTED.
- REFER TO FLOOR PLANS FOR CABINET LOCATIONS. SIZES PROVIDED ON ELEVATIONS ARE PROVIDED FOR REFERENCE. THE CONTRACTOR IS TO VERIFY EACH CABINET TYPE AND THE DIMENSION OF CABINETS TO MINIMIZE FILLERS REQUIRED.
- PROVIDE 3/4" HIGH BASE CABINETS AT ALL ANSI TYPE A UNITS AND COMMUNITY ROOM KITCHEN.
- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- REFER TO SHEET A821 FOR ADDITIONAL INFORMATION.
- AT ALL BASE CABINETS EXCEPT REMOVABLE BASE CABINETS & SINKS PROVIDE FULL-OUT DRAWERS.

8 DETAIL MOUNTING HEIGHTS
1/4" = 1'-0"



6 DETAIL VANITY COUNTER, TYP.
1 1/2" = 1'-0" REF: 3 / A810

4 DETAIL ACCESSIBLE CASEWORK
1 1/2" = 1'-0" REF: 1 / A810

2 DETAIL TYPICAL KITCHEN CASEWORK
1 1/2" = 1'-0" REF: 3 / A810

1 DETAIL EXTERIOR WALL FIXTURE/PENETRATION TRIM
1 1/2" = 1'-0"

CODED NOTES

NOTE: SEE ENLARGED FLOOR PLANS, GENERAL NOTES, SPECIFICATIONS AND PROJECT DETAILS SHEETS FOR MOUNTING HEIGHT REQUIREMENTS AND ADDITIONAL INFORMATION ON TYPICAL ACCESSORIES AND FIXTURES.

- NEW RANGE HOOD, TYPICAL
- NEW CABINETS PER SPECIFICATIONS, TYPICAL. FIELD VERIFY EXACT SIZES.
- UNIT KITCHEN BASE BID, NEW PLASTIC LAMINATE COUNTERTOP WITH RADIUS CORNERS AND DROP-IN SINK AT ANSI TYPE A UNITS, COUNTERTOPS TO BE 34" A.F.F. AND SINK DEPTH 6-1/2" MAX. ALTERNATE: NEW QUARTZ COUNTERTOP WITH EASED EDGES AND UNDERMOUNT SINK.
- NEW RANGE PER SPECIFICATIONS.
- ANSI TYPE A UNIT, NEW RANGE WITH FRONT CONTROLS PER SPECS. PROVIDE SINK AS NEEDED TO INSTALL COOKTOP AT 34" MAX. A.F.F. TO MATCH ADJACENT COUNTERTOP HEIGHT.
- NEW REFRIGERATOR PER SPECIFICATIONS.
- NEW SINK AND FAUCET WITH LEVER-TYPE HANDLE PER SPECIFICATIONS. INSTALL PLUMBING PIPE PROTECTION.
- NOT USED.
- UNIT KITCHEN BASE BID, NEW FRP BACKSLASH, TYP. FIELD VERIFY EXACT SIZES.
- UNIT KITCHEN ALTERNATE: NEW TILE BACKSLASH, TYP. FIELD VERIFY EXACT SIZES.
- REMOVABLE BASE CABINET, APPLIES TO UNIT WITH FIRST FLOOR BEDROOMS ONLY.
- FINISHED END PANEL, TYP.
- UNIT BATH BASE BID, NEW CULTURED MARBLE VANITY COUNTERTOP WITH BACKSLASH, RADIUS CORNERS, AND INTEGRAL SINK BOWL. UNIT BATH ALTERNATE: NEW QUARTZ COUNTERTOP WITH BACKSLASH, EASED EDGES, AND UNDERMOUNT SINK. ALL VANITY COUNTERTOPS TO BE 34" A.F.F.
- EXISTING MIRROR/MEDICINE CABINET TO REMAIN IN TYPICAL UNITS, CLEAN AND RECAULK.
- ANSI TYPE A UNIT, EXISTING MIRROR/MEDICINE CABINET TO BE LOWERED. PATCH WALL AS REQUIRED.
- NEW TOWEL RING, ADD 1/4" PAINTED WOOD TRIM W/ BEVELED EDGES ON WALL AROUND TOWEL RING.
- NEW TOWEL BAR, ADD 1/4" PAINTED WOOD TRIM W/ BEVELED EDGES ON WALL AROUND TOWEL BAR.
- NEW TOILET PAPER DISPENSER, ADD 1/4" PAINTED WOOD TRIM W/ BEVELED EDGES ON WALL AROUND TOILET PAPER DISPENSER.
- NEW HOSE HOOK ON TOILET SIDE OF BATH DOOR.
- ANSI TYPE A UNIT, NEW, COMPLIANT GRAB BARS AT W.C. AND ROLL-IN SHOWERS IN BATH.
- ANSI TYPE A UNIT, NEW ROLL-IN SHOWER, MODIFY WALLS AS REQUIRED TO PROVIDE MIN. CLEARANCES. CONFIRM DIMENSIONS WITH FINAL SELECTION & MANUFACTURER'S INSTALLATION INSTRUCTIONS. CONTACT ARCHITECT REGARDING DIMENSIONAL DISCREPANCIES PRIOR TO UNIT WALL DEMOLITION/CONSTRUCTION, IF REQUIRED. SEE PLUMBING DRAWINGS.
- NEW SHOWER CURTAIN ROD, PROVIDE BLOCKING AS REQUIRED.
- NEW VANITY LIGHT FIXTURE, CENTERED ABOVE VANITY MIRROR, SEE ELECTRICAL DRAWINGS.
- GRAY HATCH REPRESENTS THE LOCATION & EXTENT OF PAPERLESS GYPSUM BOARD (PGB). CROSS-HATCH REPRESENTS THE LOCATION & EXTENT OF PAPER-FACED MOISTURE RESISTANT GYPSUM BOARD (MR). REFER TO GENERAL NOTES FOR MORE INFORMATION.

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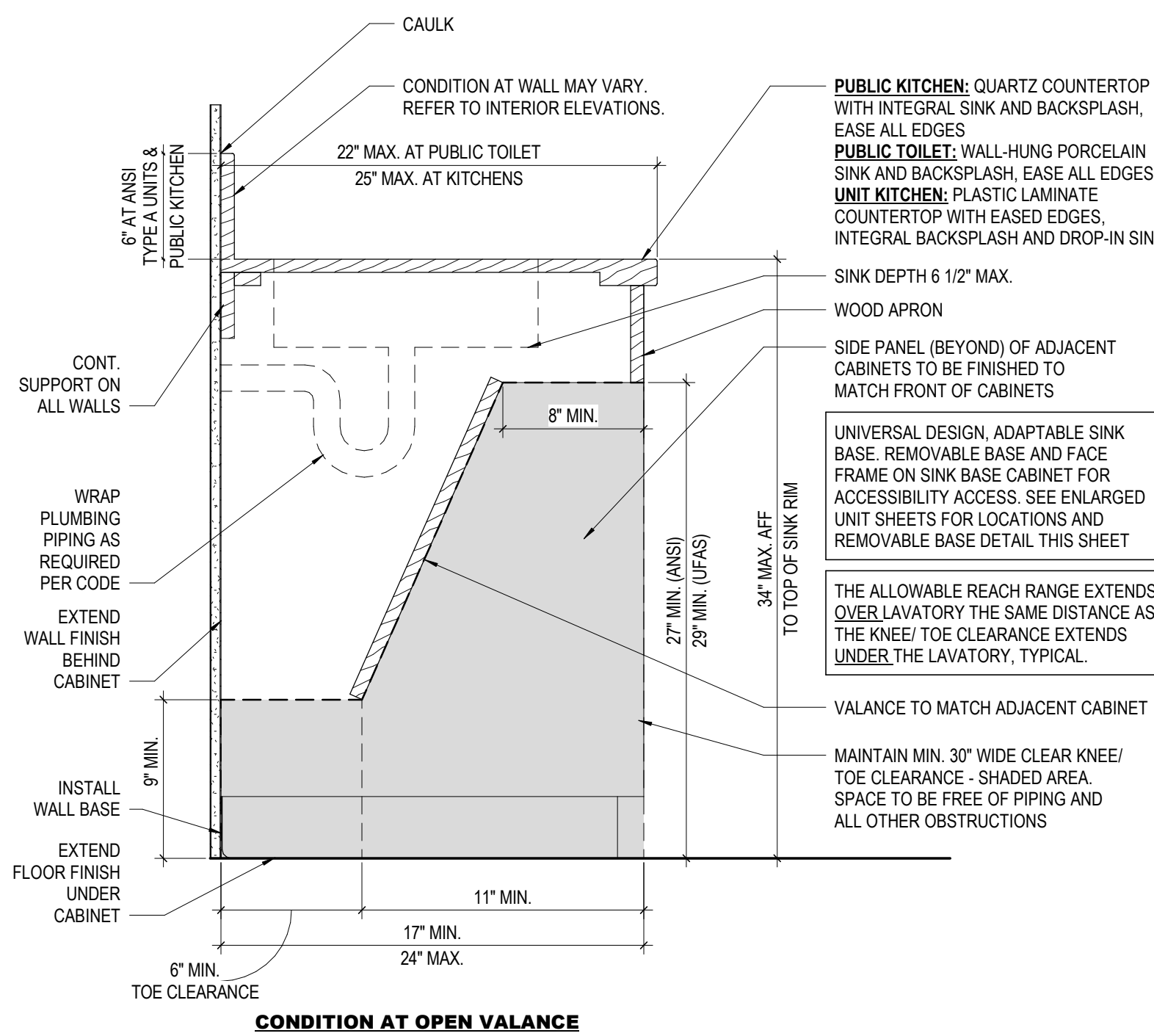
THE MEADOWS RAD RENOVATIONS
COLUMBUS METROPOLITAN HOUSING AUTHORITY
4855 PINECREEK DRIVE
COLUMBUS, OH 43110

MOODY-NOLAN
300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881

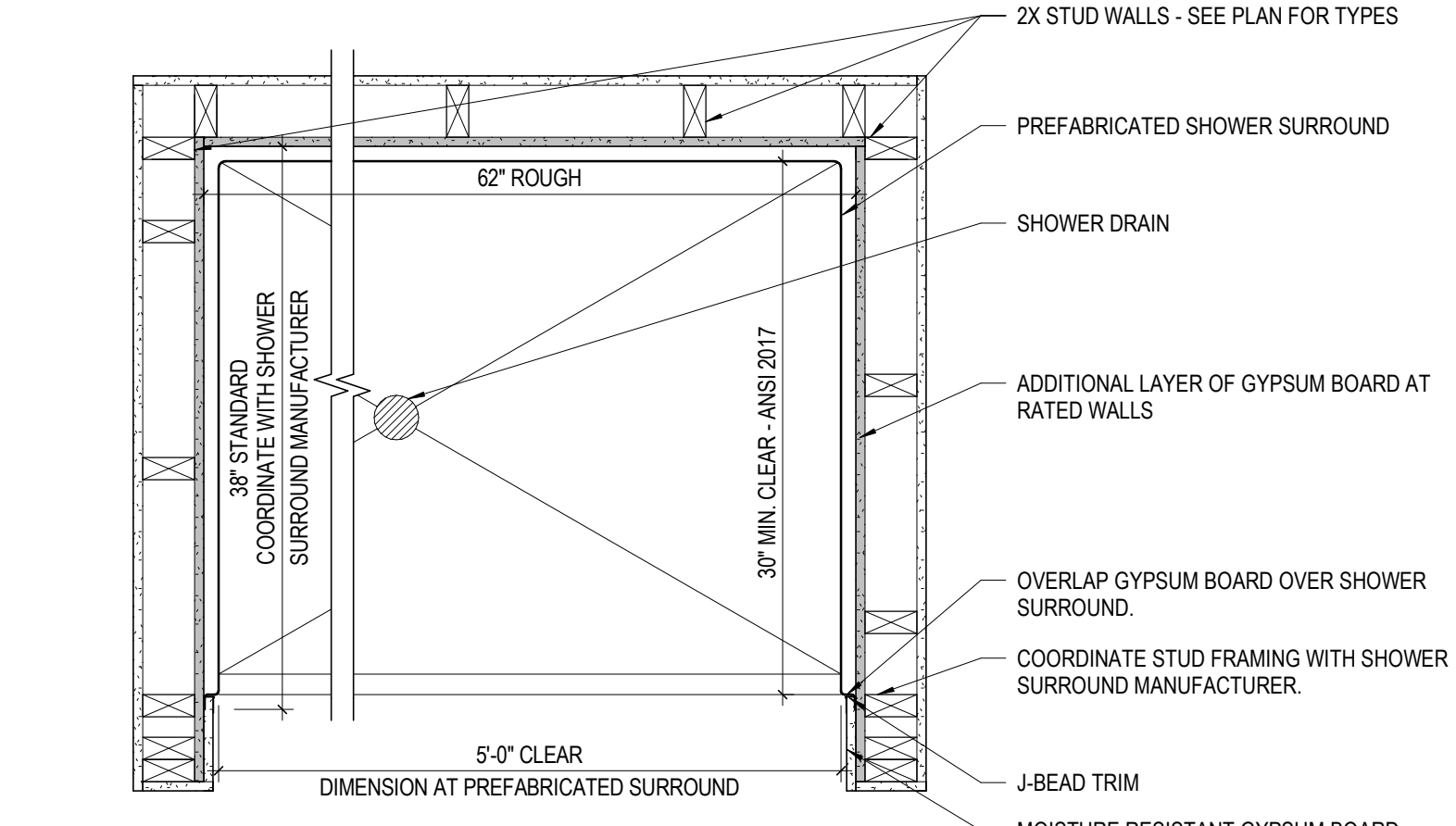
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TYPICAL PROJECT DETAILS

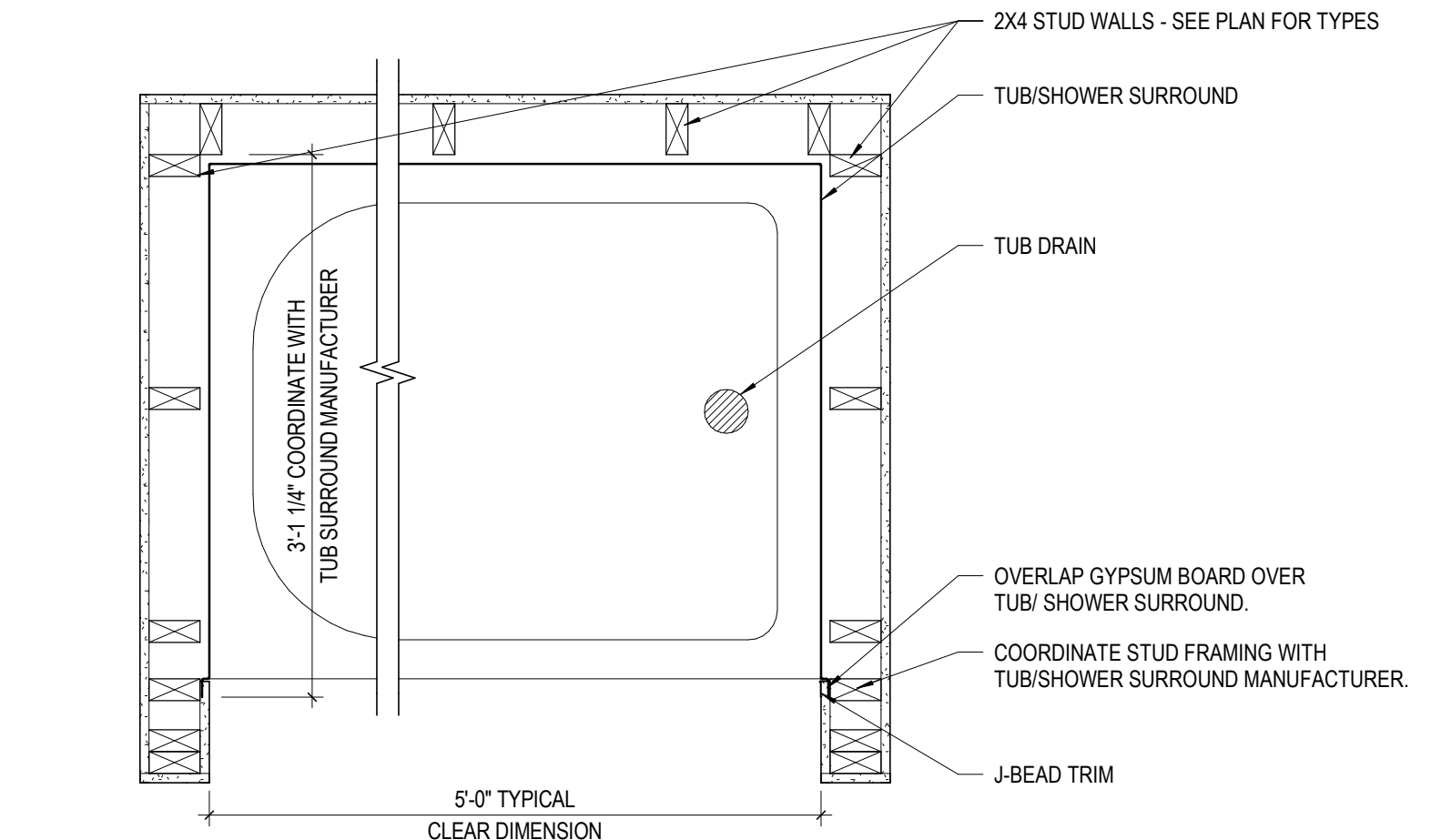
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A820
JAY W. BOONE, LIC. #10740
EXP. DATE: 12/31/2025
BID / PERMIT SET



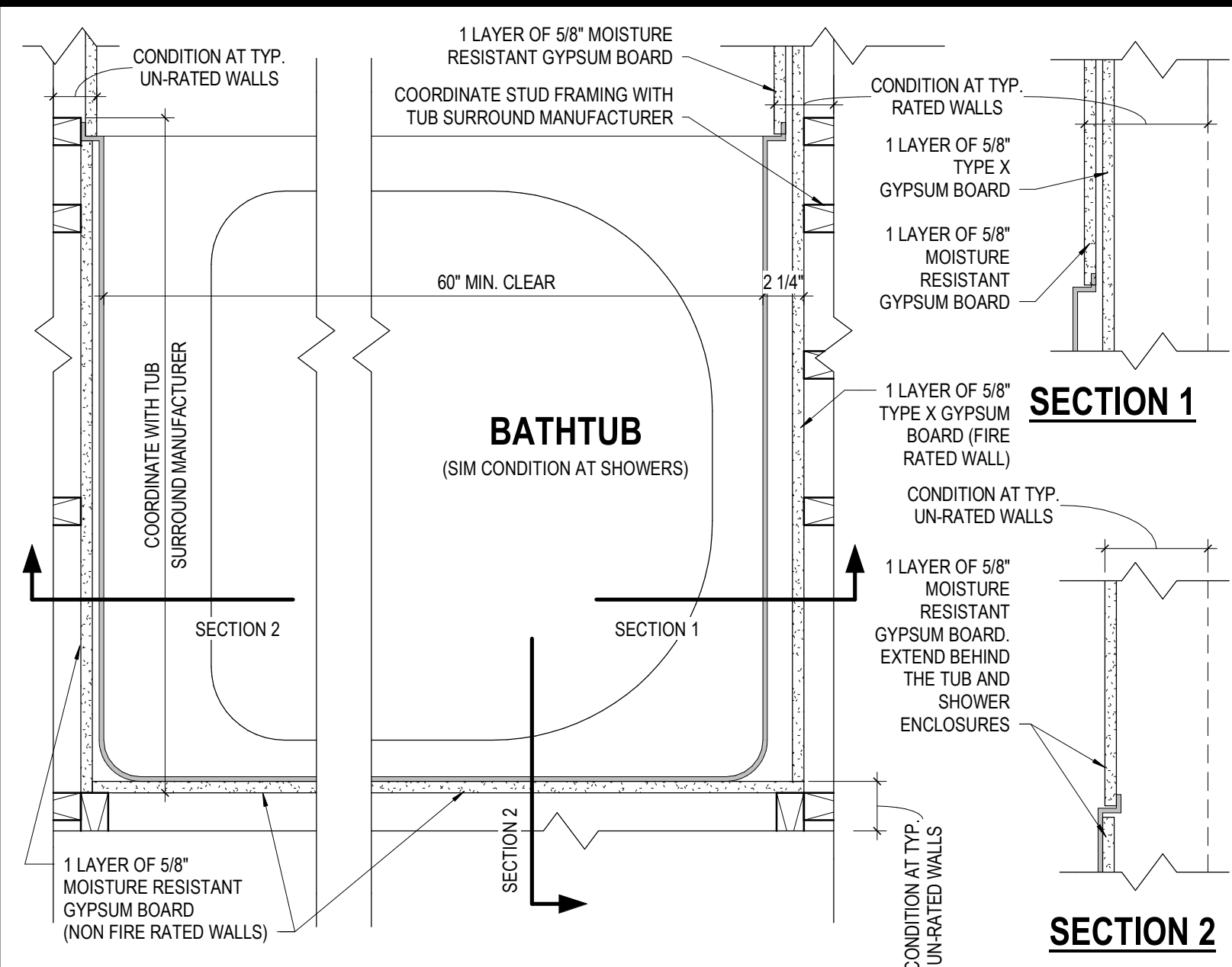
16 DETAIL CASEWORK
1 1/2" = 1'-0"



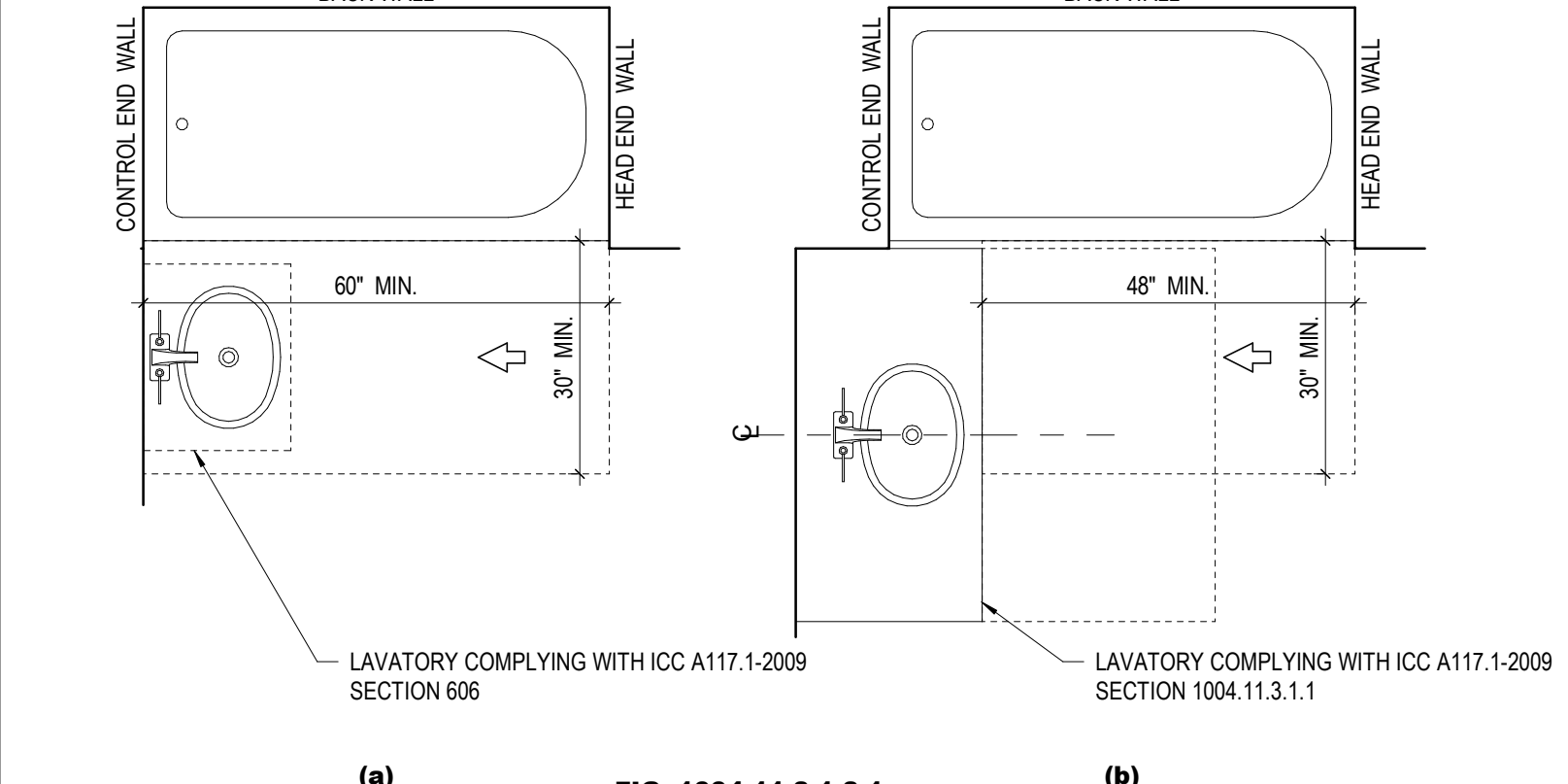
15 DETAIL SHOWER FRAMING - PREFABRICATED SURROUND
1" = 1'-0"



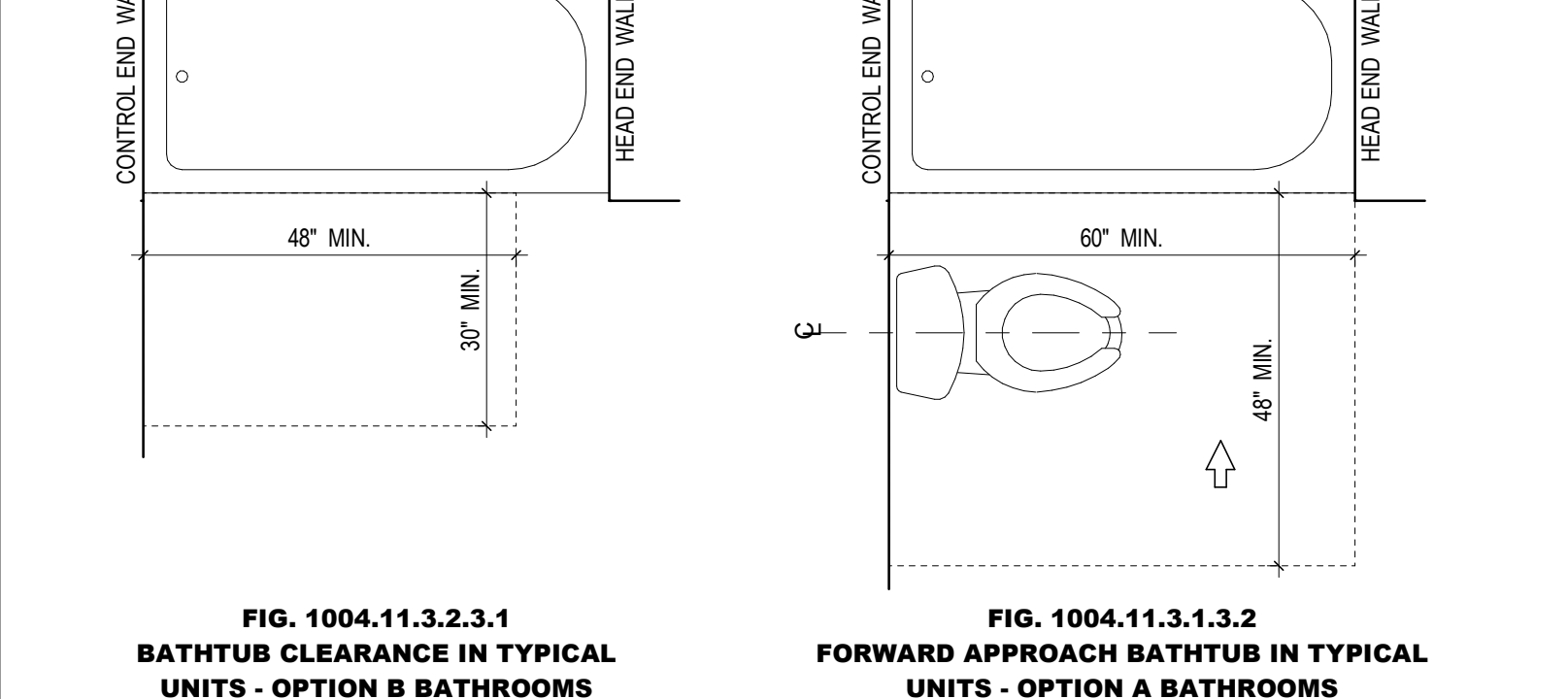
14 DETAIL TUB FRAMING
1" = 1'-0"



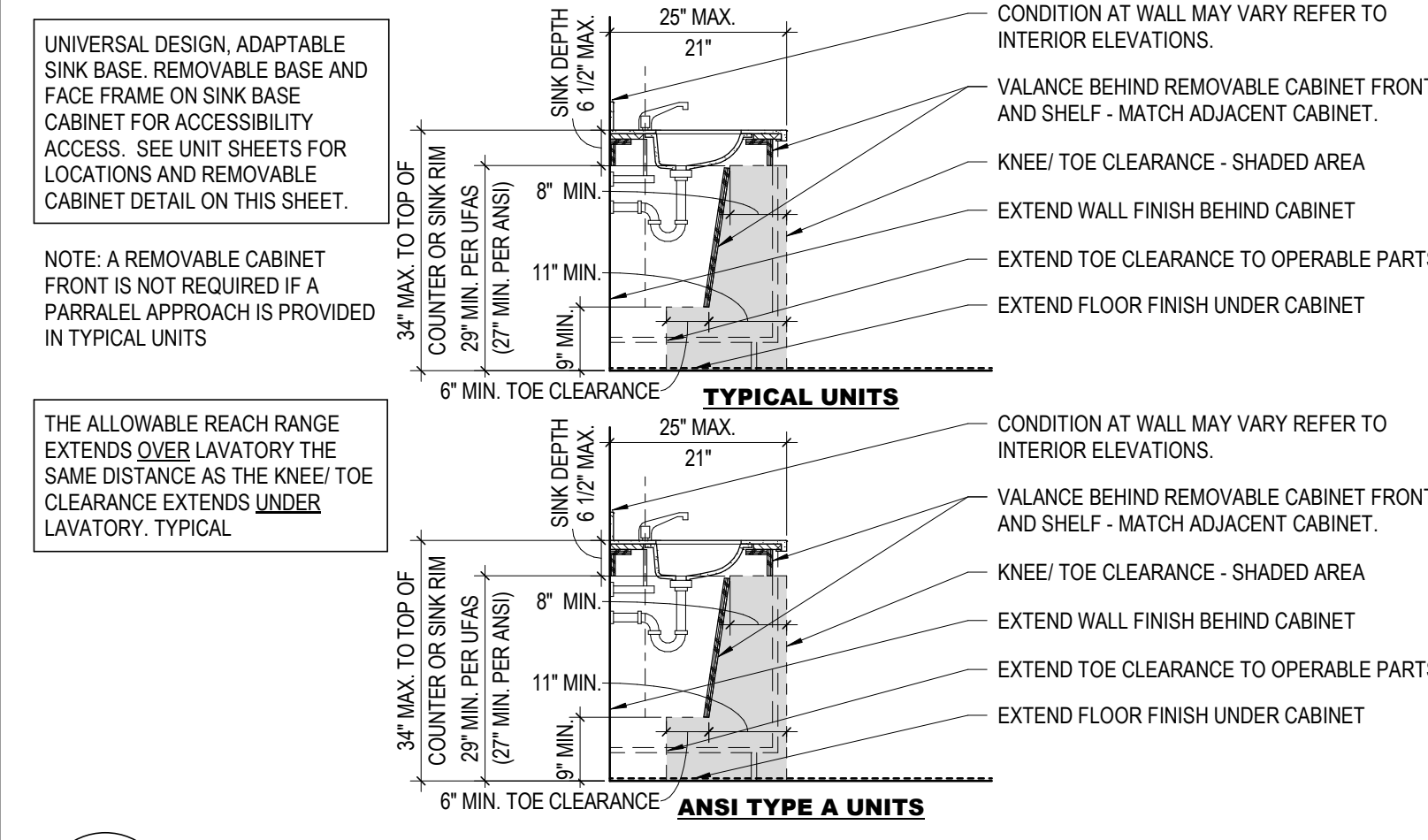
13 DETAIL TYPICAL BATH TUB
1 1/2" = 1'-0"



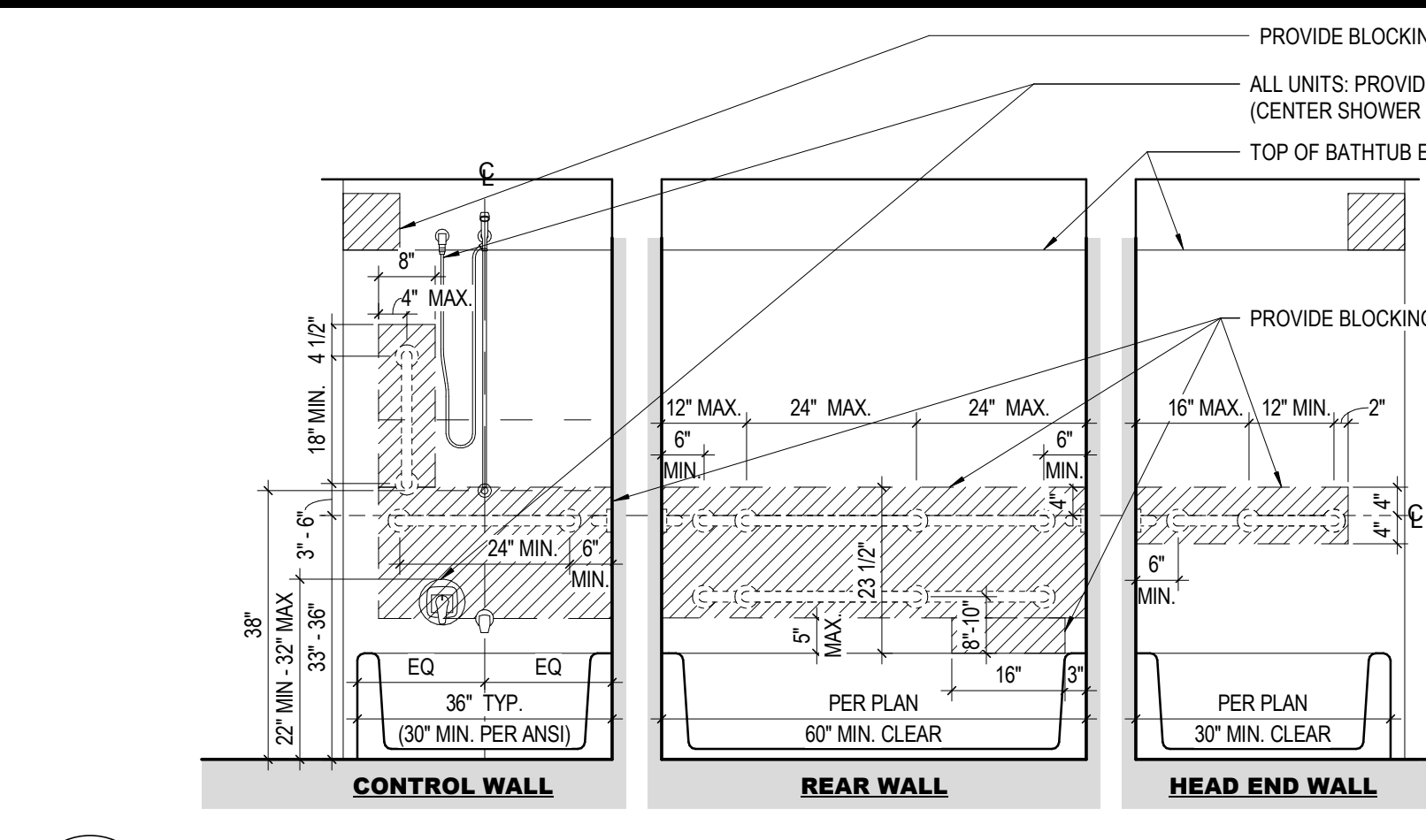
12 DETAIL BATHTUB CLEARANCES
1 1/2" = 1'-0"



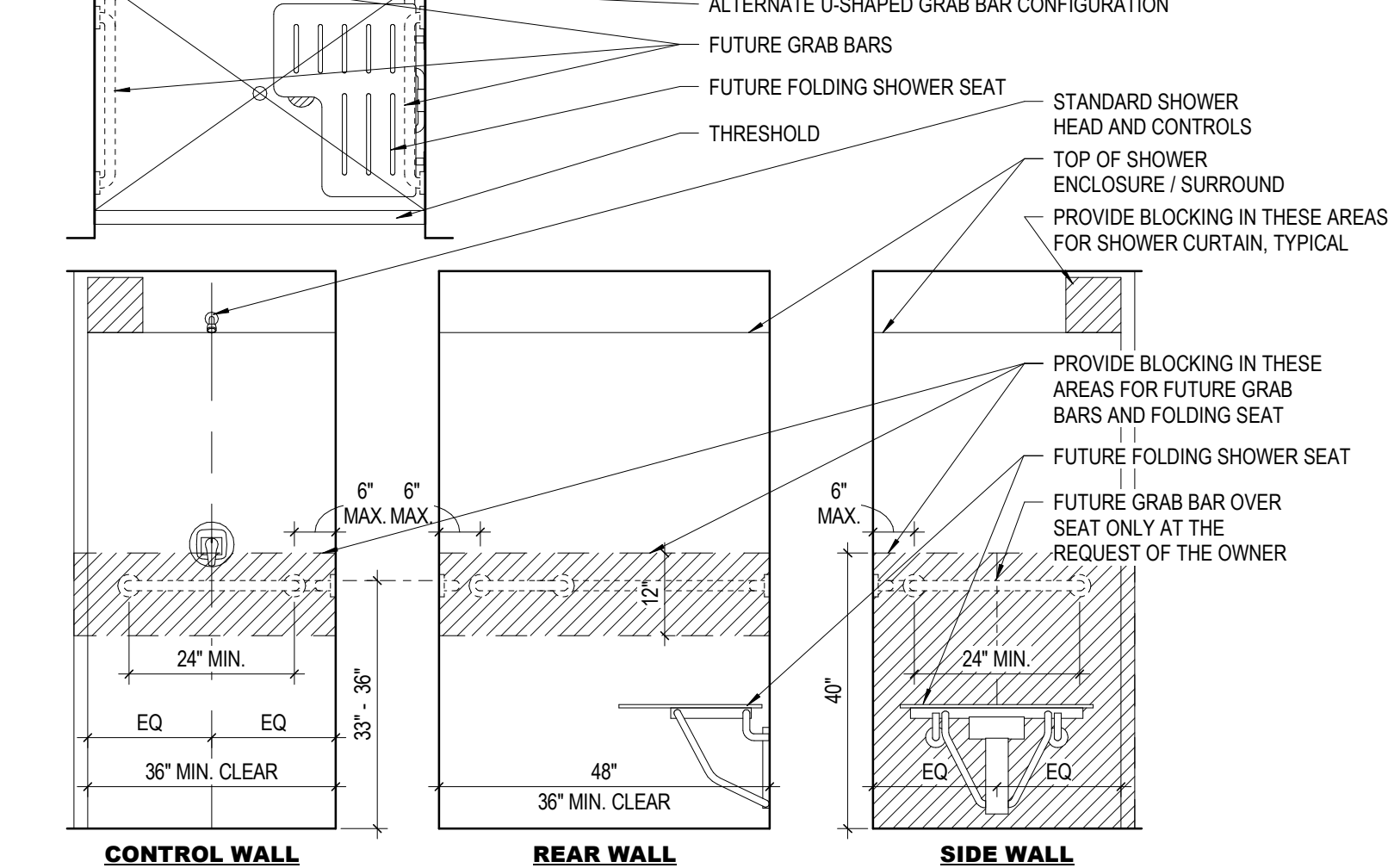
11 DETAIL TYPICAL BATHROOM VANITY
1 1/2" = 1'-0"



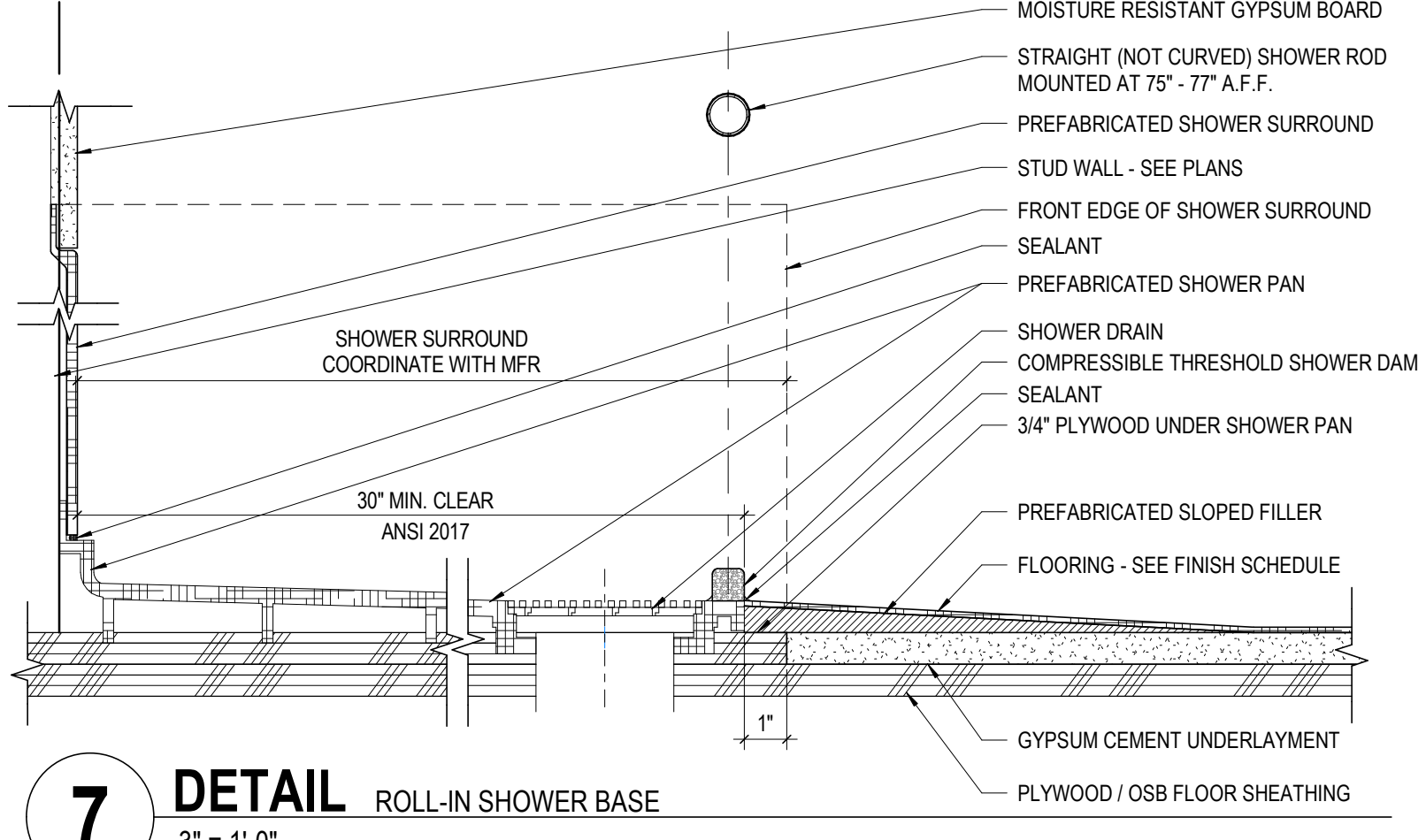
10 DETAIL ACCESSIBLE OPERABLE PARTS ANSI TYPE A & TYPICAL
1 1/2" = 1'-0"



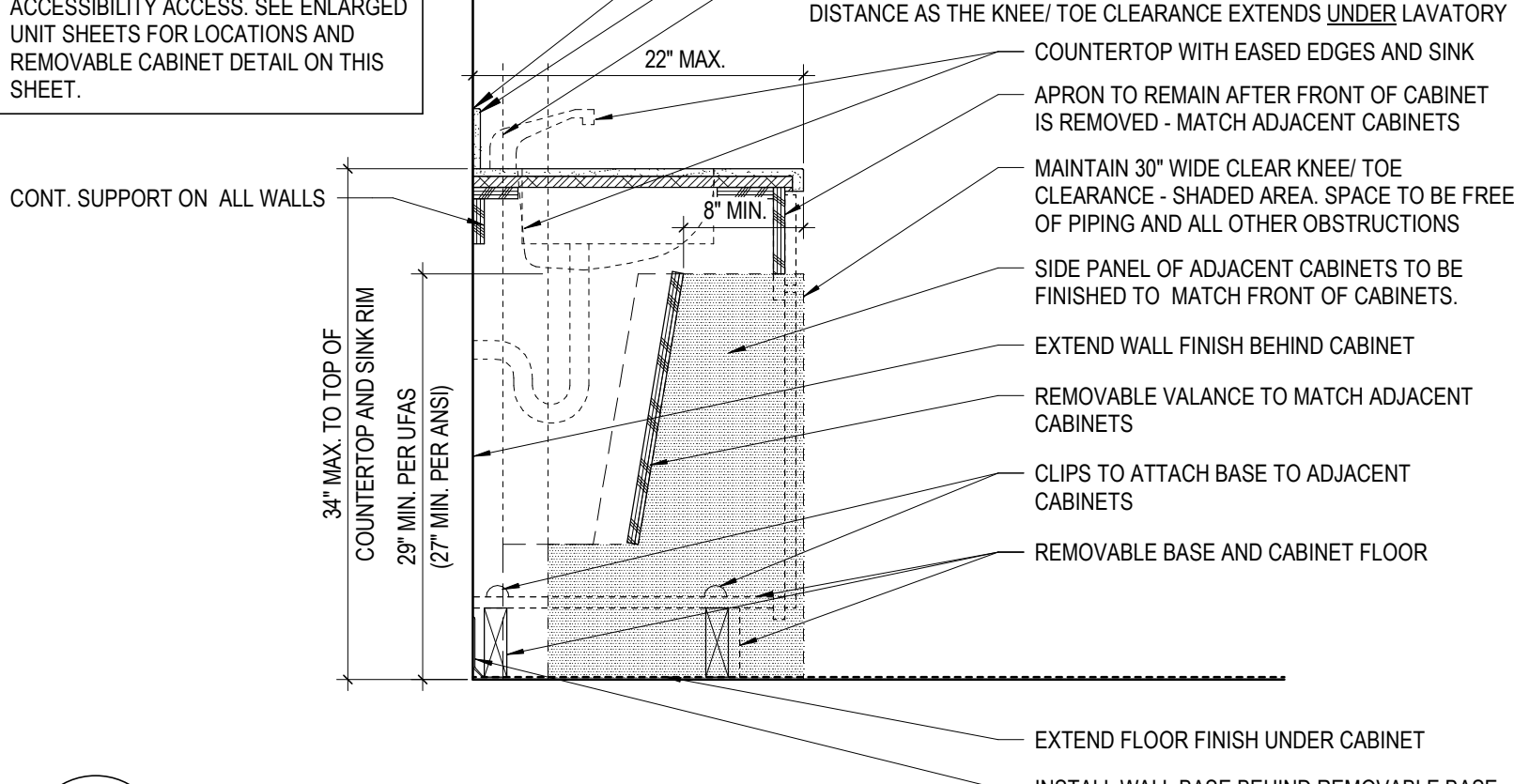
9 DETAIL TUB / SHOWER BLOCKING (TYPICAL)
1 1/2" = 1'-0"



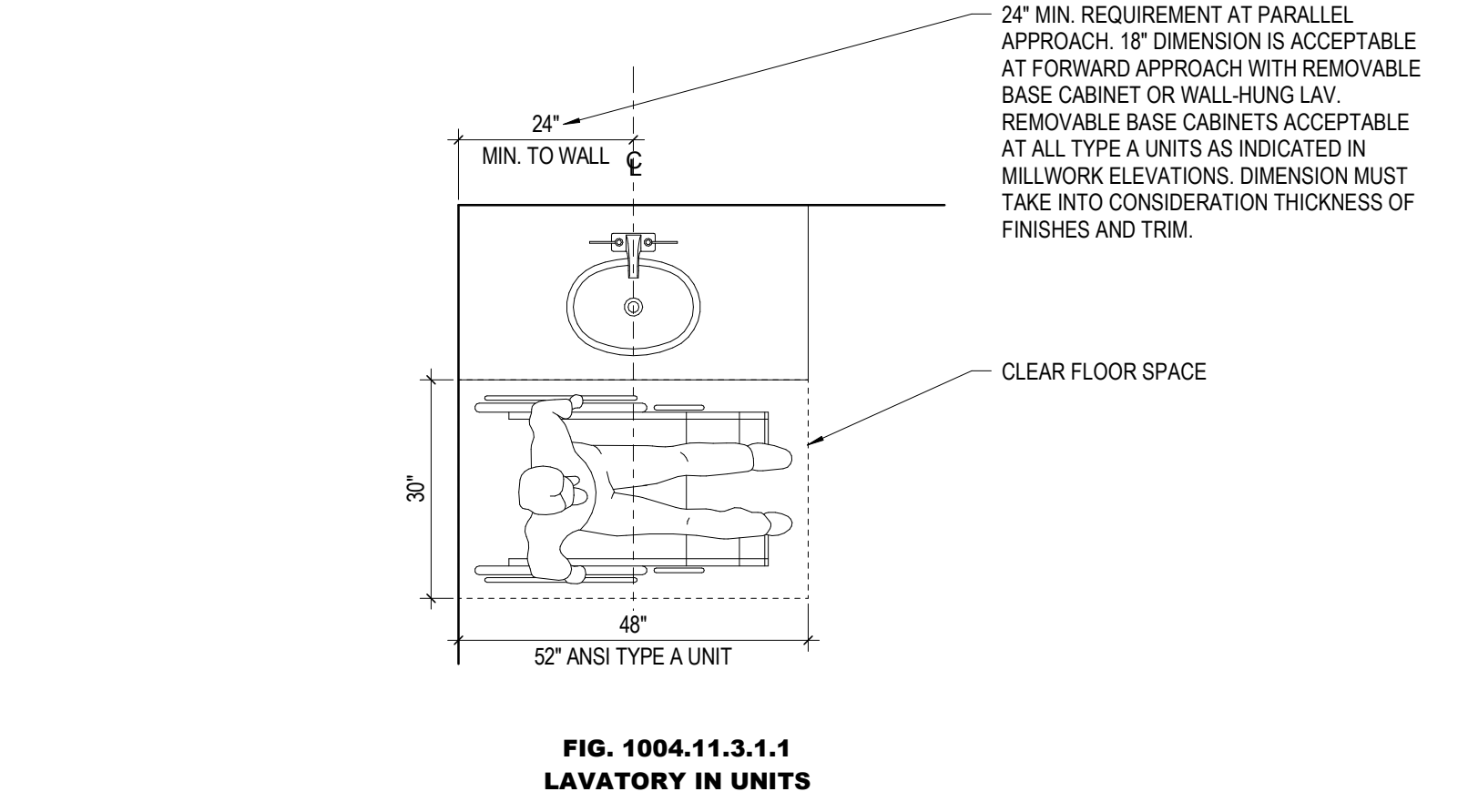
8 DETAIL SHOWER (SEMI-AMBULATORY UNIT)
1 1/2" = 1'-0"



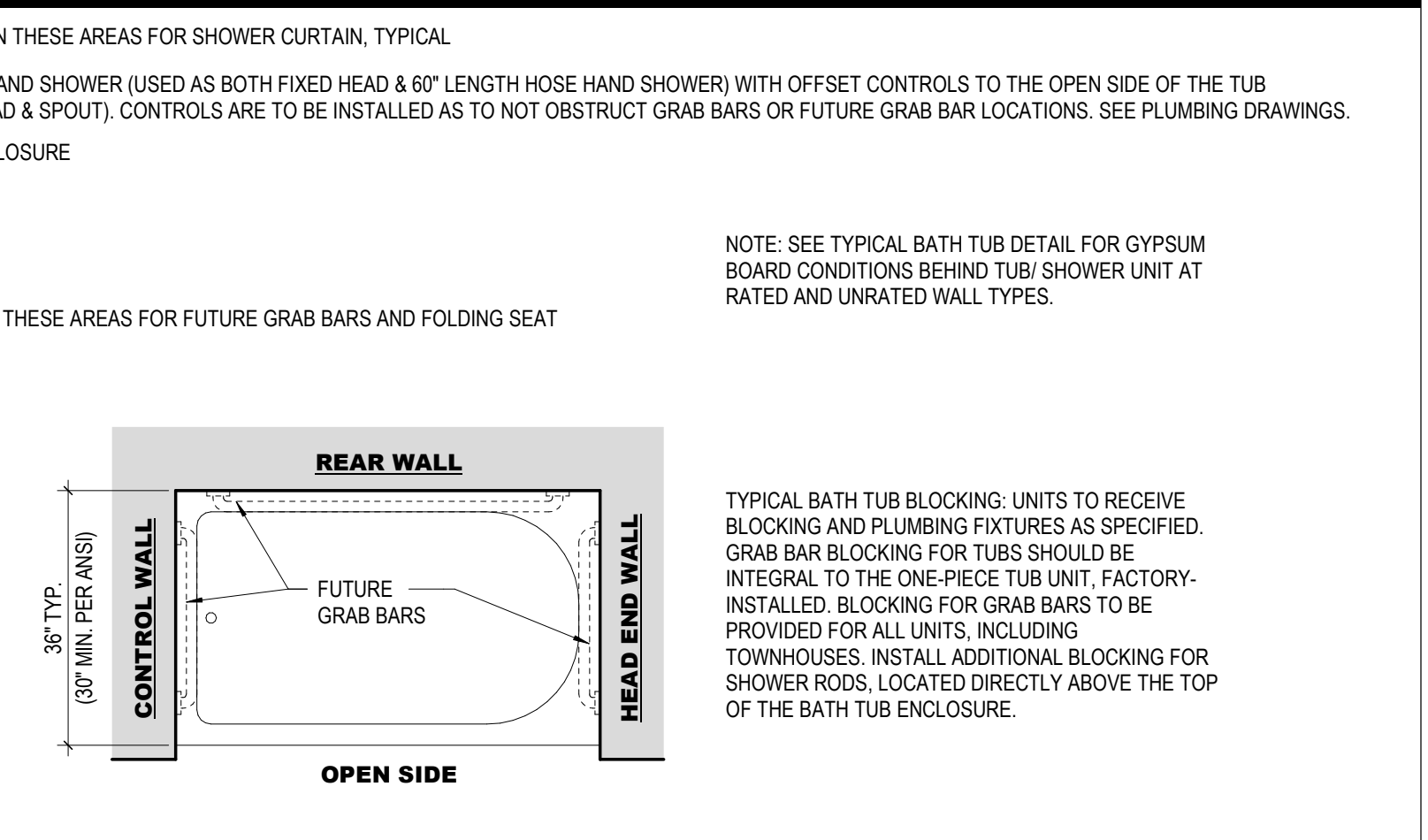
7 DETAIL ROLL-IN SHOWER BASE
3" = 1'-0"



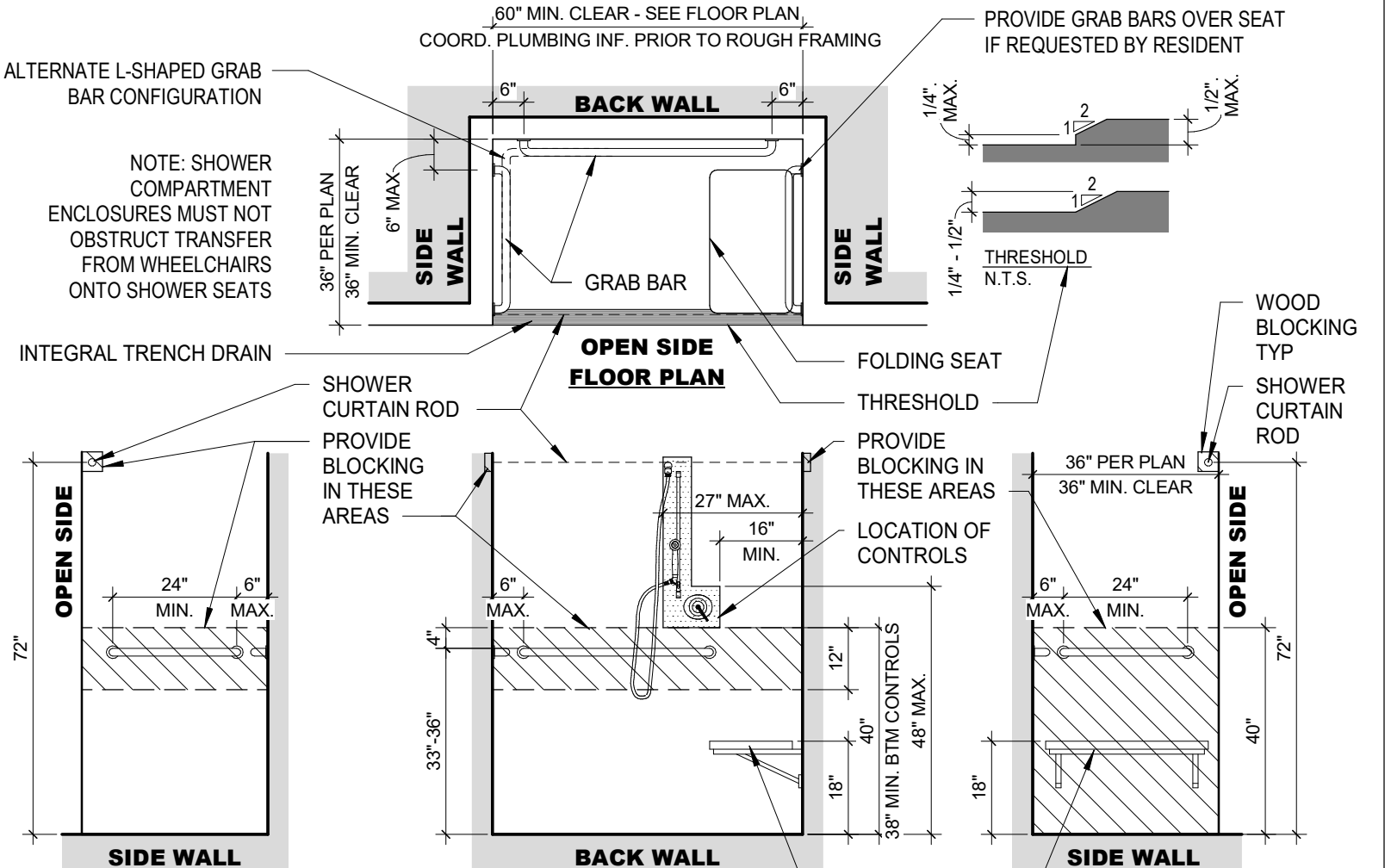
6 DETAIL REMOVABLE BASE CABINET
1" = 1'-0"



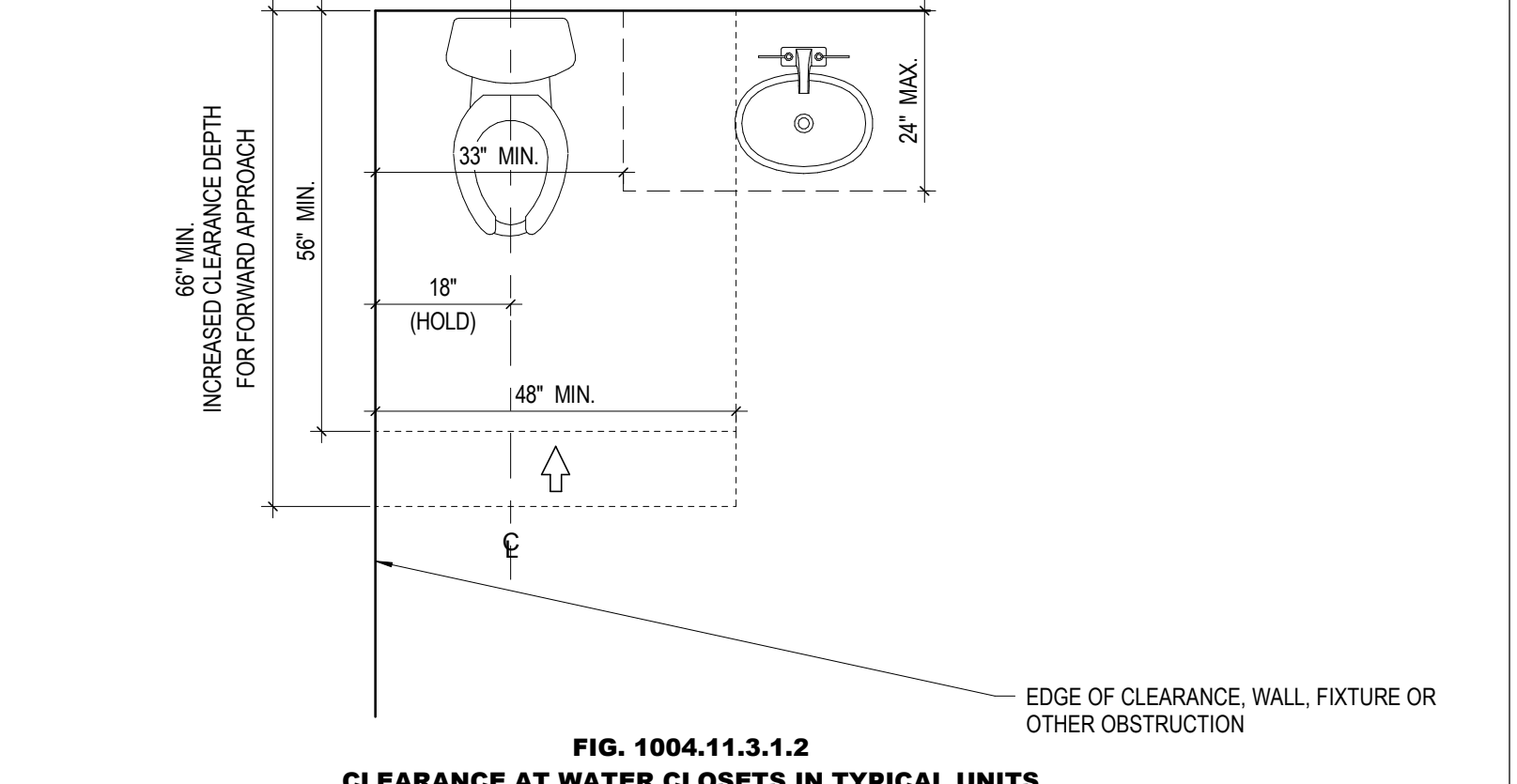
5 DETAIL LAV (ANSI TYPE A) AND TYPICAL UNIT
1 1/2" = 1'-0"



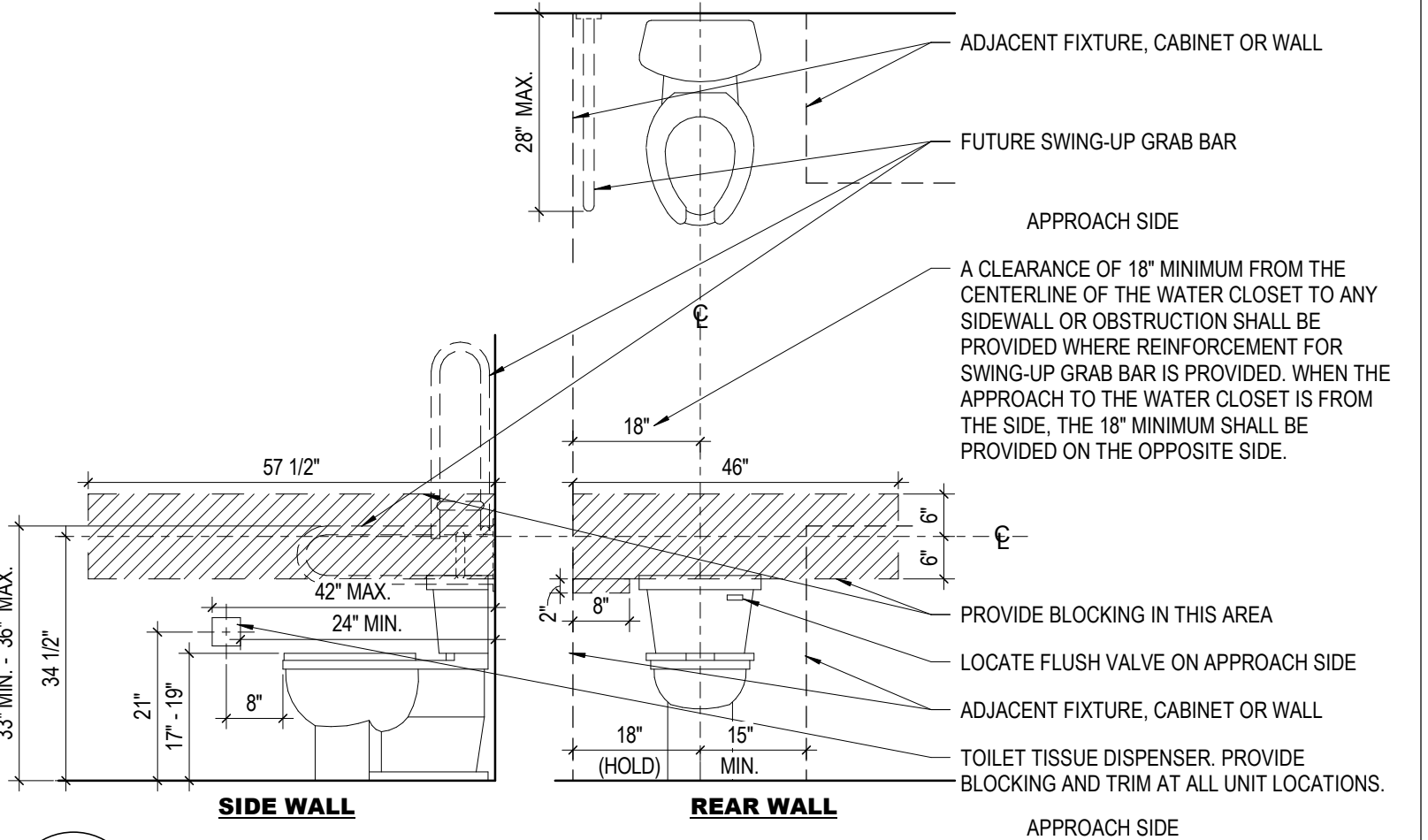
4 DETAIL ROLL-IN SHOWER WITH SEAT (ANSI TYPE A)
3/8" = 1'-0"



3 DETAIL TYP WC CLEARANCES
1 1/2" = 1'-0"



2 DETAIL TYP WC NON-CORNER BLOCKING
1 1/2" = 1'-0"



1 DETAIL TYP WC CORNER BLOCKING
1 1/2" = 1'-0"

#	DATE	CHANGE DESCRIPTION

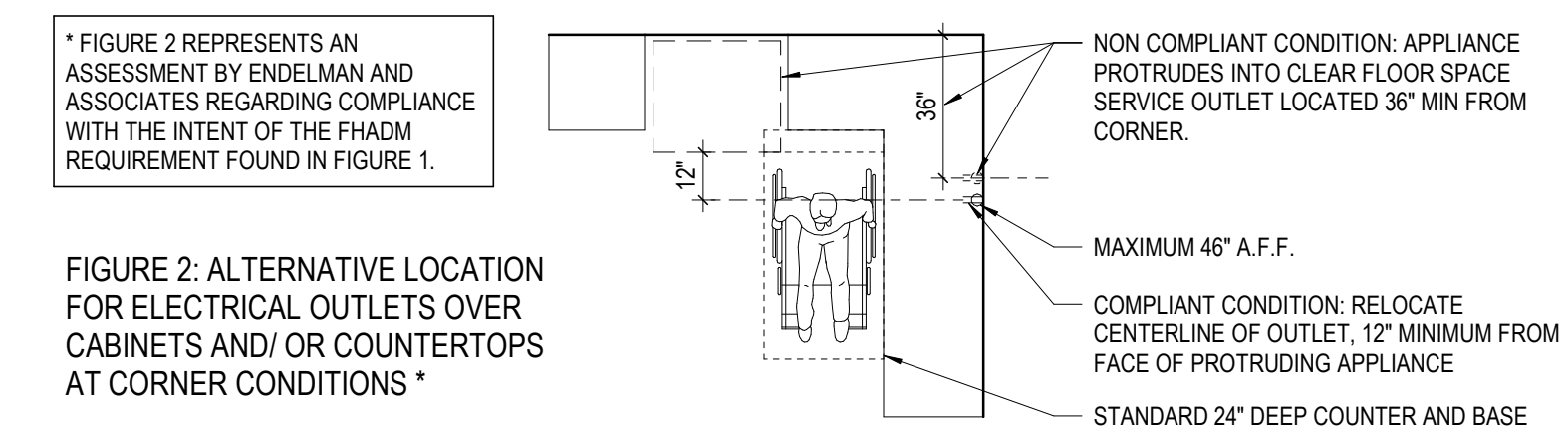
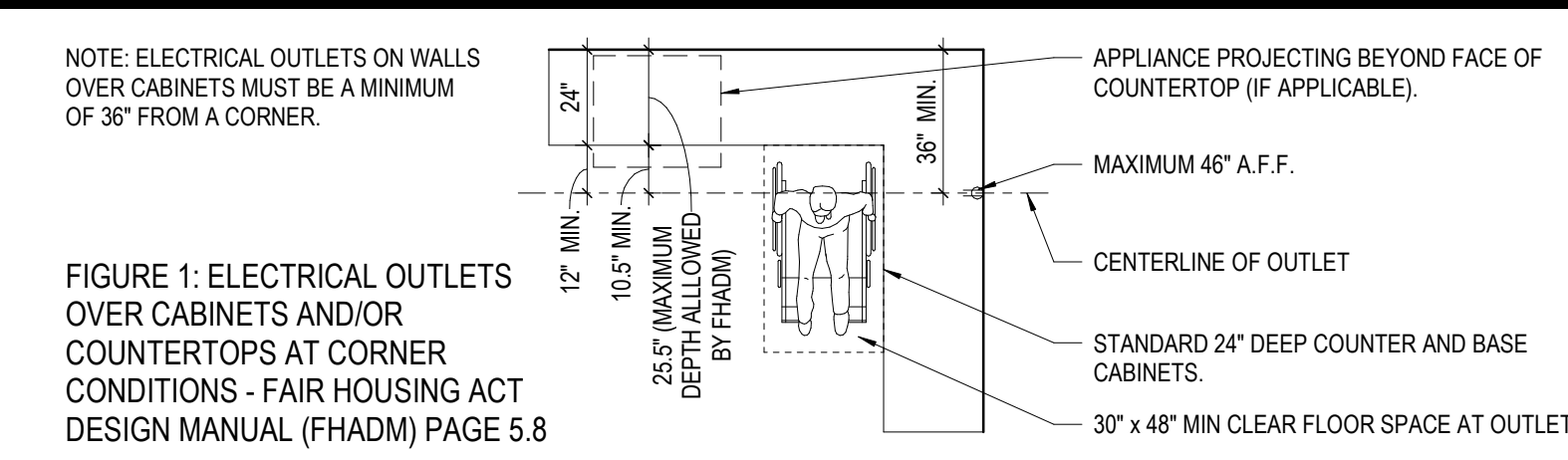
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MOODY-NOLAN ARCHITECTS
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PHONE: (614) 461-4664
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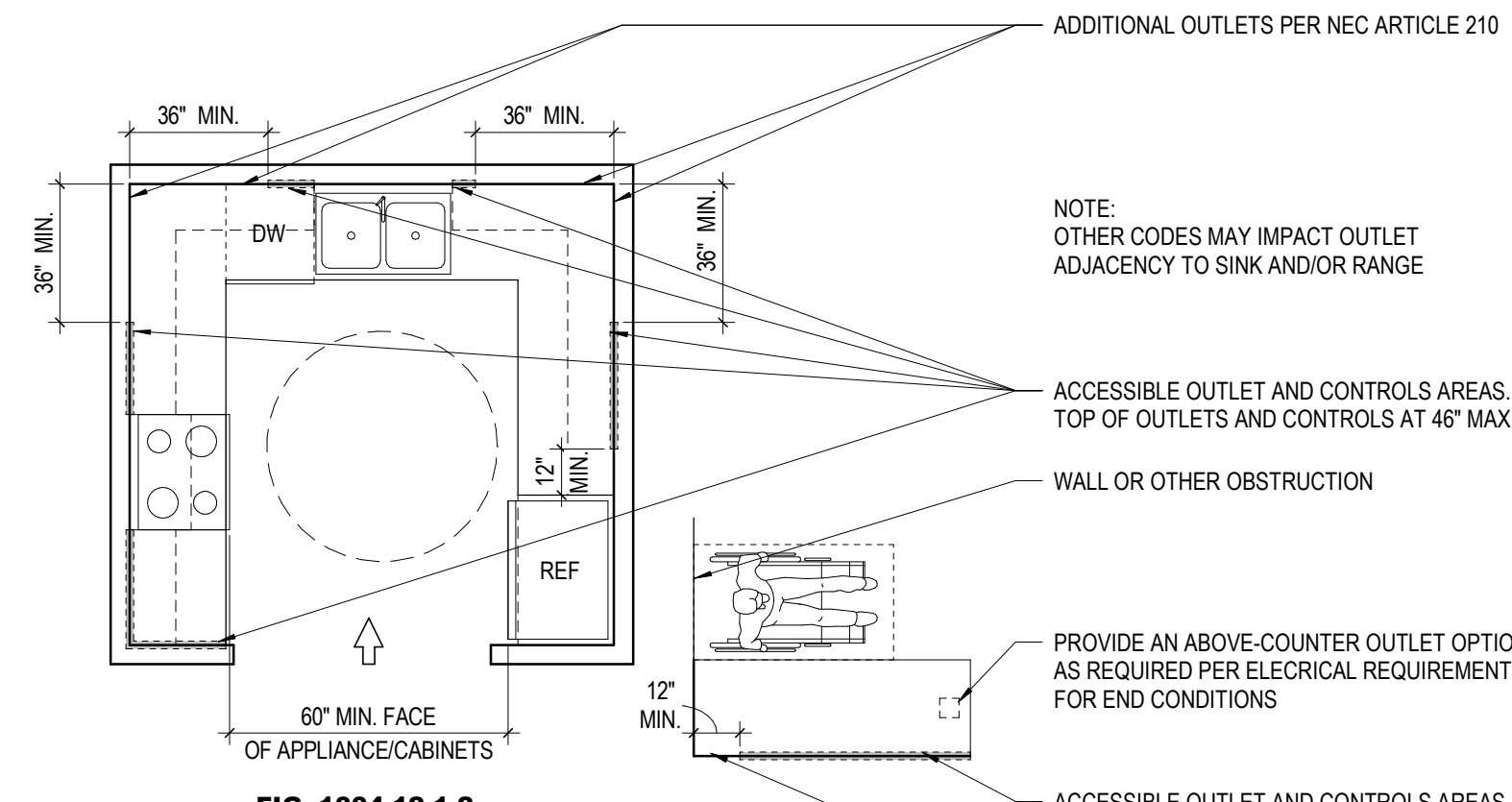
Moody Nolan CERTIFICATE NO. FIRM 00197475

TYPICAL PROJECT DETAILS

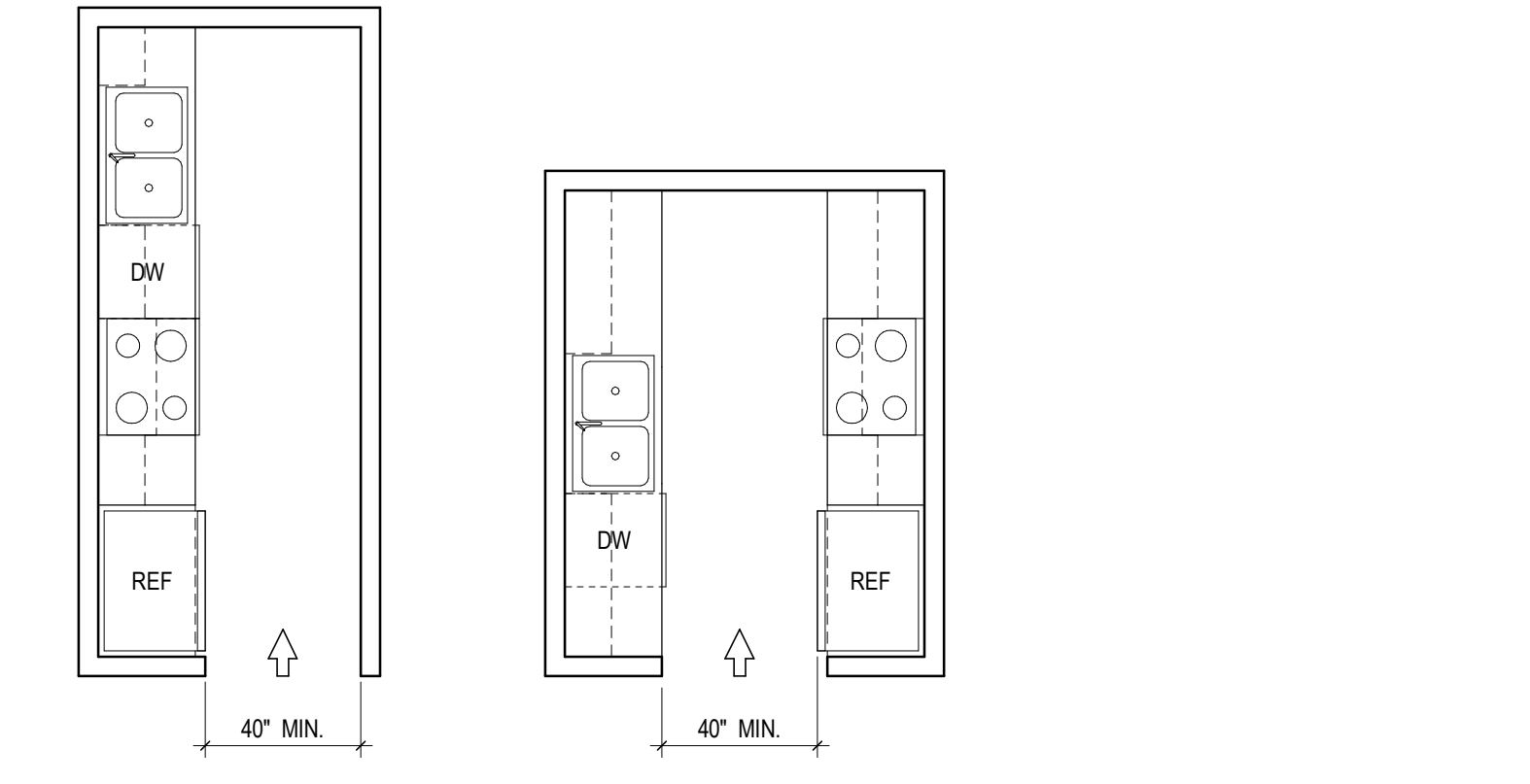
08/14/2025
DRAWN BY: xxx CHECKED BY: xxx
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A821
BID / PERMIT SET



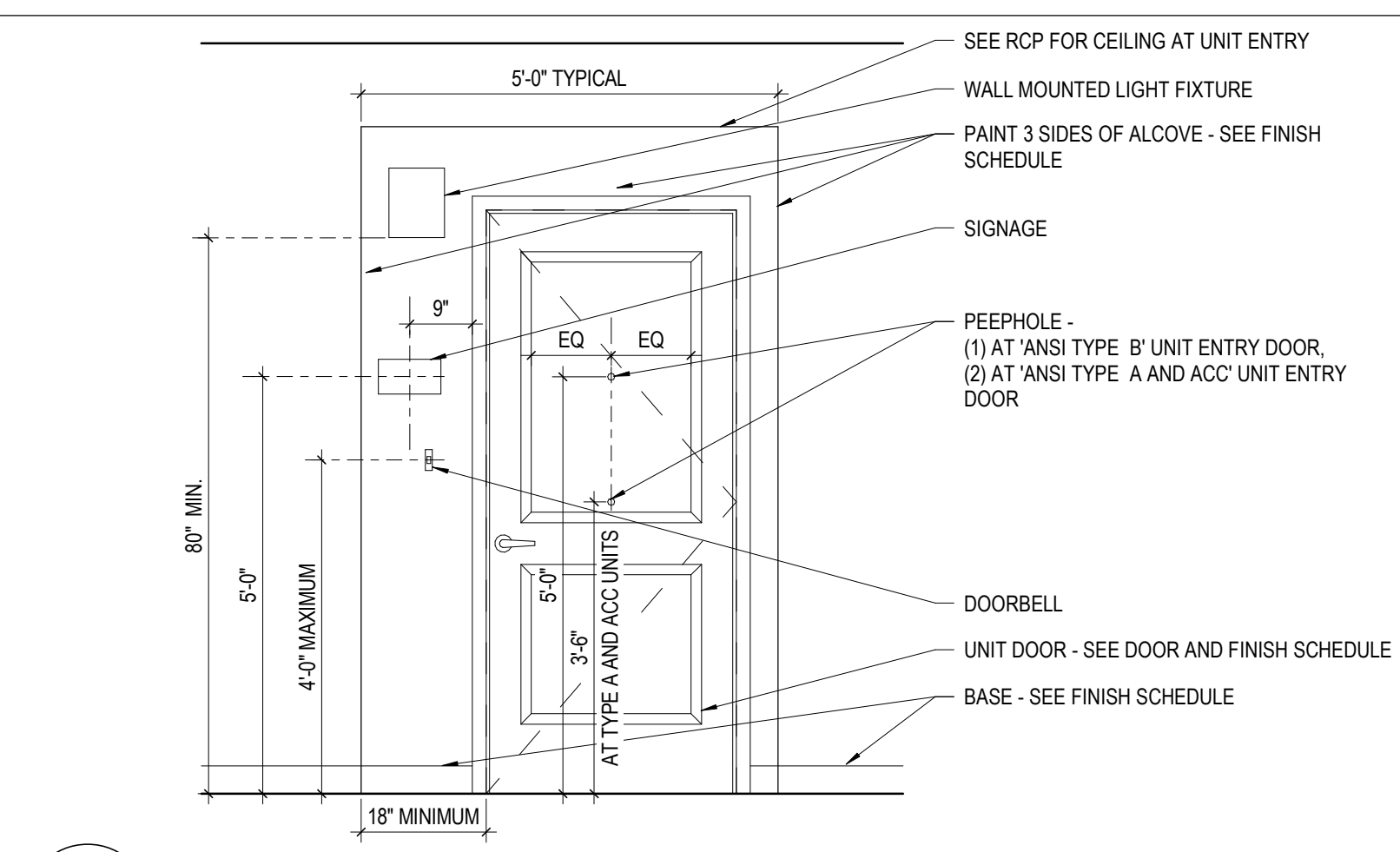
5 DETAIL FAIR HOUSING ACT DESIGN MANUAL (FHADM) PAGE 5.8
 1/4" = 1'-0"



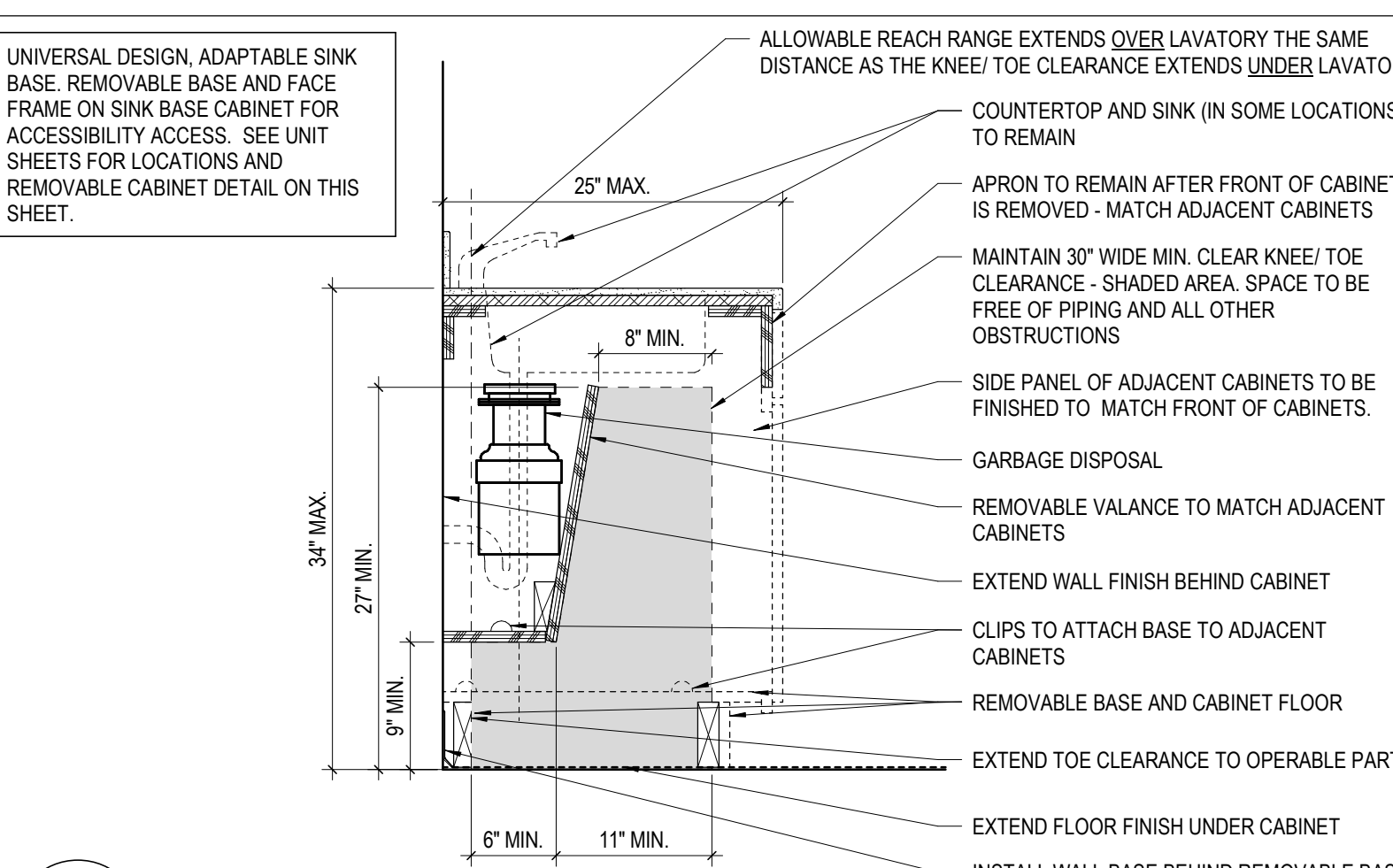
4 DETAIL DEVICE MOUNTING AT COUNTERS
 1/4" = 1'-0"



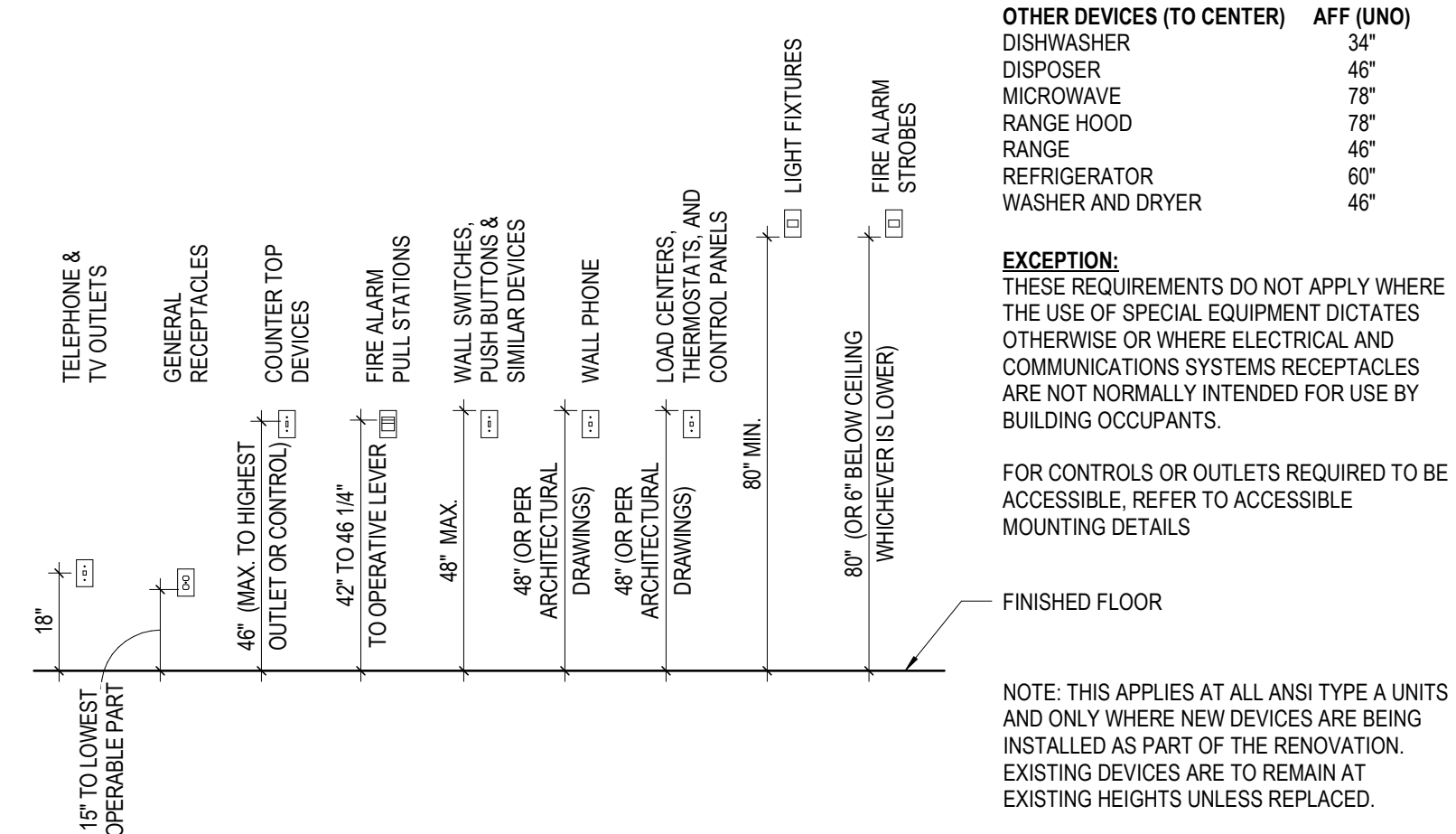
3 DETAIL KITCHEN CLEARANCES
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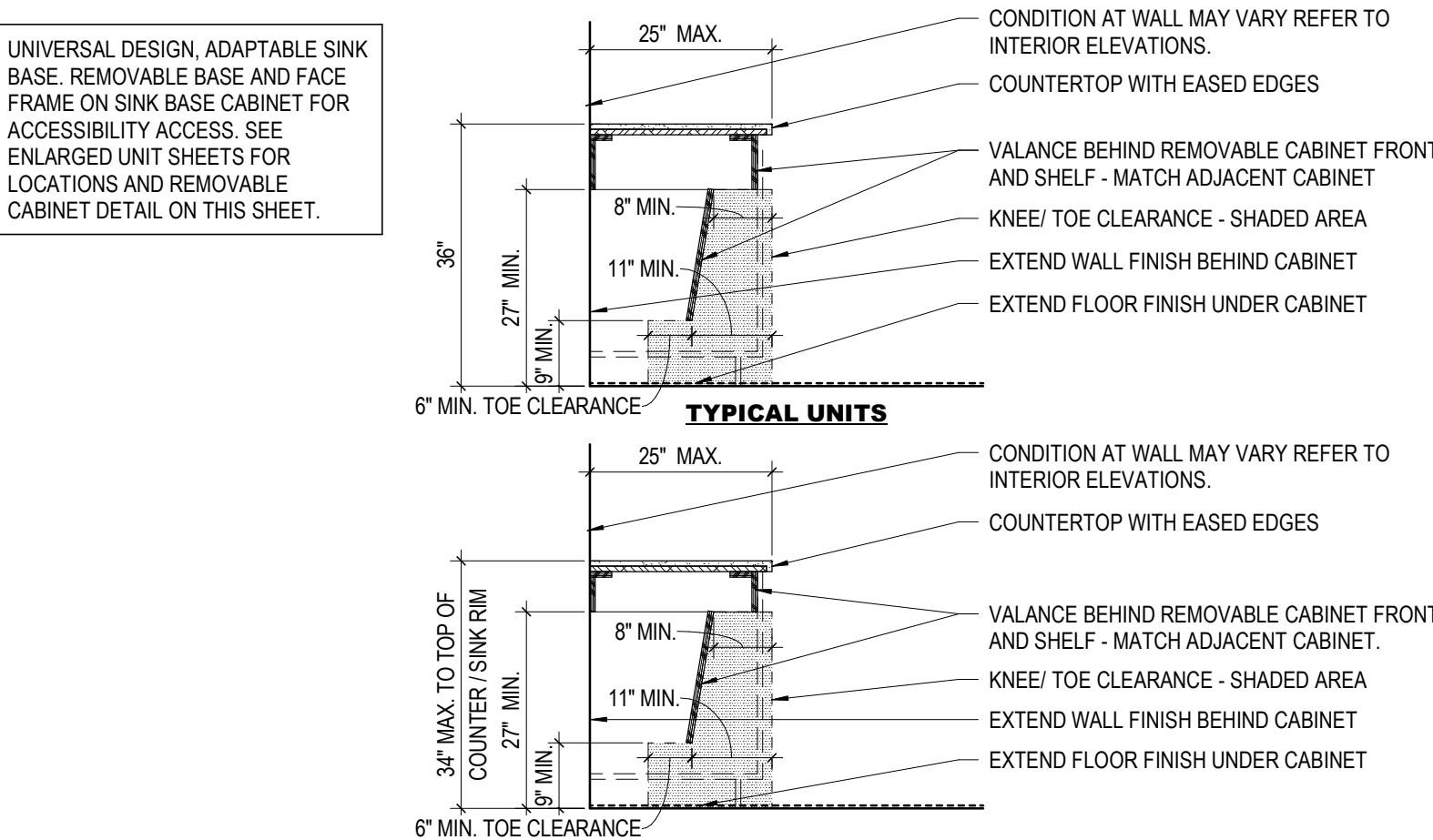
18 DETAIL UNIT ENTRY
 1/2" = 1'-0"



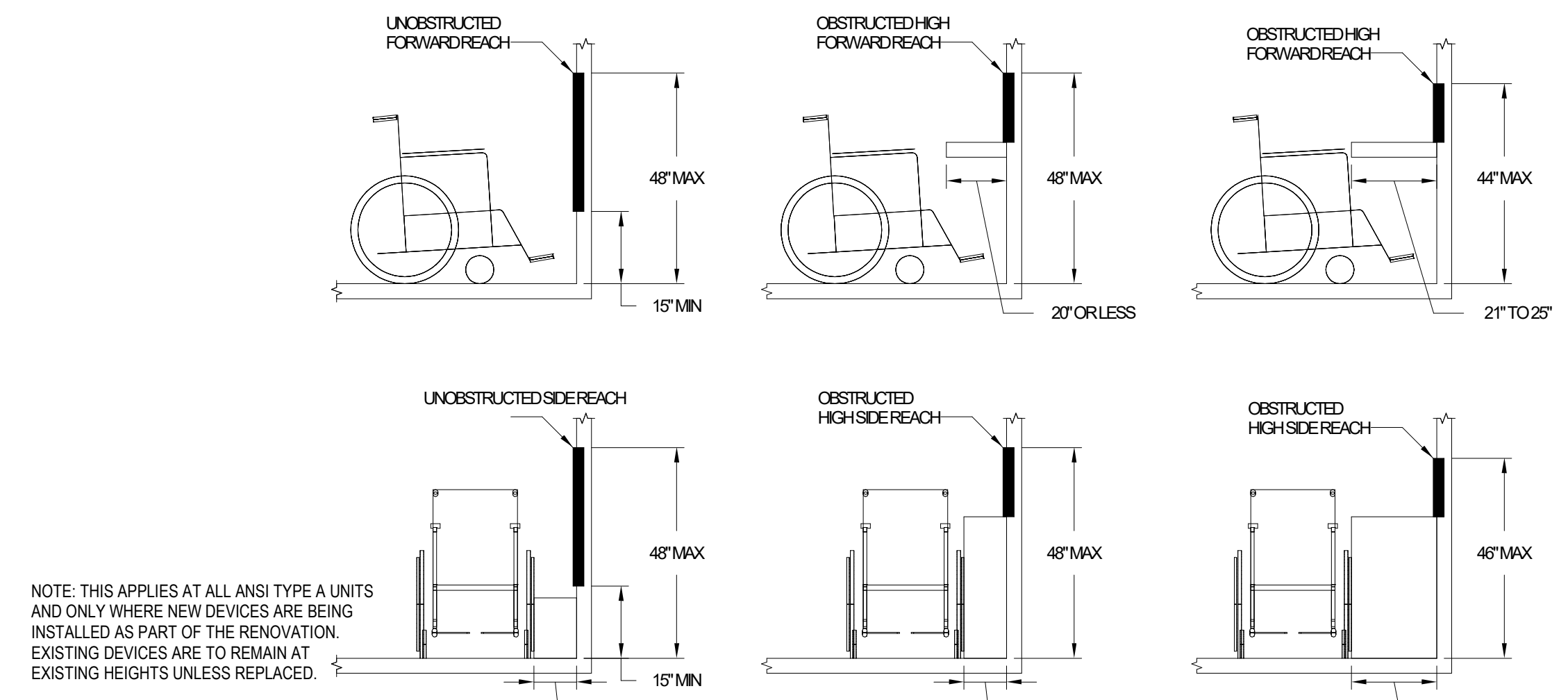
2 DETAIL REMOVABLE BASE CABINET AND VALANCE
 1" = 1'-0"



16 DETAIL GENERAL DEVICE MOUNTING HEIGHTS
 3/8" = 1'-0"



1 DETAIL KITCHEN WORK SPACE
 1/2" = 1'-0"



11 DETAIL DEVICE MOUNTING AT ACCESSIBLE ROUTES
 3/8" = 1'-0"

#	DATE	CHANGE DESCRIPTION

THE MEADOWS RAD RENOVATIONS
 COLUMBUS METROPOLITAN HOUSING AUTHORITY
 4855 PINEAL CREEK DRIVE
 COLUMBUS, OH 43110
 FOR COLUMBUS METROPOLITAN HOUSING AUTHORITY

Moody Nolan CERTIFICATE NO: FIRM 00197475

TYPICAL PROJECT DETAILS

08/14/2025
 DRAWN BY: XXXX CHECKED BY: XXXX
 18076.04
A822
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ELEVATION LEGEND

MR: PAPER-FACED MOISTURE RESISTANT GYPSUM BOARD
 FRP (BASE BID) WALL TILE (ALTERNATE)
 PGB: PAPERLESS GYPSUM BOARD

NOTES:

- MR and PGB LOCATIONS ARE FOR AREAS WHERE EXISTING GYPSUM BOARD IS BEING REPLACED FOR INSTALLATION OF NEW FIXTURE, OR IN POOR CONDITION. SEE NOTE CODED NOTE 22 AND GENERAL NOTES.
- AT ALL DWELLING UNITS AND COMMUNITY BUILDING: REPLACE GYPSUM BD AT ALL KITCHEN WALLS BEHIND WALL CABINETRY AND BACKSPLASH AREA (EXTENTS AS SHOWN). REPLACE GYPSUM BD BEHIND BATHROOM VANITIES AND WALL HUNG LAVS.
- AT TUBS AND SHOWERS REPLACE GYP. BD SUBSTRATE WHERE TUBS AND SHOWERS ARE BEING REPLACED.

- GENERAL NOTES - INTERIOR ELEVATIONS**
- AT UNITS, THE QUANTITY OF NEW CABINETS IS SIMILAR TO THE QUANTITY OF EXISTING CABINETS. FIELD VERIFY PER UNIT.
 - CONTRACTOR IS TO PROVIDE AND INSTALL RESIDENTIAL APPLIANCES. COORDINATE SIZES WITH CABINET AND MODEL MAKE WITH OWNER.
 - PROVIDE CABINET END PANEL, FINISHED BOTH SIDES. FULL DEPTH OF COUNTERTOP WHERE COUNTERTOP ABUTS APPLIANCES (1 1/2" THICK).
 - AT OPEN COUNTERTOPS, PROVIDE STEEL ANGLE BRACKET SUPPORTS AS SHOWN (OR AT 36" O.C. MAX) SURFACE MOUNTED ON WALL, SECURELY ATTACHED TO WALL FRAMING. PATCH WALL AS REQUIRED.
 - WATER SUPPLY AND DRAIN PIPES UNDER SINKS SHALL BE INSULATED.
 - WHERE NEW OR RELOCATED, INSTALL MIRROR/ED MIRRORING MEDICINE CABINET CENTERED OVER SINKS. MIRRORS ABOVE ACCESSIBLE LAVATORIES SHALL HAVE THE BOTTOM EDGE OF THE REFLECTING SURFACE 40" MAX AFF.
 - REFER TO SHEET 0001 FOR ADDITIONAL INFORMATION.
 - PREPARE EXISTING SUBSTRATE TO RECEIVE NEW BACKSPLASH. BACKSPLASH TO RUN THE CONTINUOUS LENGTH TO COUNTERTOP FROM TOP OF COUNTERTOP TO BOTTOM OF WALL CABINETS.
 - WHERE GYPSUM WALL BOARD INSTALLATION, PATCHING OR REPAIR WORK IS BEING DONE, PROVIDE PAPERLESS GYPSUM BOARD (PGB) BEHIND TOILETS. THE SPACE BETWEEN THE SHOWER ENCLOSURE, AND TO THE TOP OF TOILET TANKS, PROVIDE PGB AT SHOWER WALLS WHERE THE PGB WILL NOT HAVE AN EXPOSED FINISH EXCEPT 6 INCHES BEYOND SHOWER JAMBS (6 INCHES ABOVE SHOWER NIPPLE). PROVIDE PAPER-FACED MOISTURE RESISTANT GYPSUM BOARD (MR) ON CEILINGS WHERE BATHROOMS ARE ABOVE AND WITHIN FOUR (4) FEET HORIZONTALLY AND VERTICALLY OF ANY WATER SOURCES EXCEPT AT TOILET LOCATIONS WITH PGB. CONTRACTOR TO INSTALL ANY NEW DRYWALL TO ALIGN WITH FACE OF ADJACENT EXISTING DRYWALL PARTITIONS, TYP.

- GENERAL NOTES - CASEWORK**
- REFER TO SPECIFICATION MANUAL, SECTIONS 06-20-00 (FINISHED CARPENTRY) AND 06-40-00 (ARCHITECTURAL WOODWORK) FOR A COMPLETE ENUMERATION OF PERFORMANCE AND FABRICATION GUIDELINES.
 - GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING IN-WALL BLOCKING ADEQUATE FOR THE SUPPORT OF ALL CABINETS NOTED HEREIN. IN ADDITION, PROVIDE ADEQUATE IN-WALL BLOCKING FOR ANY ALL FINISH CARPENTRY OR ANCILLARY COMPONENTS (INCLUDING BUT NOT LIMITED TO WALL PANELS, MILLWORK, CUSTOM CASEWORK, GRAPHIC PANELS, BANNERS, ETC.) DESIGNED AND DETAILED HEREIN AS REGULARLY ATTACHED TO WALL ASSEMBLIES OR OTHER STRUCTURAL COMPONENTS. SEE SPECIFICATION SECTION 06 10 50 FOR BLOCKING REQUIREMENTS. NOTE: SPECIFIC TYPES OF BLOCKING ARE SHOWN IN DETAIL DRAWINGS ON 800 FOR CLARITY - THIS IS NOT TO BE TAKEN AS A FULL ACCOUNTING. GENERAL TYPICAL BLOCKING MAY OR MAY NOT BE SHOWN.
 - BATH COUNTERTOPS ARE TO INCLUDE A CONTINUOUS MATCHING 4" (6" IN ANSI TYPE A UNITS) BACKSPLASH (UNLESS SHOWN AND NOTED OTHERWISE). ALL BACKSPLASHES ASSUMED TO INCLUDE SIDESPLASHES AT ADJOINING WALLS AND/OR OTHER VERTICAL INTERRUPTIONS.
 - PLASTIC LAMINATE COUNTERTOPS ARE TO HAVE A 1 1/2" NOSING WITH A MATCHING DOELKN WOOD/TAPE VINYL EDGE BAND (MANUFACTURER'S BEST MATCH). EDGE BAND MATCHES TO BE SUBMITTED FOR APPROVAL PRIOR TO FABRICATION. UNDERSIDES OF COUNTERTOP ARE TO BE CLAD WITH BACKER SHEET.
 - FOR "WET" AREAS: COUNTERTOP/ BACKSPLASH SUBSTRATE TO BE MARINE GRADE MDF.
 - ALL SHELVES ARE ADJUSTABLE (UNLESS NOTED OTHERWISE) SUPPORTED ON NICKEL (SPOON-TYPE) SHELF PINS. RECEIVING HOLES TO BE SPACED 2" O.C.
 - FOR CABINETS AT INSIDE CORNERS: PROVIDE BLIND OR CORNER CABINET AS NOTED.
 - REFER TO FLOOR PLANS FOR CABINET LOCATIONS. SIZES PROVIDED ON ELEVATIONS ARE PROVIDED FOR REFERENCE. THE CONTRACTOR IS TO VERIFY EACH CABINET TYPE AND THE DIMENSION OF CABINETS TO MINIMIZE FILLERS REQUIRED.
 - PROVIDE 3/4" HIGH BASE CABINETS AT ALL ANSI TYPE A UNITS AND COMMUNITY ROOM KITCHEN.
 - REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
 - REFER TO SHEET A021 FOR ADDITIONAL INFORMATION.
 - AT ALL BASE CABINETS EXCEPT REMOVABLE BASE CABINETS & SINKS PROVIDE PULL-OUT DRAWERS.

- CODED NOTES**
- NOTE: SEE ENLARGED FLOOR PLANS, GENERAL NOTES, SPECIFICATIONS AND PROJECT DETAILS SHEETS FOR MOUNTING HEIGHT REQUIREMENTS AND ADDITIONAL INFORMATION ON TYPICAL ACCESSORIES AND FIXTURES.
- NEW RANGE HOOD, TYPICAL.
 - NEW CABINETS PER SPECIFICATIONS. TYPICAL. FIELD VERIFY EXACT SIZES.
 - UNIT KITCHEN BASE BID: NEW PLASTIC LAMINATE COUNTERTOP WITH RADIUS CORNERS AND DROP-IN SINK. UNIT KITCHEN ALTERNATE: NEW QUARTZ COUNTERTOP WITH EASED EDGES AND UNDERMOUNT SINK. KITCHEN COUNTERTOPS TO BE 34" A.F.F. IN ANSI TYPE A UNITS.
 - NEW RANGE PER SPECIFICATIONS.
 - ANSI TYPE A UNIT: NEW RANGE WITH FRONT CONTROLS PER SPECS. PROVIDE SKIRT AS NEEDED TO INSTALL COOKTOP AT 34" MAX. A.F.F. TO MATCH ADJACENT COUNTERTOP HEIGHT.
 - NEW REFRIGERATOR PER SPECIFICATIONS.
 - NEW SINK AND FAUCET WITH LEVER-TYPE HANDLE PER SPECIFICATIONS. INSTALL PLUMBING PIPE PROTECTION.
 - NOT USED.
 - UNIT KITCHEN BASE BID: NEW FRP BACKSPLASH, TYP. FIELD VERIFY EXACT SIZES.
 - UNIT KITCHEN ALTERNATE: NEW TILE BACKSPLASH, TYP. FIELD VERIFY EXACT SIZES.
 - REMOVABLE BASE CABINET, APPLIES TO UNIT WITH FIRST FLOOR BEDROOMS ONLY.
 - FINISHED END PANEL, TYP.
 - UNIT BATH BASE BID: NEW CULTURED MARBLE VANITY COUNTERTOP WITH BACKSPLASH, RADIUS CORNERS, AND INTEGRAL SINK BOWL. UNIT BATH ALTERNATE: NEW QUARTZ COUNTERTOP WITH BACKSPLASH, EASED EDGES, AND UNDERMOUNT SINK. ALL VANITY COUNTERTOPS TO BE 34" A.F.F.
 - EXISTING MIRROR/ED MIRRORING MEDICINE CABINET TO REMAIN IN TYPICAL UNITS. CLEAN AND RECALK.
 - ANSI TYPE A UNIT: EXISTING MIRROR/ED MIRRORING MEDICINE CABINET TO BE LOWERED. PATCH WALL AS REQUIRED.
 - NEW TOWEL RING. ADD 1/8" PAINTED WOOD TRIM W/ BEVELED EDGES ON WALL AROUND TOWEL RING.
 - NEW TOWEL BAR. ADD 1/8" PAINTED WOOD TRIM W/ BEVELED EDGES ON WALL AROUND TOWEL BAR.
 - NEW TOILET PAPER DISPENSER. ADD 1/8" PAINTED WOOD TRIM W/ BEVELED EDGES ON WALL AROUND TOILET PAPER DISPENSER.
 - NEW ROBE HOOK ON TOILET SIDE OF BATH DOOR.
 - ANSI TYPE A UNIT: NEW, COMPLIANT GRAB BARS AT W.C. AND ROLL-IN SHOWERS IN BATH.
 - ANSI TYPE A UNIT: NEW ROLL-IN SHOWER. MODIFY WALLS AS REQUIRED TO PROVIDE MIN. CLEARANCES. CONFIRM DIMENSIONS WITH FINAL SELECTION & MANUFACTURER'S INSTALLATION INSTRUCTIONS. CONTACT ARCHITECT REGARDING DIMENSIONAL DISCREPANCIES PRIOR TO UNIT WALL DEMOLITION CONSTRUCTION, IF REQUIRED. SEE PLUMBING DRAWINGS.
 - NEW SHOWER CURTAIN ROD. PROVIDE BLOCKING AS REQUIRED.
 - NEW VANITY LIGHT FIXTURE, CENTERED ABOVE VANITY MIRROR. SEE ELECTRICAL DRAWINGS.
 - GRAY HATCH REPRESENTS THE LOCATION & EXTENT OF PAPERLESS GYPSUM BOARD (PGB). CROSS-HATCH REPRESENTS THE LOCATION & EXTENT OF PAPER-FACED MOISTURE RESISTANT GYPSUM BOARD (MR). REFER TO GENERAL NOTES FOR MORE INFORMATION.

#	DATE	CHANGE DESCRIPTION

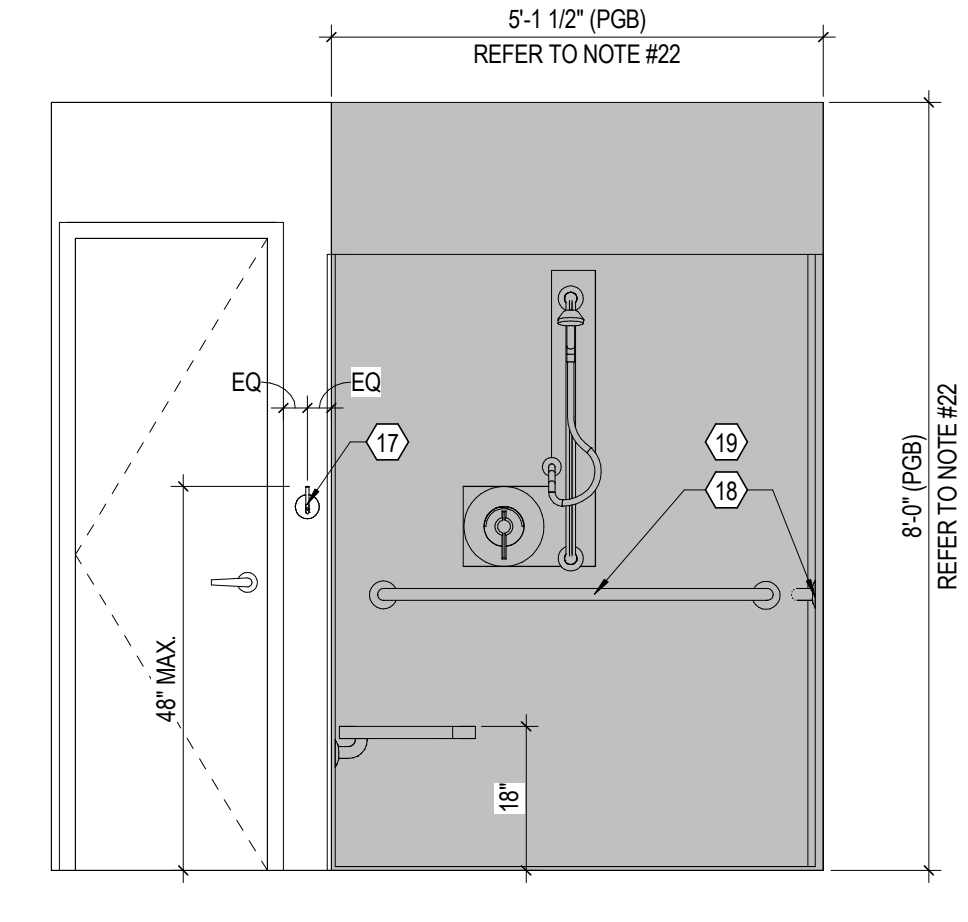
THE MEADOWS RAD RENOVATIONS
 COLUMBUS METROPOLITAN HOUSING AUTHORITY
 4855 PINTAL CREEK DRIVE
 COLUMBUS, OH 43110
 FOR

COLUMBUS METROPOLITAN HOUSING AUTHORITY
 300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881

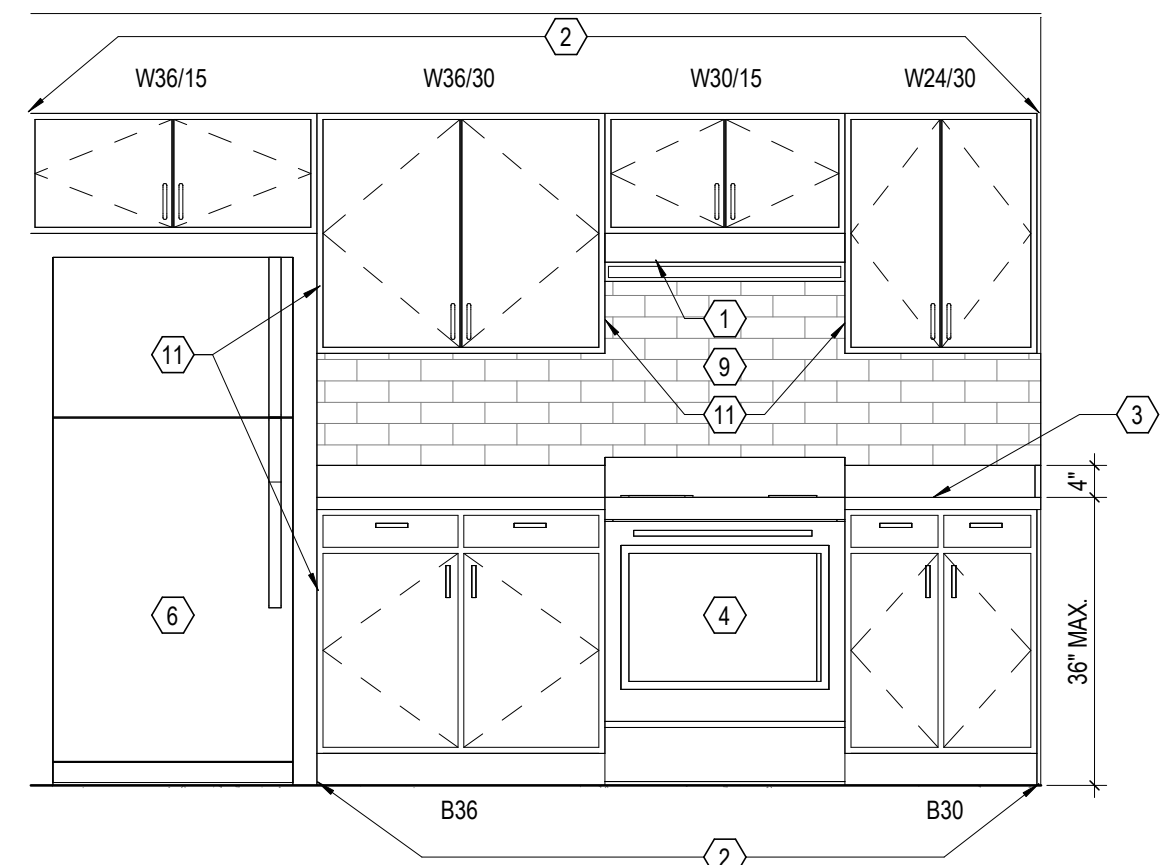
Moody Nolan CERTIFICATE NO. FIRM 00197475

DRAWING TITLE: **INTERIOR ELEVATIONS**

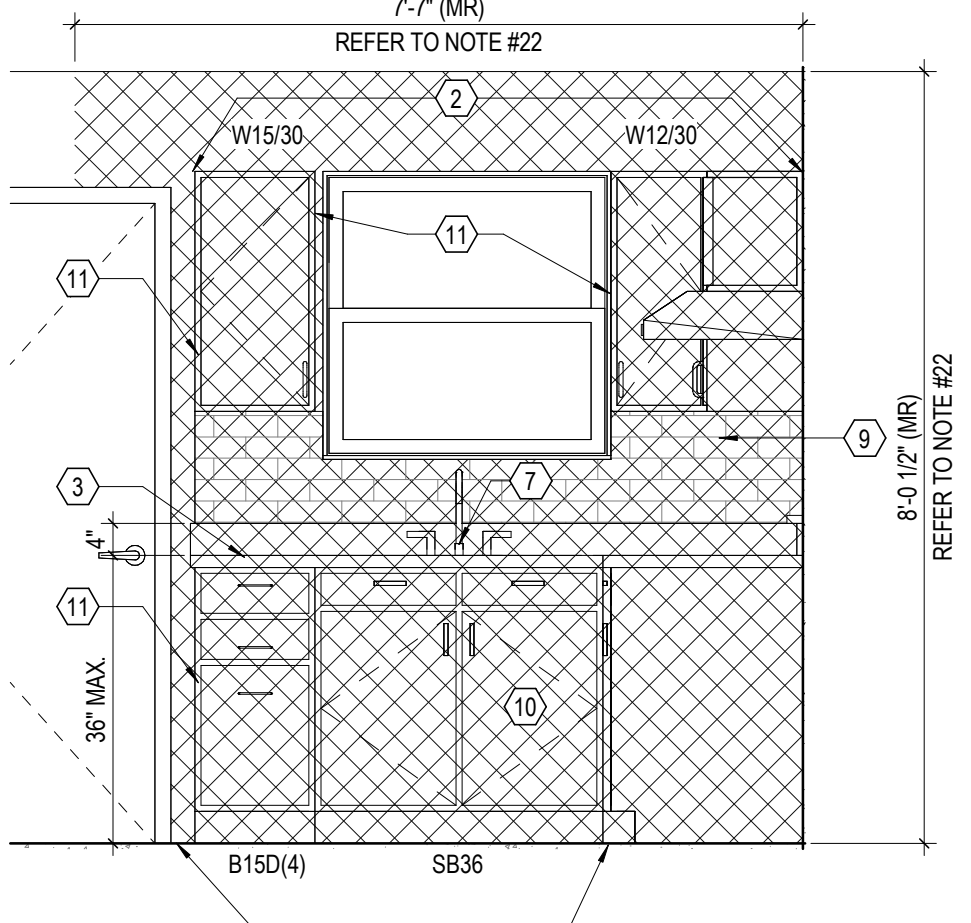
08/14/2025
 DRAWN BY: xxx CHECKED BY: xxx
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 JAY W. BOONE, LIC. #10740
 EXP. DATE: 12/31/2025
 BID / PERMIT SET



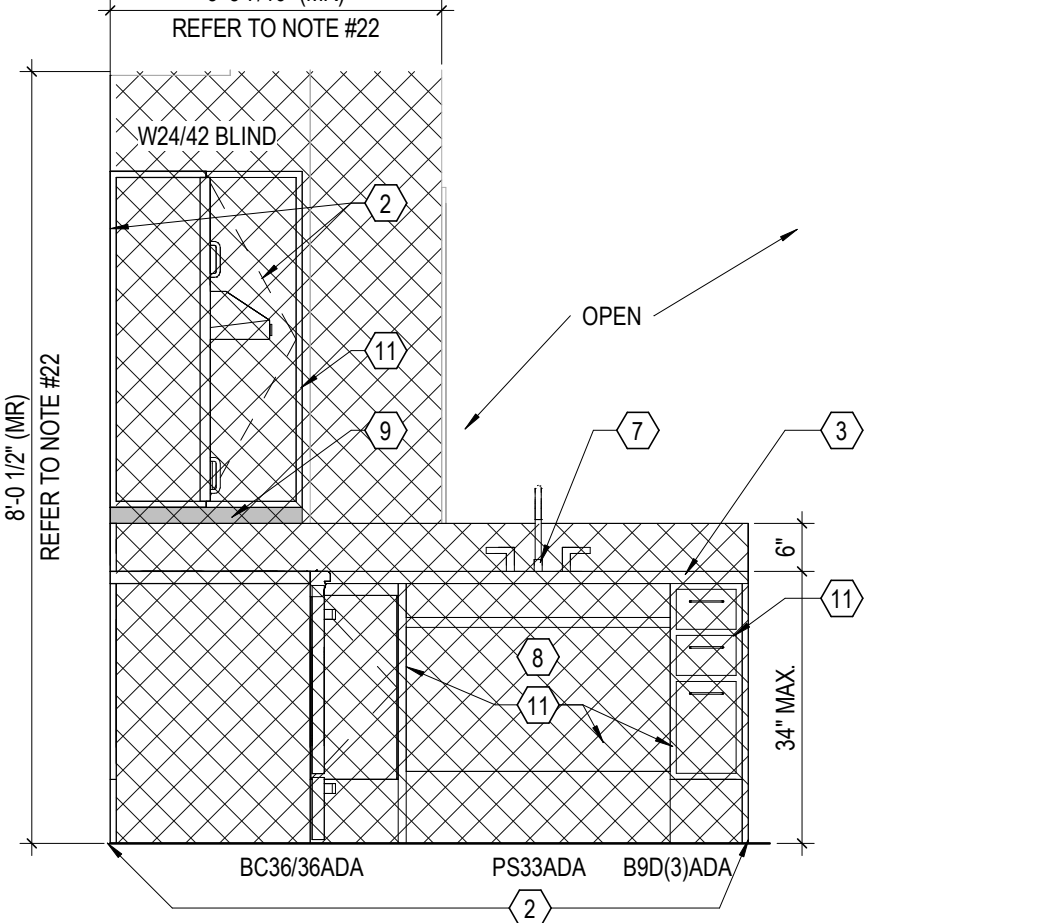
16 ELEVATION UNIT 2-B (ANSI TYPE A) BATH ELEVATION C
 1/2" = 1'-0" REF: 1 / A810



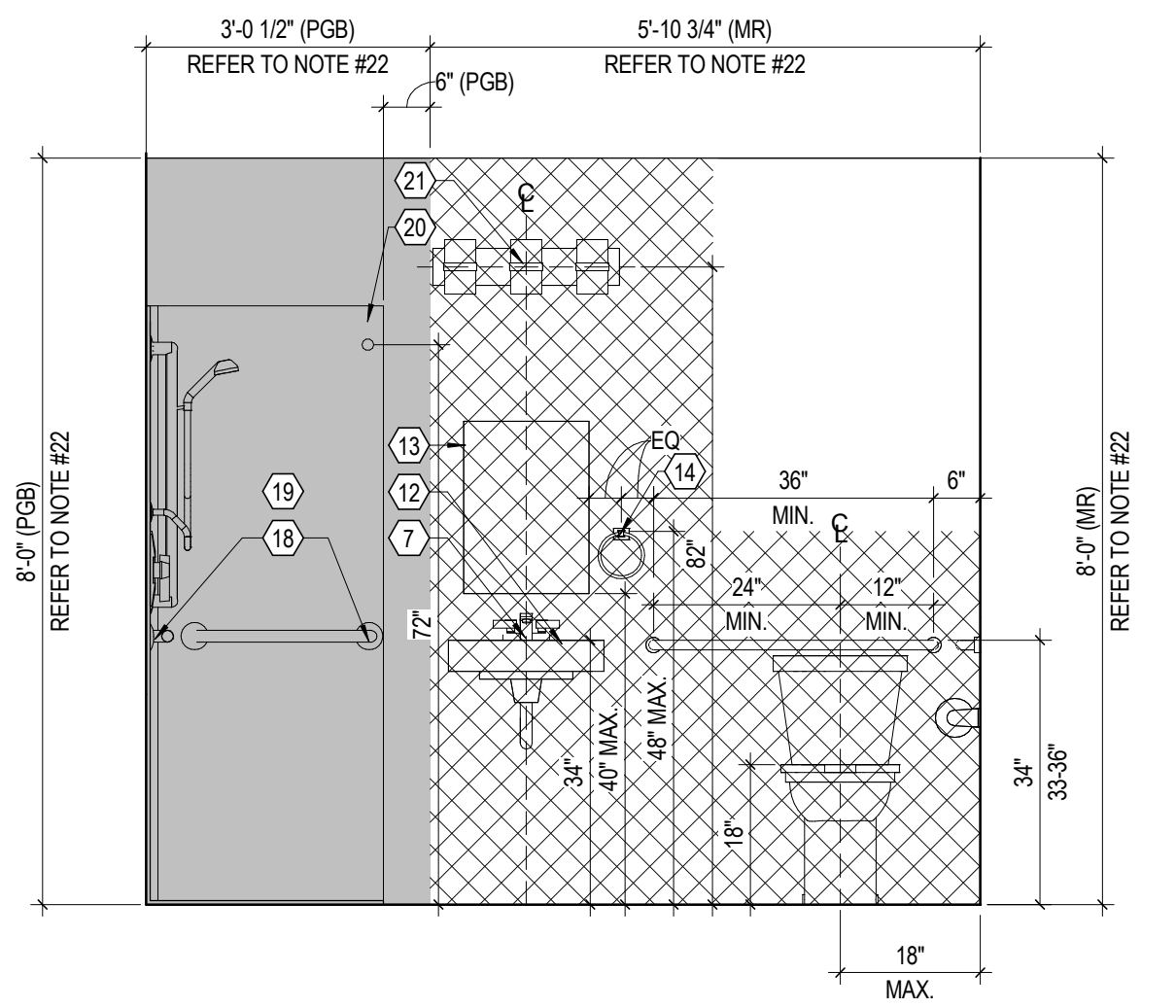
12 ELEVATION UNIT 4-A KITCHEN ELEVATION A
 1/2" = 1'-0" REF: 3 / A811



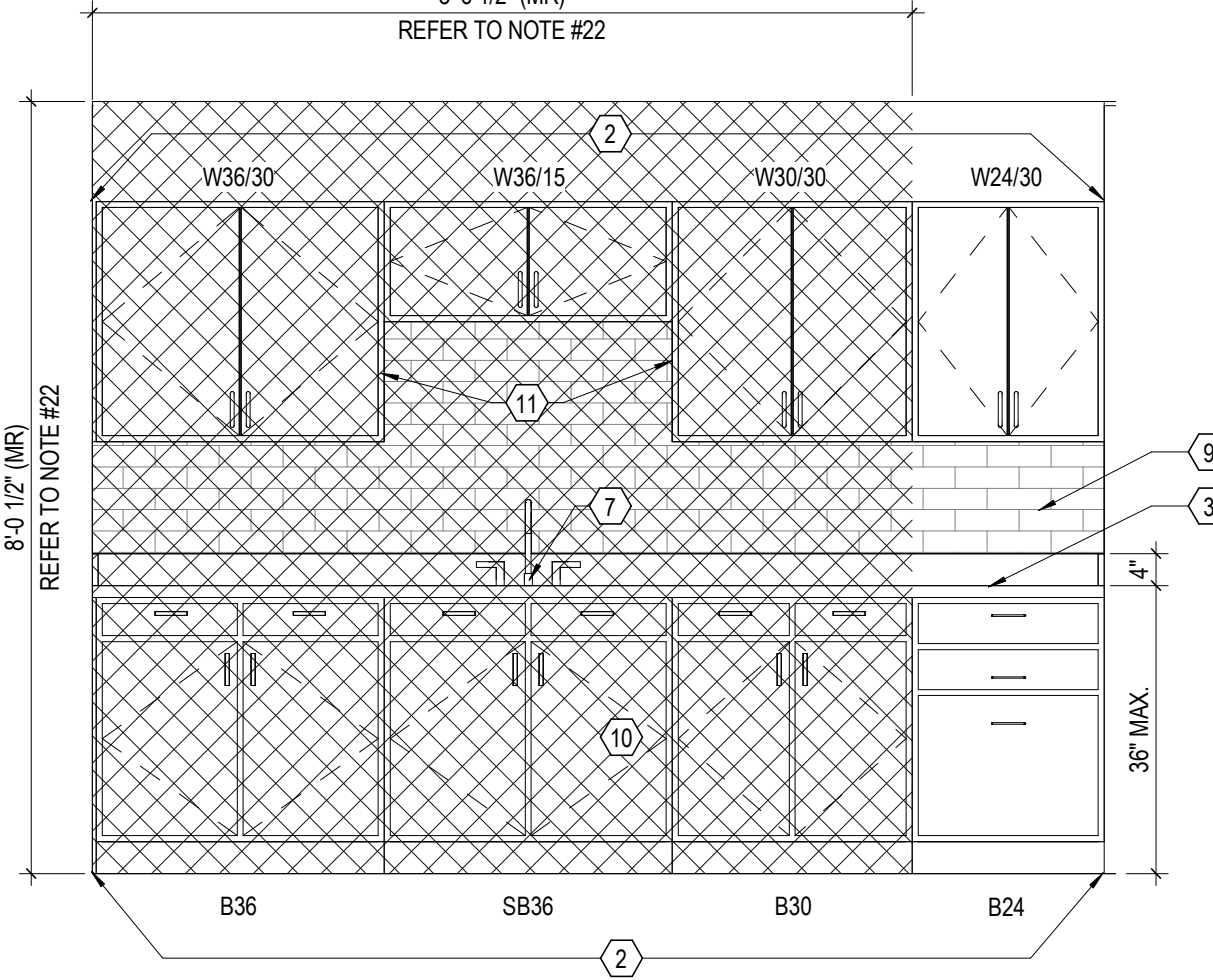
8 ELEVATION UNIT 3-A KITCHEN ELEVATION C
 1/2" = 1'-0" REF: 1 / A201



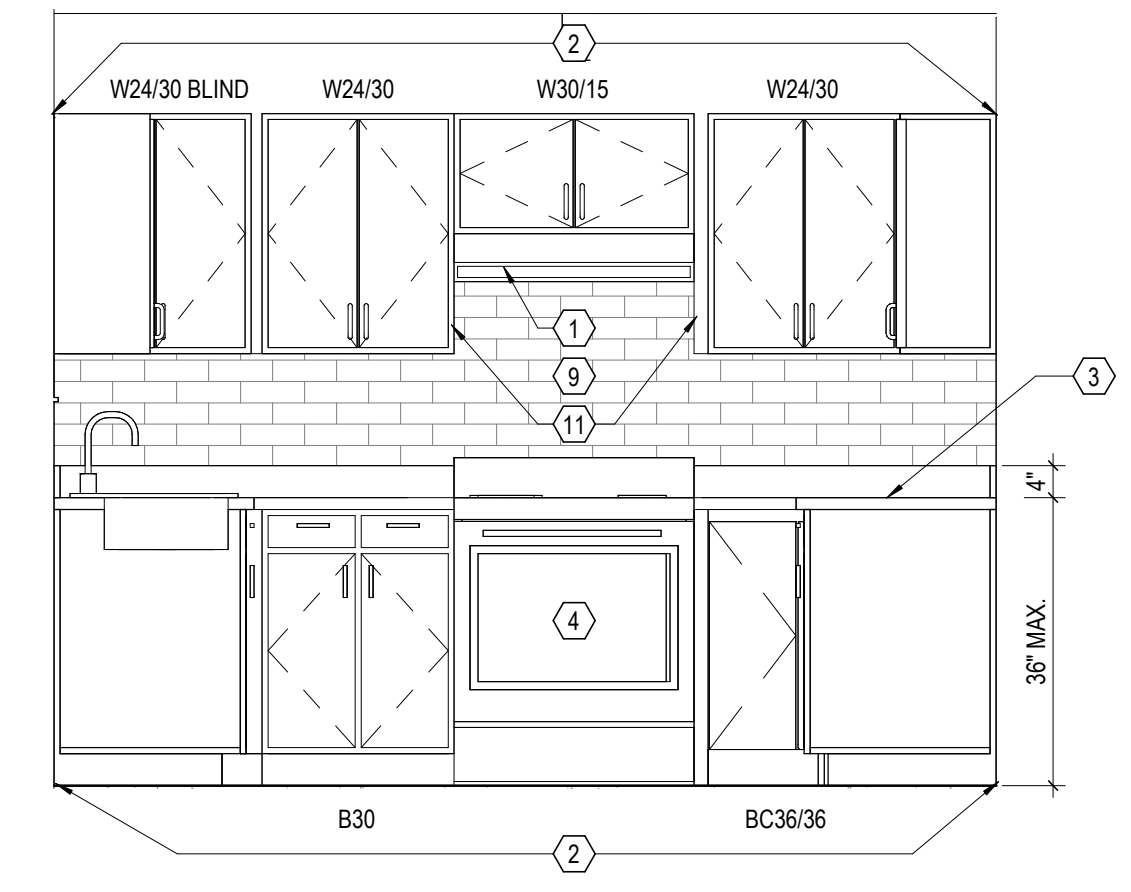
4 ELEVATION UNIT 2-B (ANSI TYPE A) KITCHEN ELEVATION A
 1/2" = 1'-0" REF: 1 / A810



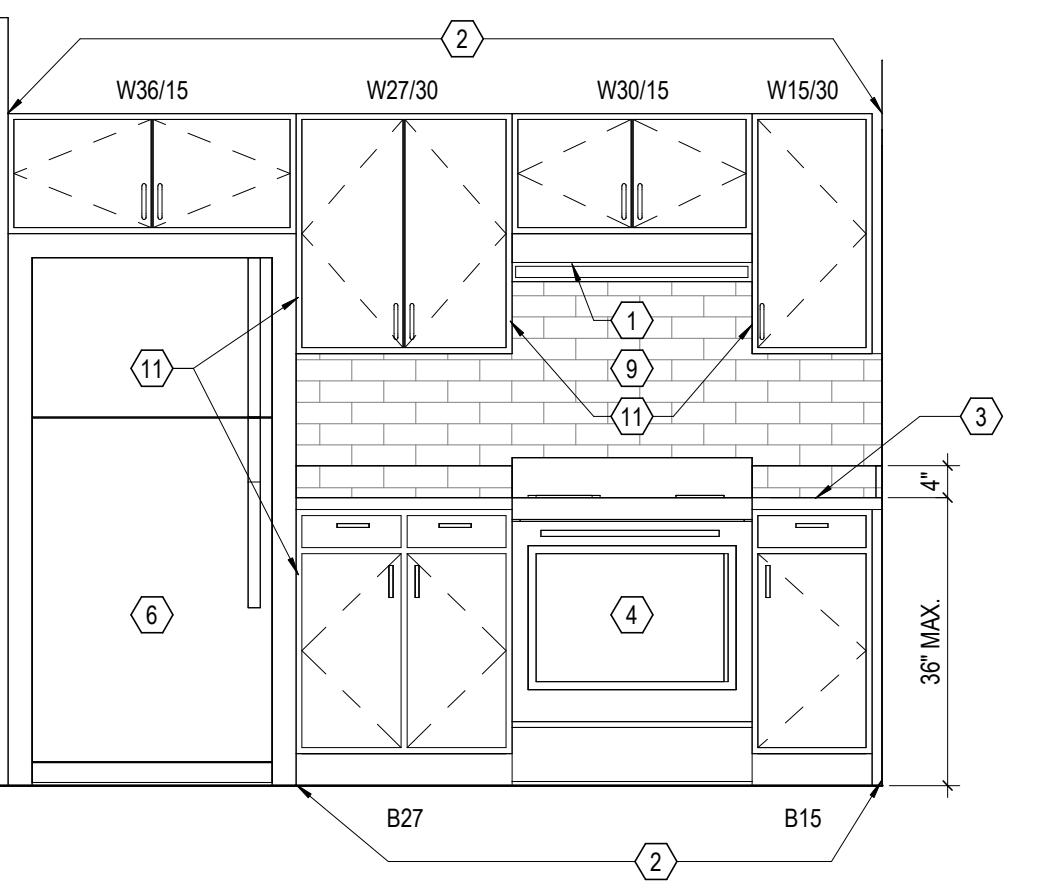
15 ELEVATION UNIT 2-B (ANSI TYPE A) BATH ELEVATION B
 1/2" = 1'-0" REF: 1 / A810



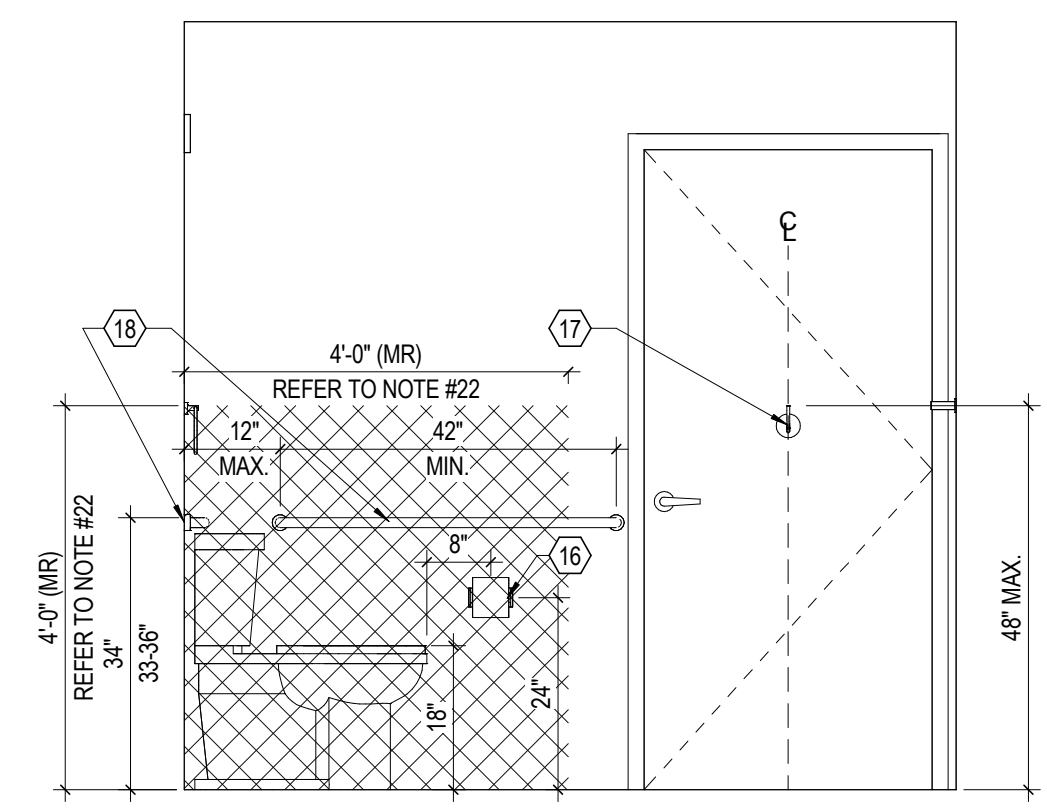
11 ELEVATION UNIT 3-B KITCHEN ELEVATION B
 1/2" = 1'-0" REF: 1 / A811



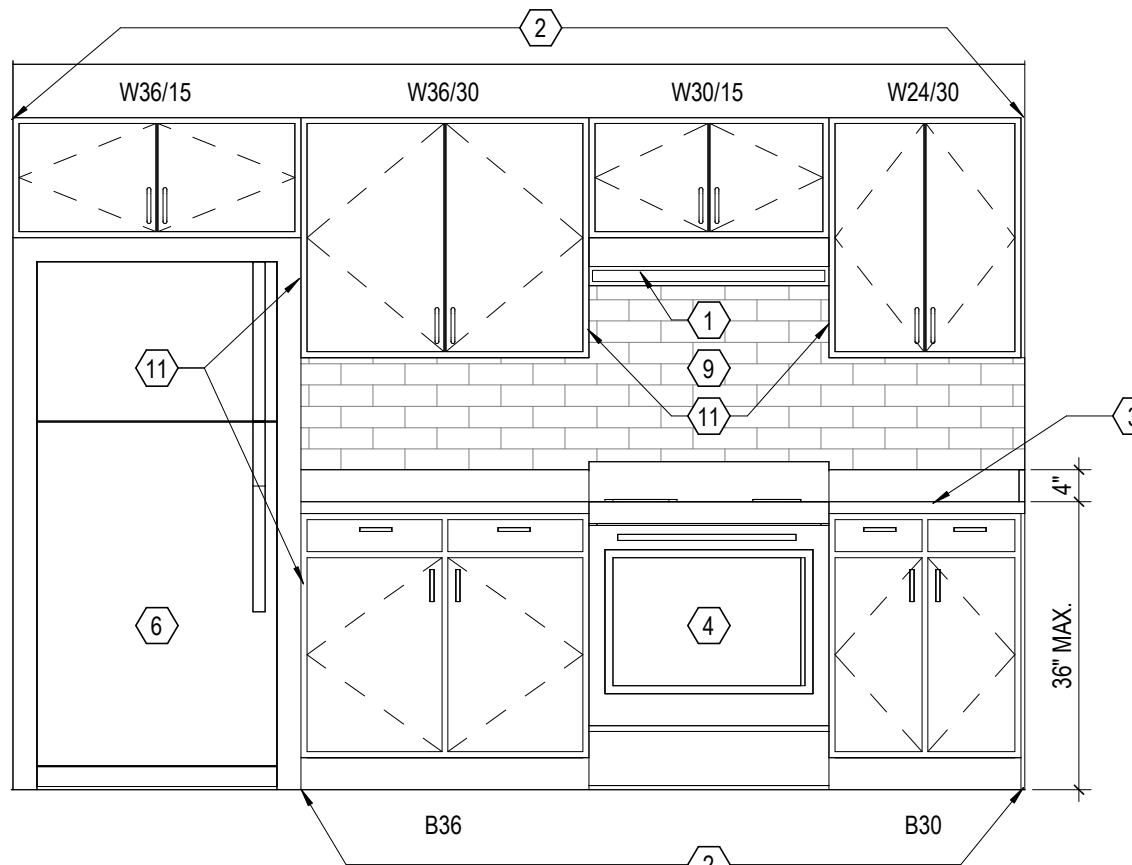
7 ELEVATION UNIT 3-A KITCHEN ELEVATION B
 1/2" = 1'-0" REF: 1 / A201



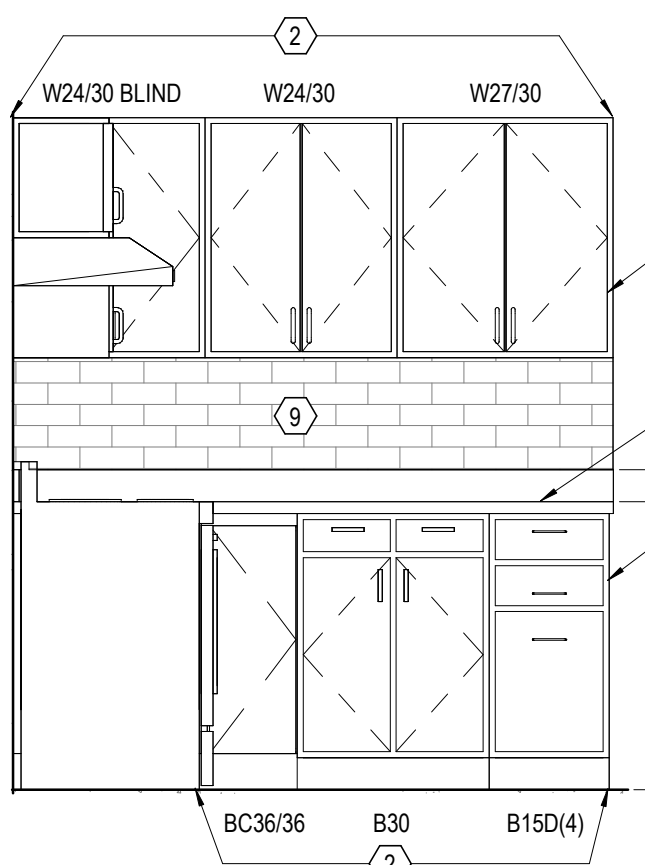
3 ELEVATION UNIT 2-A KITCHEN ELEVATION B
 1/2" = 1'-0" REF: 3 / A810



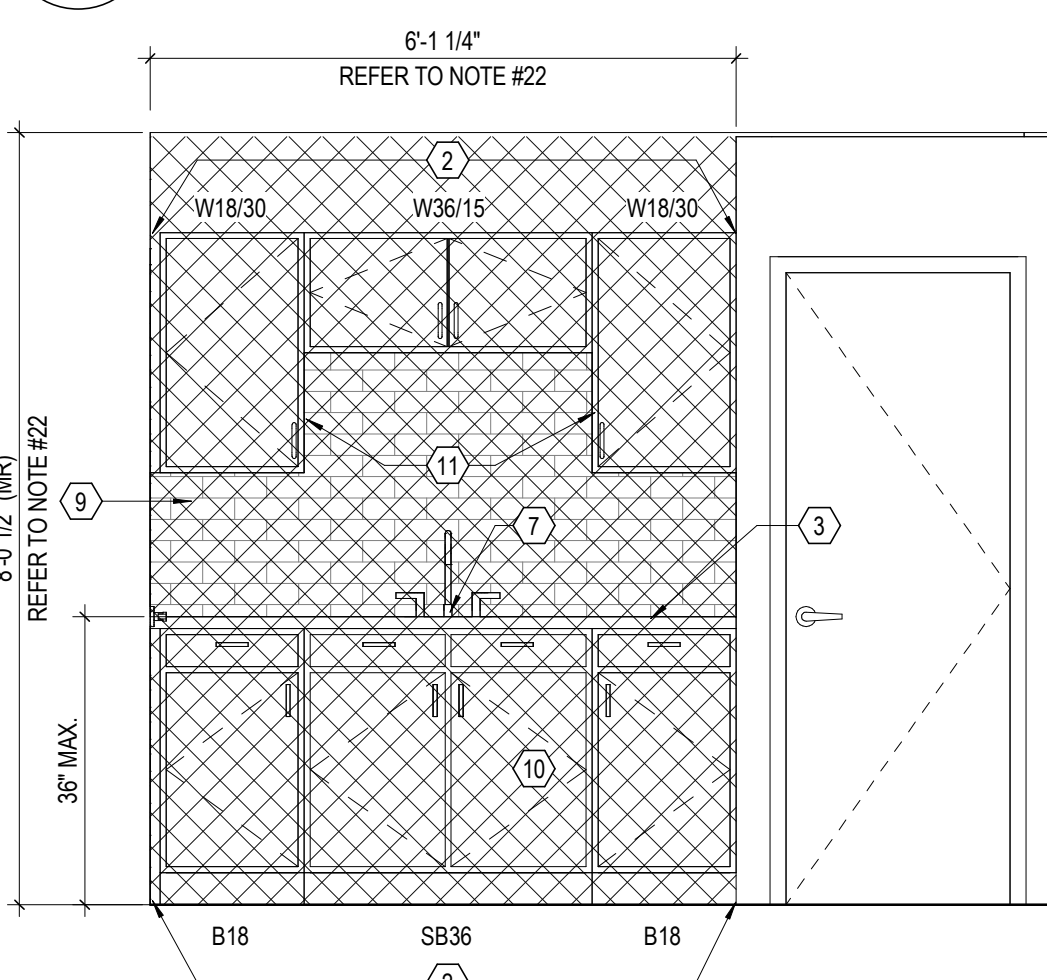
14 ELEVATION UNIT 2-B (ANSI TYPE A) BATH ELEVATION A
 1/2" = 1'-0" REF: 1 / A810



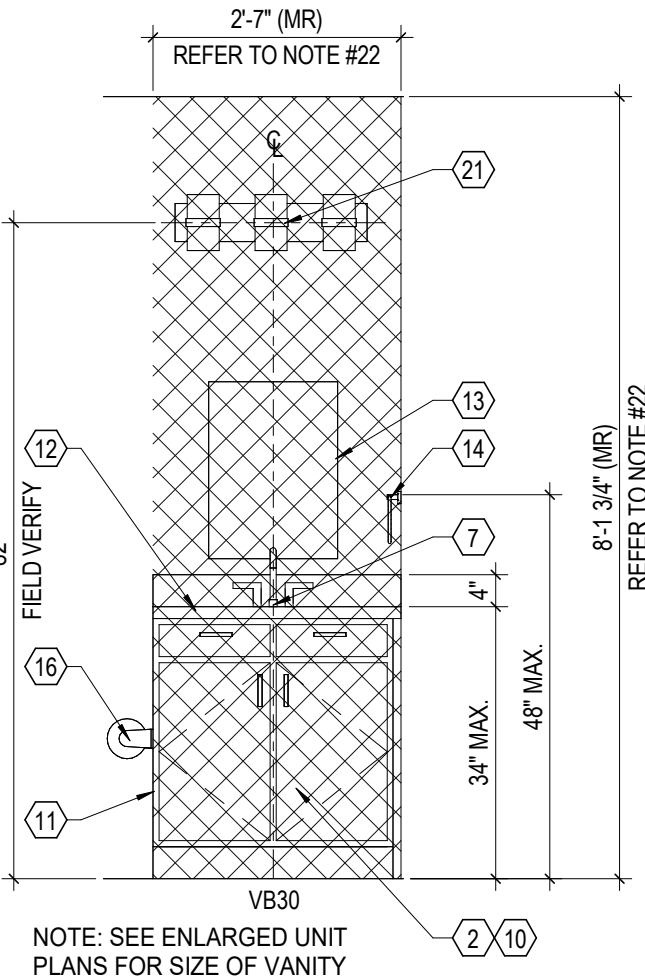
10 ELEVATION UNIT 3-B KITCHEN ELEVATION A
 1/2" = 1'-0" REF: 1 / A811



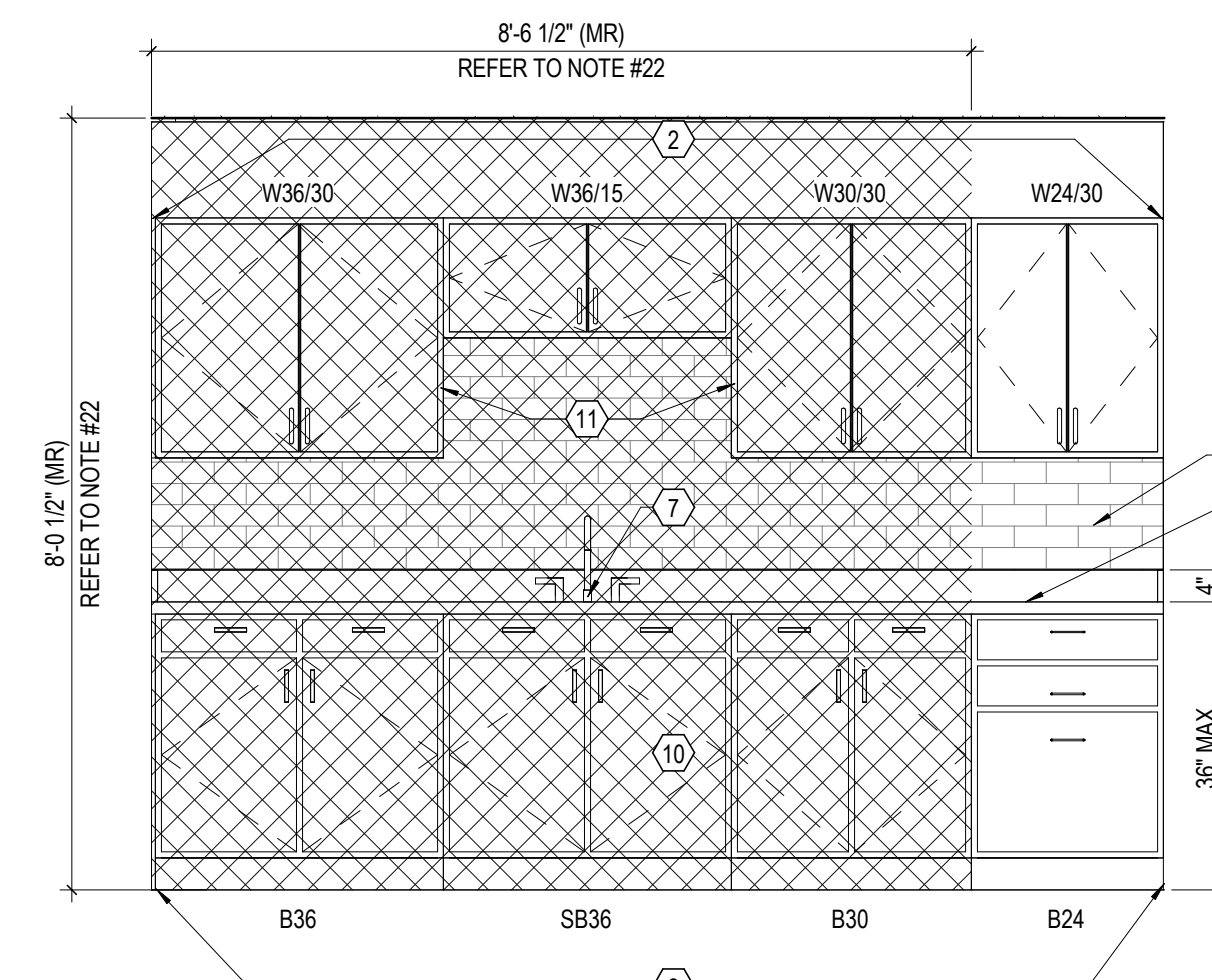
6 ELEVATION UNIT 3-A KITCHEN ELEVATION A
 1/2" = 1'-0" REF: 1 / A201



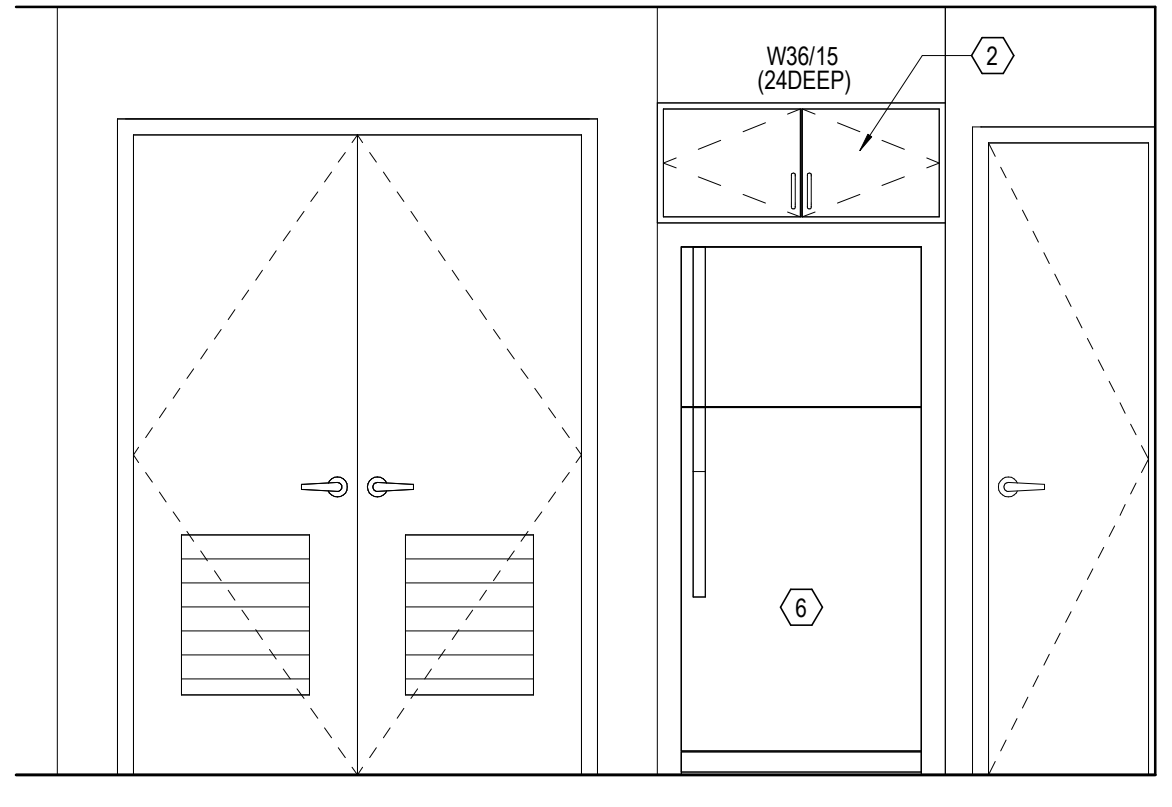
2 ELEVATION UNIT 2-A KITCHEN ELEVATION A
 1/2" = 1'-0" REF: 3 / A810



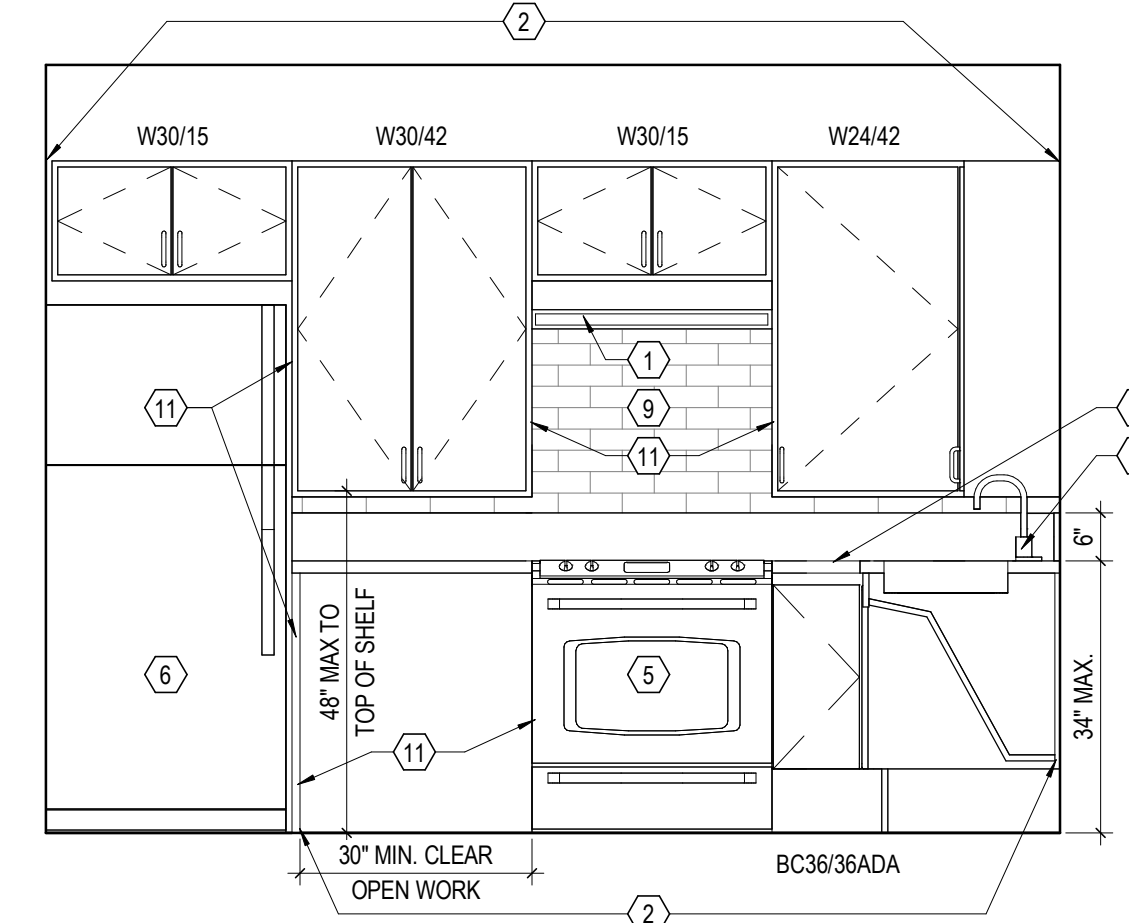
17 ELEVATION BATH VANITY, TYPICAL 30"
 1/2" = 1'-0" REF: 1 / A201



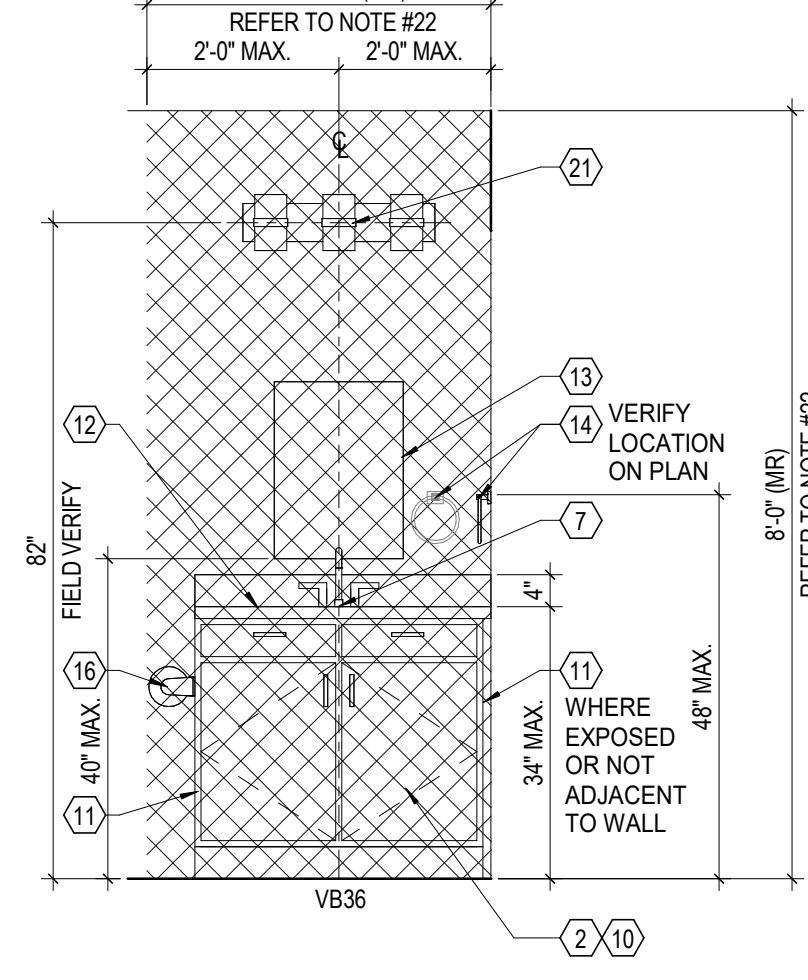
13 ELEVATION UNIT 4-A KITCHEN ELEVATION B
 1/2" = 1'-0" REF: 3 / A811



9 ELEVATION UNIT 3-A KITCHEN ELEVATION D
 1/2" = 1'-0" REF: 1 / A201



5 ELEVATION UNIT 2-B (ANSI TYPE A) KITCHEN ELEVATION B
 1/2" = 1'-0" REF: 1 / A810



1 ELEVATION BATH VANITY, TYPICAL
 1/2" = 1'-0" REF: 4 / A810

COMMUNITY CENTER FINISH SCHEDULE								
ROOM NAME	FLOOR		BASE		WALLS		REMARKS - FINISHES	KEYED REMARKS
	FINISH	COLOR	FINISH	COLOR	FINISH	COLOR		
VESTIBULE	TF	1	TWB	1	PT	2	6	
RENTAL OFFICE	LVP	1	RB	1	PT	2, 3	5	
OPEN OFFICE	LVP	1	RB	1	PT	2, 3	5	
STORAGE (TYP.)	EX	--	EX	--	PT	2		
KITCHEN / CORRIDOR	LVP	1	RB	1	PT	2	1	
TOILET (TYP.)	EX	--	EX	--	PT	2		
CONFERENCE	LVP	1	RB	1	PT	2		

GENERAL NOTES:
A. REFER TO "FINISH LEGEND" FOR MATERIAL AND COLOR INFORMATION.
B. GYP. BD. CEILINGS TO BE PAINTED PT-6, TYPICAL.
C. AT TOILET ROOMS AND STORAGE ROOMS, EXISTING FLOOR FINISH & BASE IS TO REMAIN. PAINT WALLS & CEILINGS.
D. KITCHEN / CORRIDOR COUNTERTOP TO BE QUARTZ SURFACE.

RESIDENTIAL FINISH SCHEDULE								
ROOM NAME	FLOOR		BASE		WALLS		REMARKS - FINISHES	KEYED REMARKS
	FINISH	COLOR	FINISH	COLOR	FINISH	COLOR		
LIVING / DINING	LVP	1	RB	1	PT	1		
KITCHEN	LVP	1	RB	1	PT / BS	1 / 1	1	
CLOSET	LVP	1	RB	1	PT	1		
BATH	SV	1	RB	1	PT	1		
PANTRY	LVP	1	RB	1	PT	1		
BEDROOM / CLO.	LVP	1	RB	1	PT	1		
MECH	SV	1	RB	1	PT	1	3	
STAIR	RSA / LVP	1 / 1	RB	1	PT	1	2	
LINEN	LVP	1	RB	1	PT	1	4	
HALL	LVP	1	RB	1	PT	1		
SHED	SC	-	-	-	PT	1		
GARAGE	SC	-	-	-	PT	1		

GENERAL NOTES:
A. REFER TO "FINISH LEGEND" FOR MATERIAL AND COLOR INFORMATION.
B. CEILINGS TO BE PAINTED PT-6 ENTIRE UNIT, TYPICAL AT ALL UNITS.
C. CONTINUE FLOOR FINISH INTO KNEE SPACE OF REMOVABLE CABINETS, PAINT BACK WALL, INSTALL WALL BASE.
D. AT ALL EXTERIOR WINDOWS, INSTALL NEW BLINDS, TYPICAL AT ALL UNITS.
E. WOOD HANDRAIL AND WOOD TOP CAP TO BE PAINTED PT-1 - IF CURRENTLY PAINTED. IF NOT CURRENTLY PAINTED, SURFACE TO BE THOROUGHLY CLEANED.
F. STAIR STRINGER, RISER AND TRIM TO BE PAINTED PT-5 - IF CURRENTLY PAINTED. IF NOT CURRENTLY PAINTED, SURFACE TO BE THOROUGHLY CLEANED.
G. ALL STAIR RISERS TO BE PAINTED PT-5.
H. INTERIOR FACE OF UNIT ENTRY EXTERIOR DOORS AND ADJACENT HOLLOW METAL FRAMES TO BE PAINTED TO MATCH ADJACENT WALLS (PT-1). 2 PER UNIT. EXISTING COMPOSITE WOOD GRAIN TRIM TO BE PAINTED PT-1 - IF CURRENTLY PAINTED. IF NOT CURRENTLY PAINTED, SURFACE TO BE THOROUGHLY CLEANED.
I. UNIT STAIR - INSTALL RUBBER TREADS ON STAIRS AND LV ON INTERMEDIATE LANDINGS. REFER TO "G" FOR WOOD STRINGER, RISER AND TRIM FINISHES.
J. VB-2 TO BE INSTALLED AT FRONT OF ALL TUBS.

KEYED REMARKS:
1. BASE BID. KITCHEN COUNTERTOP TO BE PLAM (PL-1) SEE FINISH LEGEND FOR COLOR.

REMARKS - FINISHES	
1.	BS-1 @ KITCHEN BACKSPASH - TYP. UNITS & COMMUNITY CENTER.
2.	RSA ON TREADS / LVP ON LANDING.
3.	MECH. WITHIN BATH TO BE SV. TYP. BLDG. TYPE 2.A.
4.	LINEN WITHIN BATH TO BE SV. TYP. BLDG. TYPE 2-B & 3.A.
5.	PT-2 ON EAST WALL.
6.	ALIGN FLOOR TILE AND COVE BASE GROUT LINES.

FINISHES LEGEND NOTES	
1.	AT ALL UNITS WITH STAIRS, PAINT STAIR RISER IN COLOR THAT CONTRASTS WITH TREAD.
2.	PROVIDE ANTI-SLIP STRIPS ON FRONT EDGE OF STEPS IN COLOR-CONTRAST MATERIAL.

GENERAL NOTES - FINISH	
1.	STANDARDS AND PROCEDURES FOR THE PREPARATION AND APPLICATION OF INTERIOR FINISHES ARE DEFINED IN THE PROJECT MANUAL. FINISH (SUB) CONTRACTORS ARE REQUIRED TO READ, UNDERSTAND AND FOLLOW ALL RELEVANT SECTIONS OF THE PROJECT MANUAL.
2.	FINISH MATERIALS ARE LISTED IN THE LEGEND COMPONENT OF THE FINISH SCHEDULE. SPECIFICATIONS ARE INCLUDED IN THE PROJECT MANUAL. ANY CONFLICTS OR DISCREPANCIES BETWEEN THESE TWO SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY.
3.	NO FINISH MATERIAL, SUBSTITUTIONS WILL BE ACCEPTED EXCEPT IN THE SPECIFIC CIRCUMSTANCES ENUMERATED IN THE PROJECT MANUAL.
4.	PAINTED HOLLOW METAL DOORS AND FRAMES TO BE PAINTED TO MATCH ADJACENT WALL COLOR UNLESS NOTED OTHERWISE. MATERIAL, FINISH AND COLOR INFORMATION FOR ALL OTHER DOORS AND FRAMES IS CONTAINED IN THE DOOR SCHEDULE AND ITS ASSOCIATED LEGENDS. IF WALLS ON OPPOSITE SIDES OF DOOR FRAME ARE DIFFERENT COLORS THE PAINT COLORS SHOULD BE SPLIT AT THE JAMB OF THE FRAME.
5.	FLOORING MATERIAL DESIGNATED FOR STAIRS IS TO INCLUDE STAIR AND ALL ASSOCIATED TREADS, RISERS, LANDINGS, ETC. (UNLESS NOTED OTHERWISE).
6.	FOR CLARITY, SOME FINISH INFORMATION HAS BEEN PRESENTED GRAPHICALLY IN THE FORM OF FINISH AND FLOORING PLANS. SHOULD THERE BE A DISCREPANCY BETWEEN THE FINISH SCHEDULE AND THESE PLANS, THE ARCHITECT SHOULD BE NOTIFIED IMMEDIATELY FOR THE PURPOSE OF BIDDING. INFORMATION DETAILED ON THE FINISH FLOOR PLANS AND FLOORING PLANS IS TO TAKE PRECEDENCE OVER THE FINISH SCHEDULE UNTIL FURTHER CLARIFICATION CAN BE GIVEN. FOR AREAS NOT SPECIFICALLY DETAILED ON THESE PLANS, THE FINISH SCHEDULE PERTAINS.
7.	ALL DRYWALL SOFFITS TO BE PAINTED FLAT CEILING WHITE UNLESS NOTED OTHERWISE ON CEILING PLANS.
8.	FOR EPOXY OR INTUMESCENT PAINT COLOR REFER TO PAINT SCHEDULE NUMBERS.
9.	WITHIN FINISH SCHEDULE CELLS, SLASH MARKS INDICATE DIFFERENCES IN FINISH MATERIAL WHILE COMMAS INDICATE DIFFERENCES IN PATTERN OR COLOR WITHIN A SPECIFIC MATERIAL.
10.	APPROPRIATE METAL OR VINYL TRANSITION STRIPS MUST BE PROVIDED AT ALL FINISH MATERIAL FLOORING CHANGES. GENERAL CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL FLOORING TRANSITIONS AND AREAS IN WHICH FLOORING PATTERNS ARE SHOWN. SEE FLOOR FINISH PLANS, DETAILS AND NOTES FOR SPECIFIC INFORMATION.
11.	FLOORING CONTRACTOR(S) IS RESPONSIBLE FOR COORDINATING FINISHED FLOOR ELEVATIONS WITH ALL FLOOR MOUNTED COMPONENTS (RECEPTACLES, ACCESS PANELS, ETC.) SO THAT COMPONENTS ARE INTEGRATED AND FLUSH.

FINISH LEGEND	
FLOORS:	
Luxury Vinyl (LVP) (See Enlarged Plan for LVP Plank Install Direction (DIR))	
LVP-1	Mg. Landmark Interiors Pattern: Terrain 2.5mm / 22mil. / 9.45" x 60" Plank Color: Switchback TR-04-22
Sealed Concrete (SC)	
Sheet Vinyl (SV)	
SV	Mg. Tarkett Pattern: Performa - Roll Good Color: S201 Stonework Dover
Tile Floor (TF)	
TF-1	Mg. Atlas Concorde Pattern: Cove Terra 12" x 24" Porcelain Color: Pearl Grout: GT-1
BASE:	
Tile Wall Base (TWB)	
TWB-1	Mg. Atlas Concorde Pattern: Cove Terra 6" x 12" Cove Porcelain Color: Pearl Grout: GT-1
Vinyl Base (VB)	
VB-1	Mg. Tarkett 6" Traditional Cove Base w/ Toe Kick
VB-2	Mg. Tarkett 2-1/2" Traditional Cove Base w/ Toe Kick Color: 50 White
WALLS:	
Paint (PT)	
PT-1	Mg. Sherwin Williams Color: SW 7031 City Loft
PT-2	Mg. Sherwin Williams Color: SW 7005 Pure White
PT-3	Mg. Sherwin Williams Color: SW 7016 Mindful Gray
STAIRS:	
Rubber Tread (RSA)	
RSA-1	Mg. Tarkett/Johnsonite Style: Safe T Rio Color: 63 Burnt Umber Hearing and Visually Impaired Units Only
RSA-2	Mg. Tarkett/Johnsonite Style: VINETS 63 48 Tread w/ Hammered Finish and 2" Rubber Insert Color: 63 Burnt Umber w/ 49 Beige Solid Color Rubber Insert
Metal Handrail Paint (PT)	
PT-4	Mg. Sherwin Williams Color: SW 6953 Black of Night
Wood Handrail Trim Paint (PT)	
PT-5	Mg. Sherwin Williams Color: SW 9171 Felted Wool
CEILING:	
Paint (PT)	
PT-6	Mg. Sherwin Williams Color: SW 7007 Ceiling Bright White - Flat
MISCELLANEOUS	
Backsplash FRP (BS)	
BS-1	Mg. Crane Composites Product: Glasbord Color: Smooth Ivory 84
ALT. WT-1	Mg. Daltile Product: Color Wheel Classic 3" x 6" - Subway Installation Color: Arctic White 0190 Grout: GT-1
Cabinets	Mg. Regent Cabinets / Extreme Construction Style: Painted Finish - White Color: Painted Finish - White
Grout (GT)	
GT-1	Mg. Laticrete Color: 24 Natural Grey
Plam (PL)	
PL-1	Kitchen Countertops Mg. Formica Pattern: 299-58 Color: Ebony Oxide / Matte Texture
ALT. QZ-1	Mg. Corian Style: Quartz / 3cm
Quartz Surface (QZ)	
QZ-1	Mg. Corian Style: Quartz Color: Storm Grey
Vanity Top / Sink Unit Baths	
	Mg. Rynone Style: Cultured Marble Color: White
ALT. QZ-1	Mg. Corian Style: Quartz / 2cm
Window Blind	
	Mg. SWF Contract Style: M-Series Faux Wood Blinds w/ PVC Headrail / 2" Slat Color: 9306 White

#	DATE	CHANGE DESCRIPTION

THE MEADOWS RAD RENOVATIONS
COLUMBUS METROPOLITAN HOUSING AUTHORITY
4855 PINTAL CREEK DRIVE
COLUMBUS, OH 43110
FOR COLUMBUS METROPOLITAN HOUSING AUTHORITY

300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881

Moody Nolan CERTIFICATE NO. FIRM 00197475

DRAWING TITLE: **FINISH LEGEND & FF&E**

08/14/2025
DRAWN BY: xxx CHECKED BY: xxx
18076.04
A900
BID / PERMIT SET

JAY W. BOONE
REGISTERED ARCHITECT
#10740
EXP. DATE: 12/31/2025

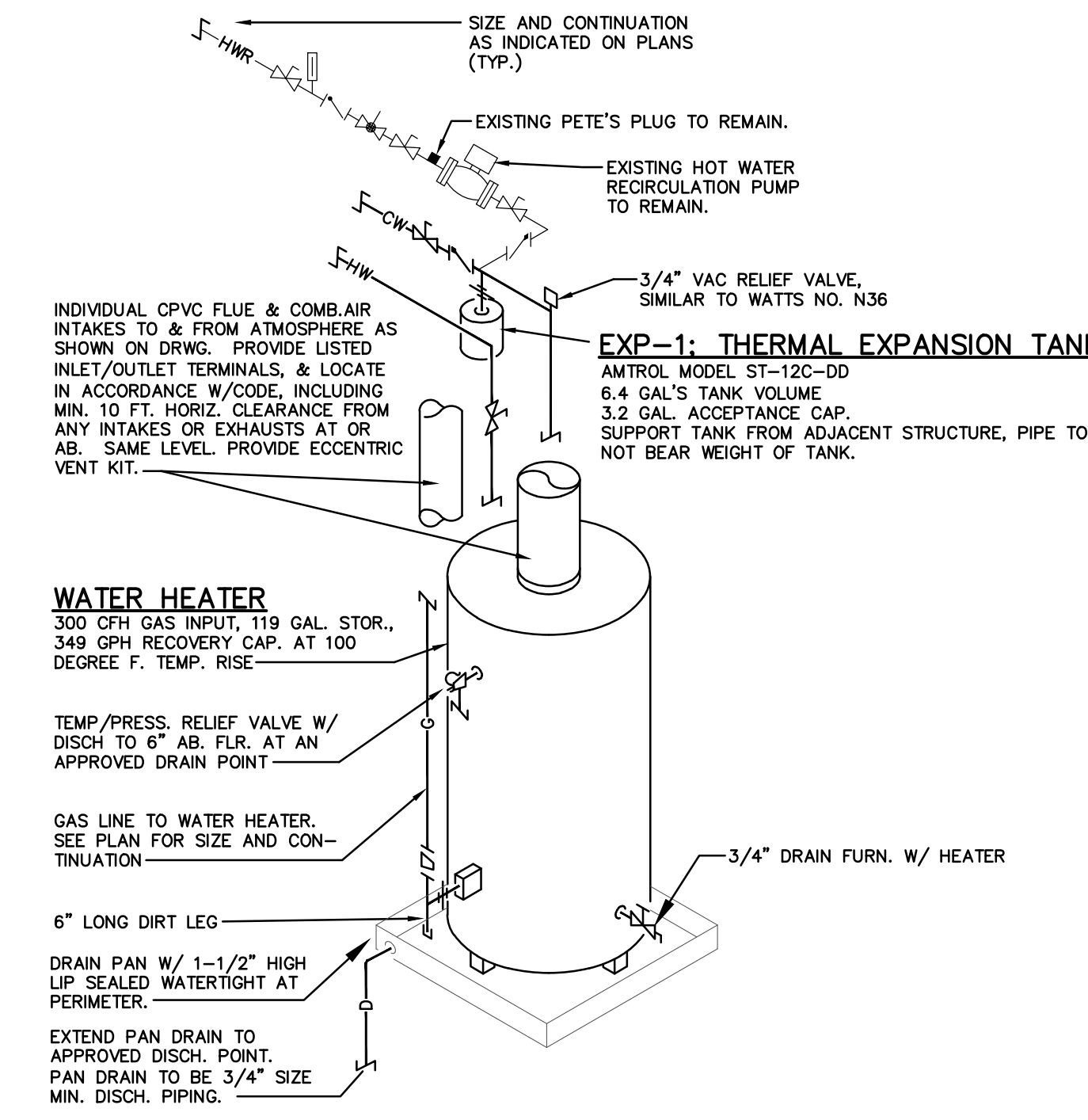


1 PLAN COMMUNITY BUILDING - FF&E
1/4" = 1'-0"

HVAC EQUIPMENT

GWH-1: GAS WATER HEATER
 NATURAL GAS WATER HEATER SHALL BE ASME CERTIFIED A. O. SMITH CYCLONE MXI MODEL # 87H-120(A) OR EQUAL, MINIMUM 98% THERMAL EFFICIENCY, A STORAGE CAPACITY OF 60 GALLONS, AN INPUT RATING OF 120,000 BTU PER HOUR, A RECOVERY RATING OF 135 GALLONS PER HOUR (GPH) AT 100°F RISE AND A MAXIMUM HYDROSTATIC WORKING PRESSURE OF 160 PSI. WATER HEATER(S) SHALL: 1. MODULATING GAS BURNER THAT AUTOMATICALLY ADJUSTS THE INPUT BASED ON DEMAND; 2. POWERED ANODES THAT ARE NON SACRIFICIAL AND MAINTENANCE FREE; 3. HAVE SEAMLESS GLASS-LINED STEEL TANK CONSTRUCTION WITH GLASS LINING APPLIED TO ALL WATER-SIDE SURFACES AFTER THE TANK HAS BEEN ASSEMBLED AND WELDED; 4. MEETS THE THERMAL EFFICIENCY AND/OR STANDBY LOSS REQUIREMENTS OF THE U. S. DEPARTMENT OF ENERGY AND CURRENT EDITION OF ASHRAE/IES 90.1; 5. HAVE FOAM INSULATION AND A CSA CERTIFIED AND ASME RATED T&P RELIEF VALVE; 6. HAVE A DOWN-FRED POWER BURNER DESIGNED FOR PRECISE MIXING OF AIR AND GAS FOR OPTIMUM EFFICIENCY, REQUIRING NO SPECIAL CALIBRATION ON START-UP; 7. BE APPROVED FOR 0" CLEARANCE TO COMBUSTIBLES. THE CONTROL SHALL BE AN INTEGRATED SOLID-STATE TEMPERATURE AND IGNITION CONTROL DEVICE WITH INTEGRAL DIAGNOSTICS, GRAPHIC USER INTERFACE, FAULT HISTORY DISPLAY, AND SHALL HAVE DIGITAL TEMPERATURE READOUT. 1. ALL MODELS ARE DESIGN CERTIFIED BY UNDERWRITERS LABORATORIES (UL), INC., ACCORDING TO ANSI Z21.10.3 - CSA 4.3 STANDARDS GOVERNING STORAGE-TYPE WATER HEATERS; 2. MEET THE THERMAL EFFICIENCY AND STANDBY LOSS REQUIREMENTS OF THE U. S. DEPARTMENT OF ENERGY AND CURRENT EDITION ASHRAE/IES 90.1; 3. COMPLY WITH SCAQMD RULE 1146.2 AND OTHER AIR QUALITY MANAGEMENT DISTRICTS WITH SIMILAR REQUIREMENTS FOR LOW NOX EMISSIONS. PROVIDE WITH ACID NEUTRALIZATION DRAIN KIT. PROVIDE WITH MINIMUM 1-1/2" ALUMINUM DRAIN PAN.

EXP-1: THERMAL EXPANSION TANK (ASME RATED)
 EQUIVALENT TO AMTROL MODEL ST-50-DD; 2.0 GALLON TANK VOLUME, 0.9 GALLONS ACCEPTANCE VOLUME. TANK SHALL BE ASME LISTED/APPROVED WITH STEEL SHELL, RIGID POLYPROPYLENE LINER AND HEAVY DUTY BUTYL RUBBER DIAPHRAGM (NSF/ANSI 61) WITH ANTI-MICROBIAL ANTI-LEGNELLA PROTECTION (ASHRAE 189 GUIDELINES). LINER AND DIAPHRAGM MECHANICALLY BONDED TO SHELL TO FORM A SEPARATE AIR CHAMBER AND NON-CORROSIVE WATER RESERVOIR. AIR CHAMBER PRE-CHARGED TO 55 PSIG PROVIDED WITH A STANDARD SCHRAEDER AIR VALVE. CONTRACTOR TO ADJUST THE MANUFACTURERS PRE-CHARGE AIR PRESSURE TO THE ACTUAL SYSTEM WORKING PRESSURE IN ACCORDANCE WITH MANUFACTURER INSTALLATION GUIDELINES. PROVIDE ASME RATED AND 200°F MAXIMUM OPERATING TEMPERATURE, 150 PSIG WORKING PRESSURE.



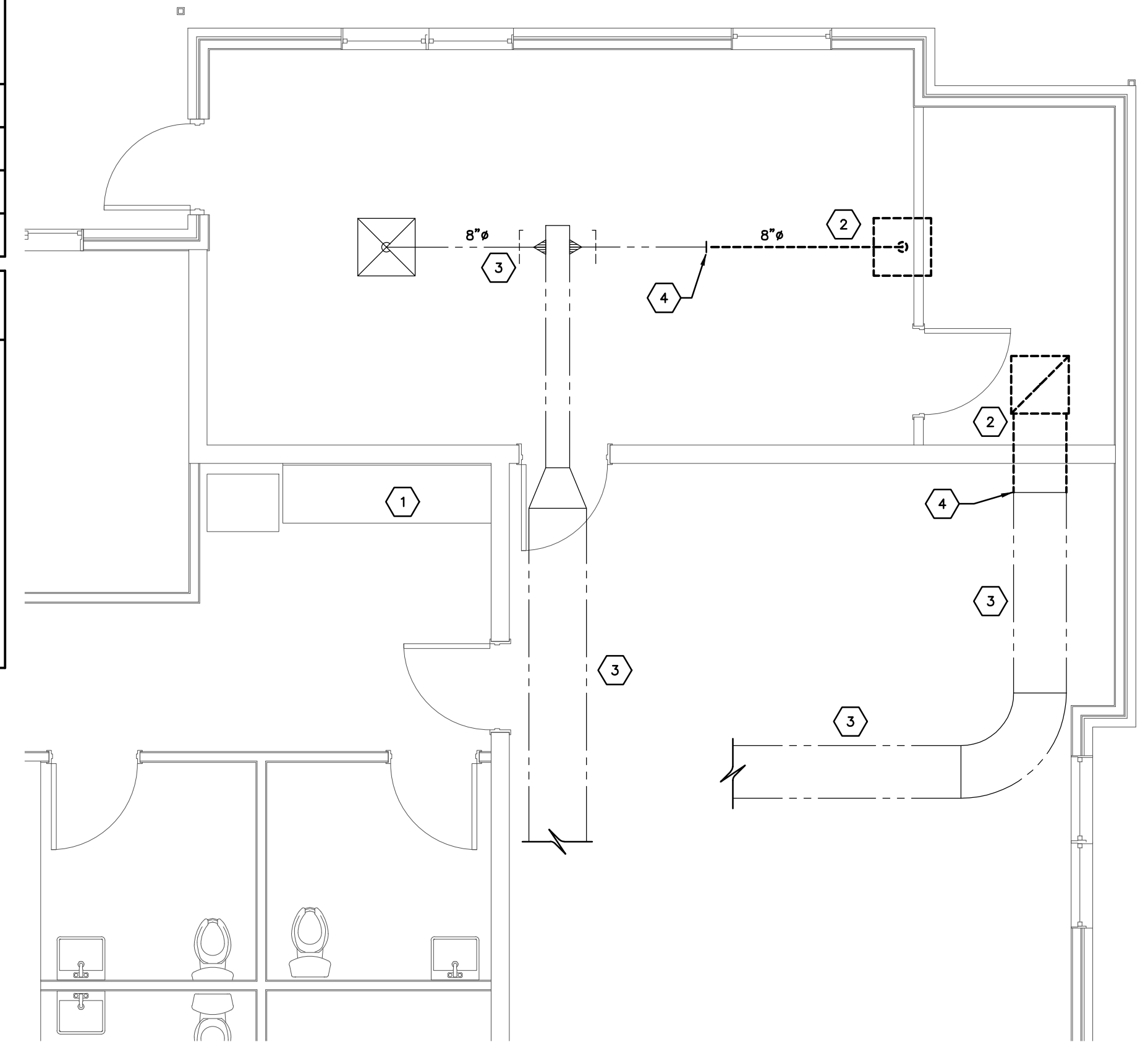
GWH-1: GAS WATER HEATER PIPING DIAGRAM
 NO SCALE

AIR TERMINAL SCHEDULE

TYPE	DESCRIPTION
A	SUPPLY AIR DIFFUSER, LAY-IN, 24"x24", TITUS MODEL TMSA; DIFFUSERS SHALL HAVE ADJUSTABLE HORIZONTAL-TO-VERTICAL PATTERN WITH EQUALIZING GRID
B	RETURN AIR GRILLE, LAY-IN, TITUS MODEL 350RL; 24"x24"

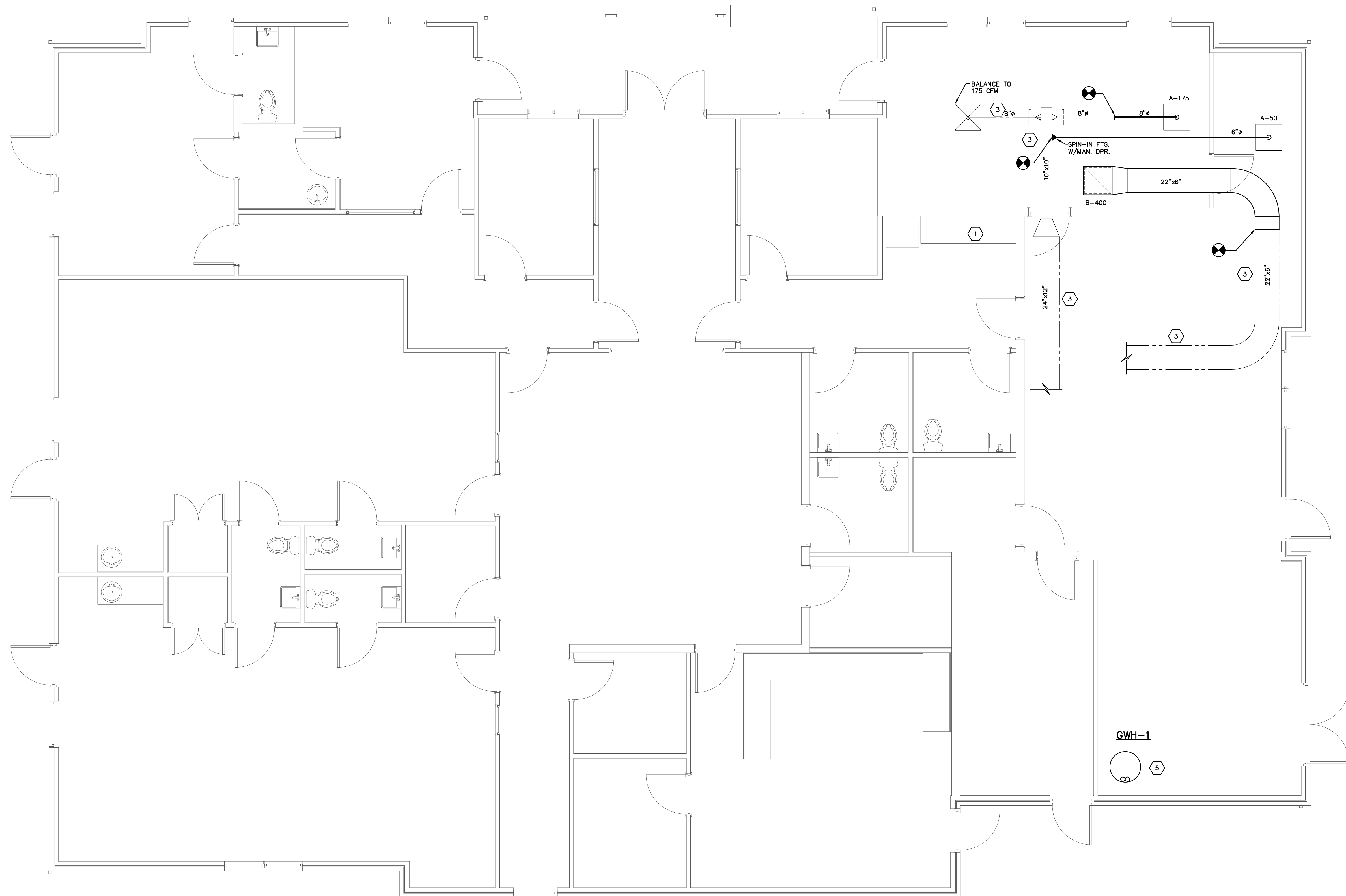
HVAC NOTES

- DUCT LAYOUT IS ONLY SCHEMATIC. EXACT LOCATION OF DUCTS TO BE COORDINATED ON JOB WITH BUILDING STRUCTURE, AND WORK OF OTHER CONTRACTORS.
- NOTIFY GENERAL CONTRACTOR OF SIZE AND LOCATION OF ALL RECESSES AND OPENINGS REQUIRED FOR HVAC WORK.
- INSTALL MANUAL BALANCING DAMPERS AS SHOWN AND AS REQUIRED FOR PROPER BALANCING OF AIR HANDLING SYSTEMS.
- PROVIDE AIRTIGHT ACCESS DOORS IN DUCTS ADJACENT TO ALL FIRE DAMPERS AND TEMPERATURE CONTROL DEVICES.
- COORDINATE ALL DUCT LOCATIONS WITH TRUSSES. PROVIDE ADDITIONAL OFFSETS AS REQUIRED.
- ALL DUCTWORK TO BE RUN TIGHT TO STRUCTURE ABOVE, UNLESS OTHERWISE NOTED.
- ALL DUCTWORK DIMENSIONS INDICATED ON PLANS ARE CLEAR INSIDE DIMENSIONS. WHERE DUCTS ARE LINED, DUCTWORK IS TO BE INCREASED TO MAINTAIN THAT FREE AREA.



CODED NOTES

- RELOCATE EXISTING SINK TO NEW LOCATION SHIFTING TO THE LEFT. EXTEND SANITARY, COLD WATER, HOT WATER AND VENT PIPING TO NEW LOCATION.
- EXISTING DUCTWORK AND AIR DEVICE TO REMAIN.
- EXISTING DUCTWORK BACK TO THIS POINT FOR CONNECTION TO NEW.
- REMOVED EXISTING WATER HEATER AND FLUE. REPLACE WITH NEW HIGH EFFICIENCY WATER HEATER AS SHOWN ON DRAWINGS. PROVIDE FLUE AND INTAKE PIPING THROUGH ROOF. PROVIDE CONCENTRIC VENT KIT THROUGH ROOF AND REPAIR ROOF TO MATCH EXISTING. PROVIDE WITH PLUG TYPE FOR BLOWER AND CONTROLS TO EXISTING OUTLET.



COMMUNITY CENTER
PARTIAL HVAC DEMO PLAN
 SCALE: 1/4" = 1'-0"

COMMUNITY CENTER
HVAC PLAN
 SCALE: 1/4" = 1'-0"

H103-18138-MEADOWS.DWG
PRATER Engineering Associates, Inc.
 6130 Wilcox Road
 Dublin, Ohio 43016
 (614) 766 4896
 FAX: (614) 766 2354
 DESIGNED BY: M. EVANS P.E.
 DRAWN BY: M. EVANS P.E.
 CHECKED BY: M. EVANS P.E.
 JOB NUM: 18138-MEADOWS

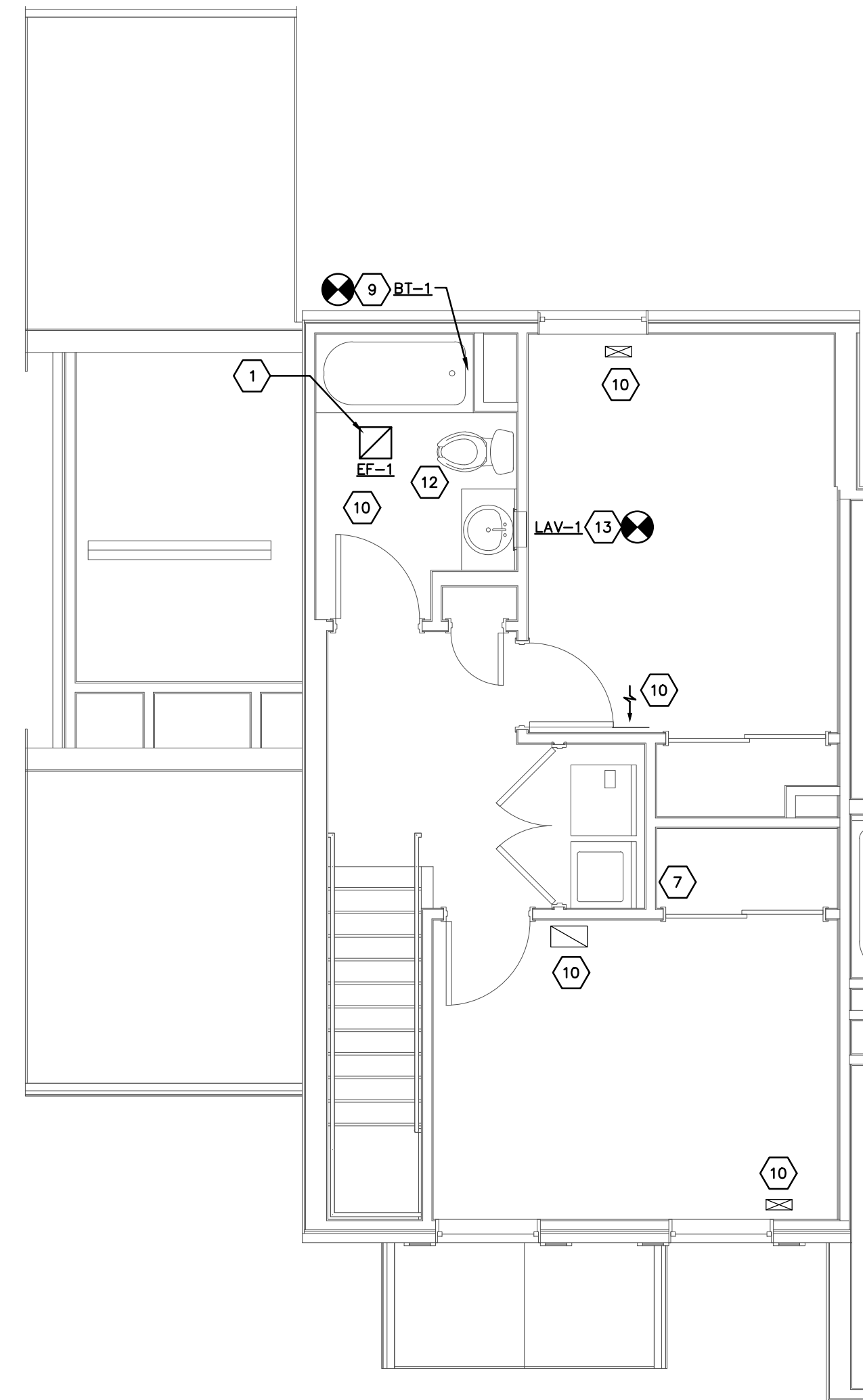
#	DATE	CHANGE DESCRIPTION

THE MEADOWS RAD RENOVATIONS
 COLUMBUS METROPOLITAN HOUSING AUTHORITY
 4855 PINTAL CREEK DRIVE
 COLUMBUS, OH 43110
 FOR: COLUMBUS METROPOLITAN HOUSING AUTHORITY

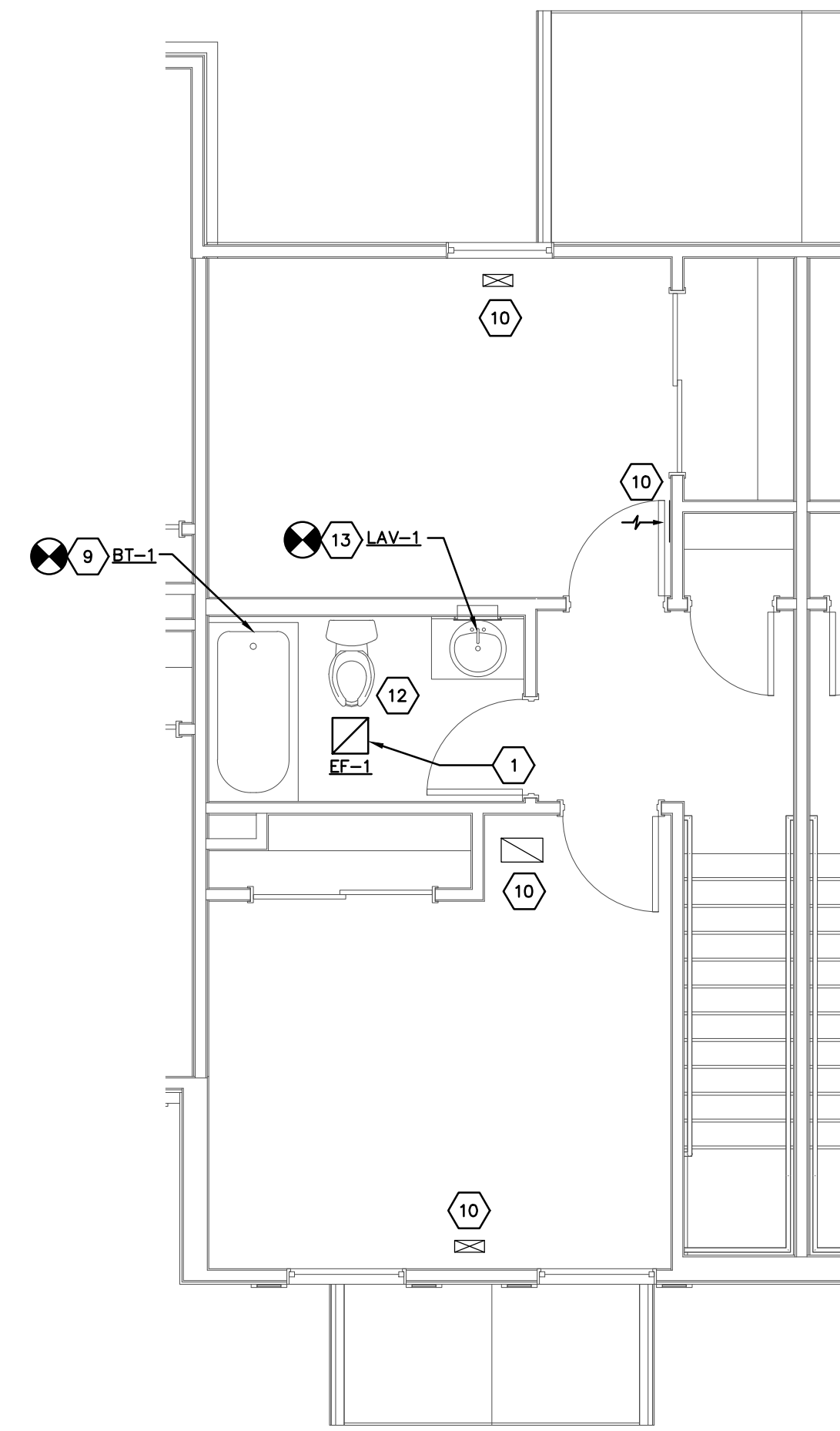
Moody Nolan
 800 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881
 CERTIFICATE NO: FIRM 00197475

COMMUNITY CENTER HVAC PLANS

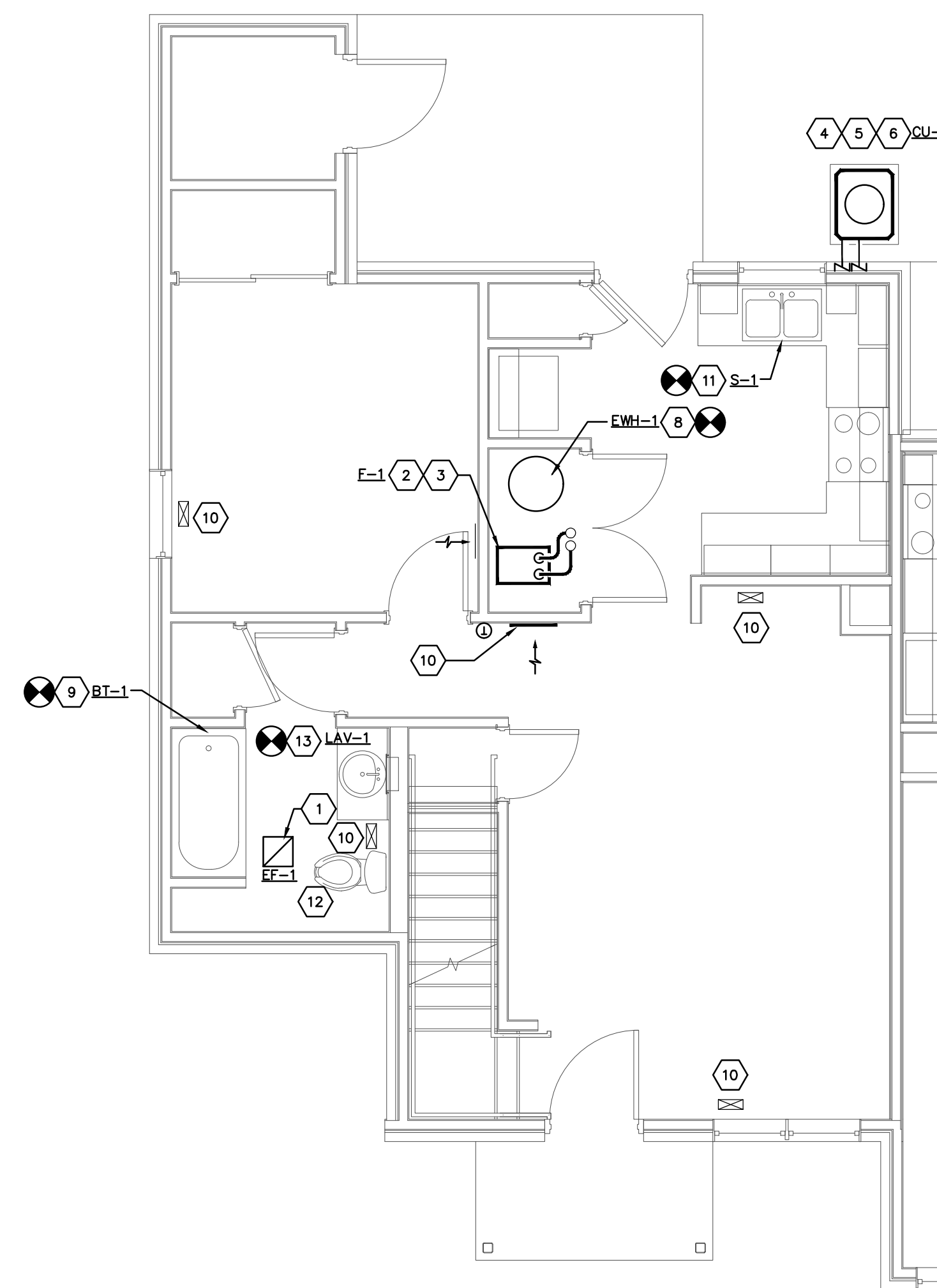
08/14/2025
 DRAWN BY: PE
 CHECKED BY: PE
 18076.04
H103
 BID / PERMIT SET



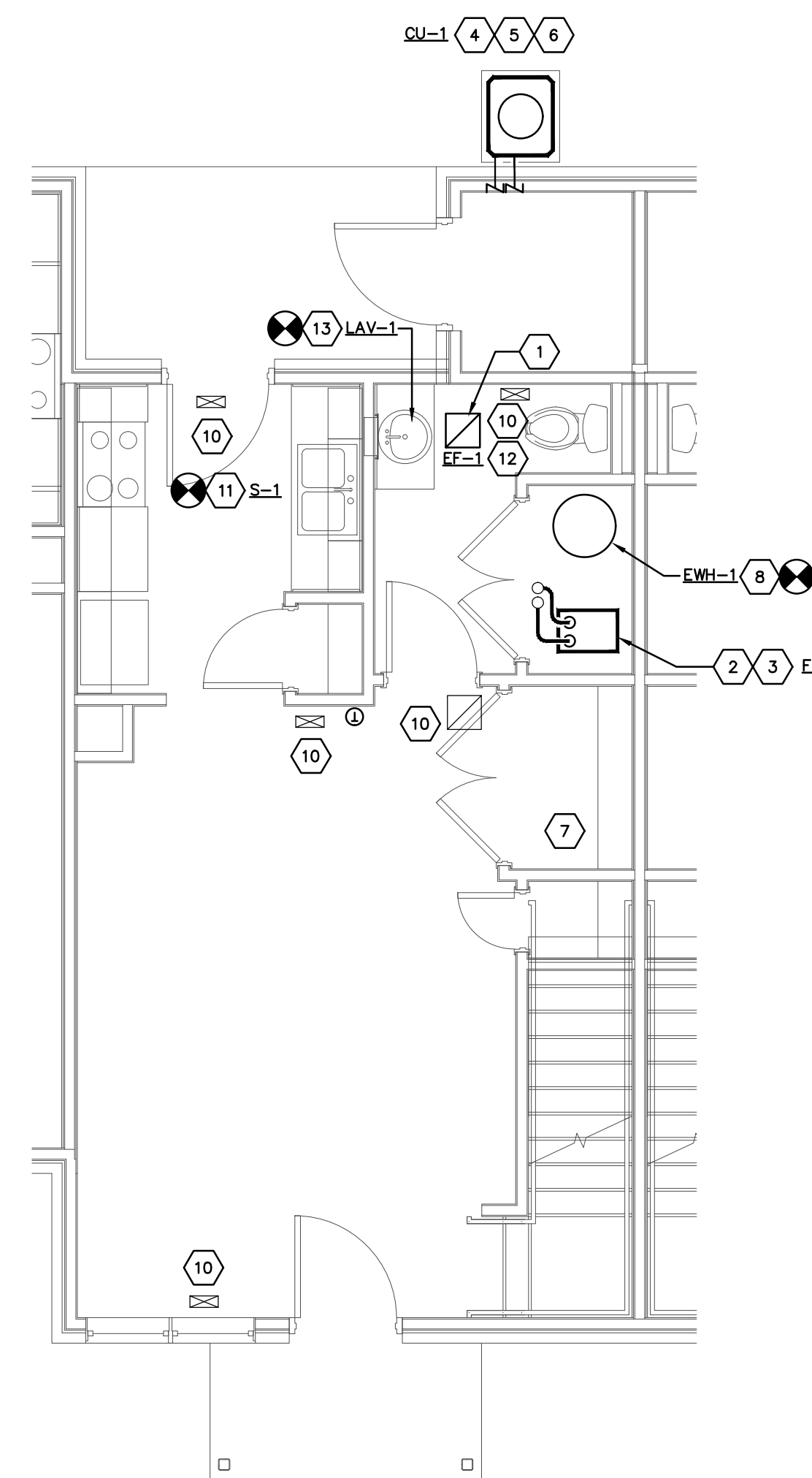
SECOND FLOOR UNIT 3-A
HVAC PLAN
SCALE: 1/4"=1'-0"



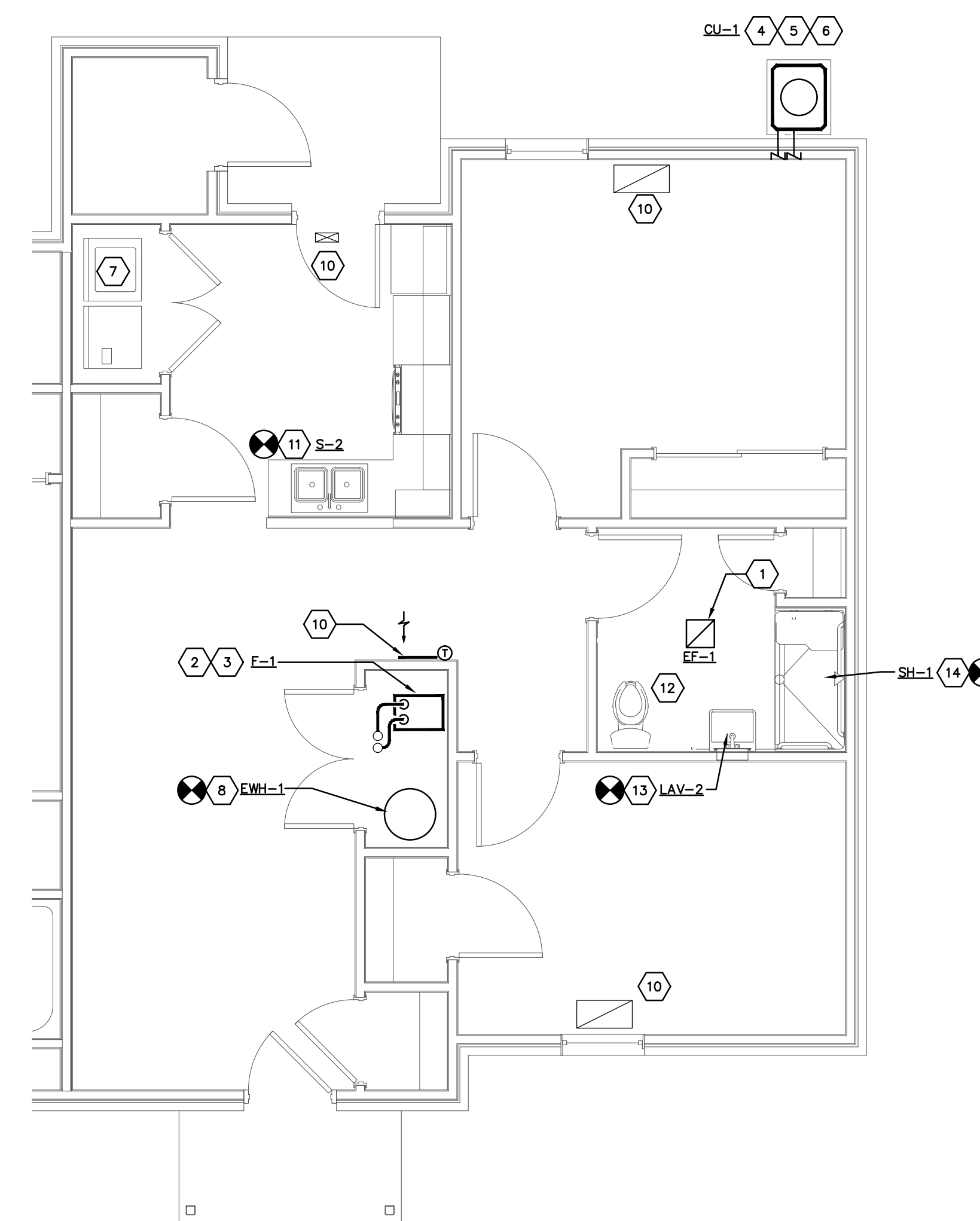
SECOND FLOOR UNIT 2-A
HVAC PLAN
SCALE: 1/4"=1'-0"



FIRST FLOOR UNIT 3-A
HVAC PLAN
SCALE: 1/4"=1'-0"



FIRST FLOOR UNIT 2-A
HVAC PLAN
SCALE: 1/4"=1'-0"



FIRST FLOOR UNIT 2-B (HC)
HVAC PLAN
SCALE: 1/4"=1'-0"

H201-18138-MEADOWS.DWG
PRATER
Engineering Associates, Inc.
6130 Wilcox Road
Dublin, Ohio 43016
DESIGNED BY: M. EVANS, P.E.
DRAWN BY: OML
CHECKED BY:
JOB NUM: 18138-MEADOWS

(614) 766 4896
FAX: (614) 766 2334

CODED NOTES

- EXISTING EXHAUST FAN TO BE REPLACED WITH NEW EXHAUST FAN. SEAL ALL GAPS AIR TIGHT BETWEEN FAN AND DRYWALL.
- REMOVE EXISTING FURNACE AND REPLACE WITH NEW FURNACE AS SHOWN. MODIFY DUCTWORK AS REQUIRED TO INSTALL FURNACE AND COILING COIL. REPLACE HORIZONTAL RETURN DUCT FROM FURNACE WITH NEW FILTER CARRIER AND DUCT. FILTER CARRIER TO BE FOR 16"x25" FILTER.
- DISCONNECT AND INSTALL GAS LINE TO FURNACE. REMOVE EXHAUST FLEU PIPE AND COMBUSTION AIR PIPE FROM EXISTING FURNACE. EXTEND NEW INTAKE/EXHAUST FLEU TO EXISTING VENT PIPING. EXTEND CONDENSATE DRAIN TO FLOOR DRAIN.
- EXISTING REFRIGERANT LINES TO BE REUSED. FLUSH REFRIGERANT LINES USING R11 FLUSHING KIT BY RU-CALSON. FLUSH LINES ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. INSULATE ALL REFRIGERANT SUCTION PIPING NOT HIDDEN, INSIDE AND OUTSIDE. PROVIDE WEATHER COATING ON INSULATION LOCATED OUTSIDE. PROVIDE MANUFACTURER'S RECOMMENDED MINIMUM CLEARANCE AROUND CONDENSING UNIT.
- PROVIDE 12" MINIMUM CLEARANCE AROUND CONDENSING UNIT PER MANUFACTURER'S RECOMMENDATION.
- CONDENSING UNIT ON 4" HIGH CONCRETE PAD. REMOVE EXISTING PAD. NEW PAD SHALL EXTEND 6" BEYOND UNIT IN EACH DIRECTION. MAINTAIN MANUFACTURER'S REQUIRED CLEARANCES ALL AROUND. BOLT CONDENSING UNIT TO PAD WITH 1/2" GALVANIZED BOLTS.
- CLEAN EXISTING DRYER DUCT FREE OF LINT FROM DRYER CONNECTION TO OUTSIDE UNIT.
- REPLACE EXISTING DOMESTIC WATER HEATER WITH NEW WATER HEATER. SEE EQUIPMENT NOTES AND PIPING SCHEMATICS ON DETAIL SHEET H200. EXTEND TEMPERATURE/PRESSURE RELIEF VALVE TO 6" ABOVE FLOOR. PROVIDE DRAIN PAN. EXTEND DRAIN TO FLOOR DRAIN. RECONNECT TO EXISTING DOMESTIC WATER PIPING. PROVIDE A PRV VALVE AT INCOMING WATER INTO EACH UNIT AND SET FOR A MAXIMUM OF 60 PSI.
- REMOVE ALL EXISTING CAULK FROM TUB AND SHOWER. CLEAN SURFACE AND INSTALL NEW CAULK AT ALL SEAMS OF TUB AND SHOWER. EXISTING SHOWER HEAD TO BE REPLACED WITH NEW.
- REPLACE ALL SUPPLY AND RETURN REGISTERS IN THIS SPACE. NOTED SIZES TO BE FIELD VERIFIED. REPLACE WITH ARMATE TYPE REGISTERS. SUPPLY AIR AND RETURN AIR DUCTWORK SHALL BE CLEANED BY A NADCA MEMBER USING A SOURCE REMOVAL METHOD OF CLEANING TO PLACE THE SYSTEM UNDER NEGATIVE PRESSURE TO REMOVE ALL DUST AND DEBRIS IN THE INTERIOR SURFACES OF THE DUCTWORK. NADCA MEMBER MUST HAVE A MINIMUM OF 5 YEARS EXPERIENCE.
- EXISTING SINK TO BE REPLACED WITH NEW. REMOVE EXISTING HW/CW SUPPLY PIPING AND SAN/TRAP BACK TO A POINT APPROPRIATE FOR RECONNECTION/EXTENSION TO NEW FIXTURE. COORDINATE REPLACEMENT FIXTURE WITH EXISTING SUPPLY AND DRAIN LINES IN ADVANCE.
- REPLACE TOILET FLUSH MECHANISMS AND SEALS INCLUDING FILL VALVE, TOILET FLAPPER, TANK SEAL, AND ASSOCIATED ACCESSORIES. KIT TO BE PURCHASED FROM MANUFACTURER THAT MATCHES EXISTING TOILET.
- EXISTING LAVATORY TO BE REPLACED. SEE FIXTURE SCHEDULE ON SHEET SCHEDULE SHEET H200. REPLACE EXISTING FAUCET ASSEMBLY, DRAIN ASSEMBLY, CHROME PLATED STOPS, CHROME PLATED RISERS, CHROME PLATED P-TRAP AND OTHER APPURTENANCES AS NOTED ON THE FIXTURE SCHEDULE. RECONNECT TO EXISTING PIPING HW, CW, AND WASTE ROUGH-INS.
- EXISTING SHOWER TO BE REPLACED WITH NEW SHOWER. SEE FIXTURE SCHEDULE ON SHEET H200. REPLACE SHOWER FAUCET ASSEMBLY, WASTE ASSEMBLY, AND OTHER APPURTENANCES AS NOTED ON THE FIXTURE SCHEDULE. INSTALL NEW RISER AND SHOWER ARM TO NEW SHOWERHEAD IN EXISTING WALL. RECONNECT TO EXISTING HW, CW AND WASTE ROUGH-INS.

BUILDING TYPE SUMMARY

BUILDING TYPE	BUILDING NUMBERS	UNIT TYPE COUNT				
		2-A	2-B (H.C.)	3-A	3-B	4-A
I	1,2,5,6,8,9,18	2	-	2	-	-
II	10	3	-	2	-	-
III	3,4,7,11	2	-	4	-	-
IV	13,15,16,17	-	-	-	3	-
V	12,14	-	-	-	-	3
VI	19,20,21,22,23	1	1	2	-	-
UNIT TOTALS		30	5	42	12	6

BUILDING NUMBERS ARE COORDINATED WITH ARCHITECTURAL SITE PLAN.

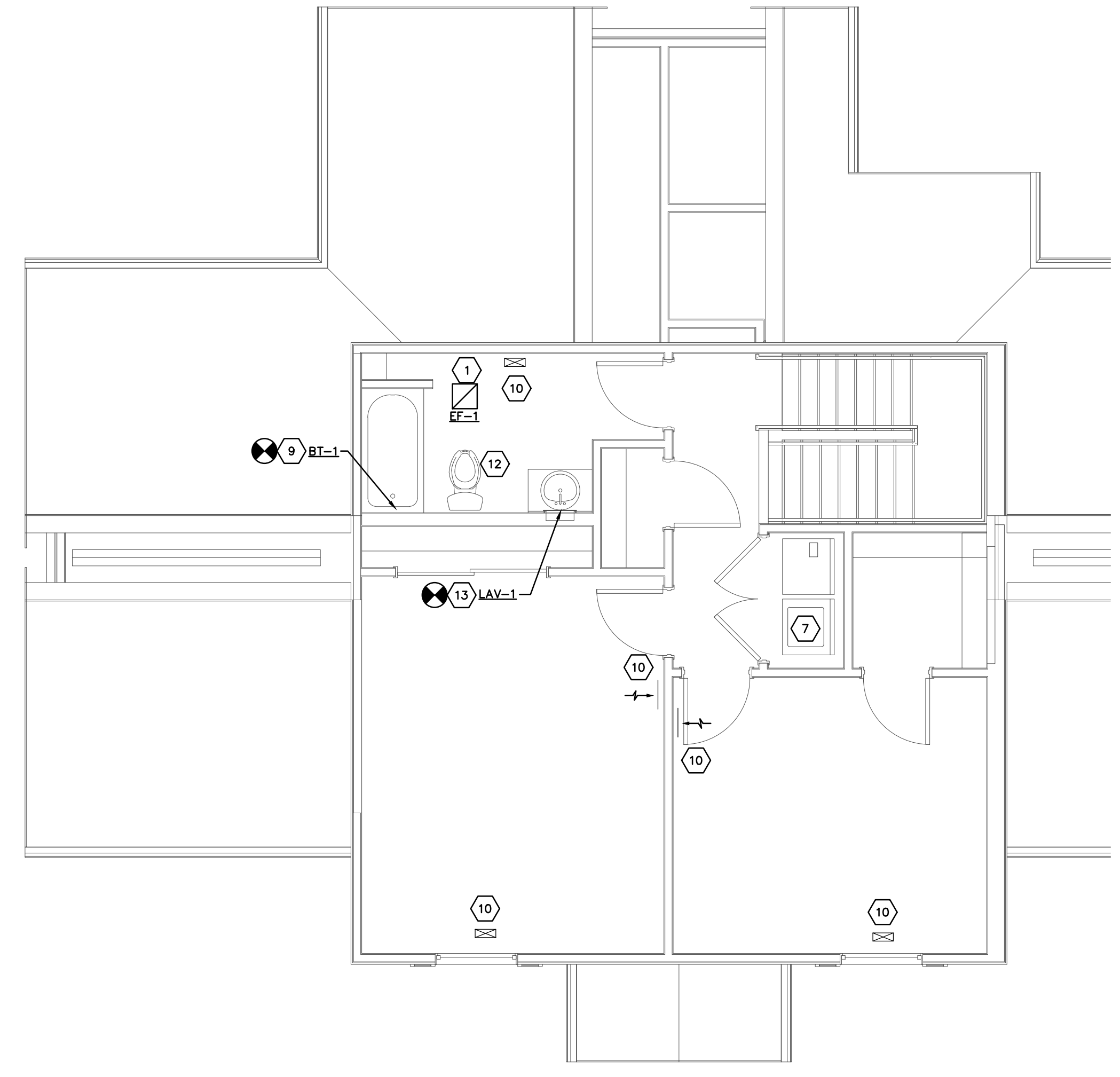
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4855 PINTAL CREEK DRIVE
COLUMBUS, OH 43110
FOR:
COLUMBUS METROPOLITAN HOUSING AUTHORITY

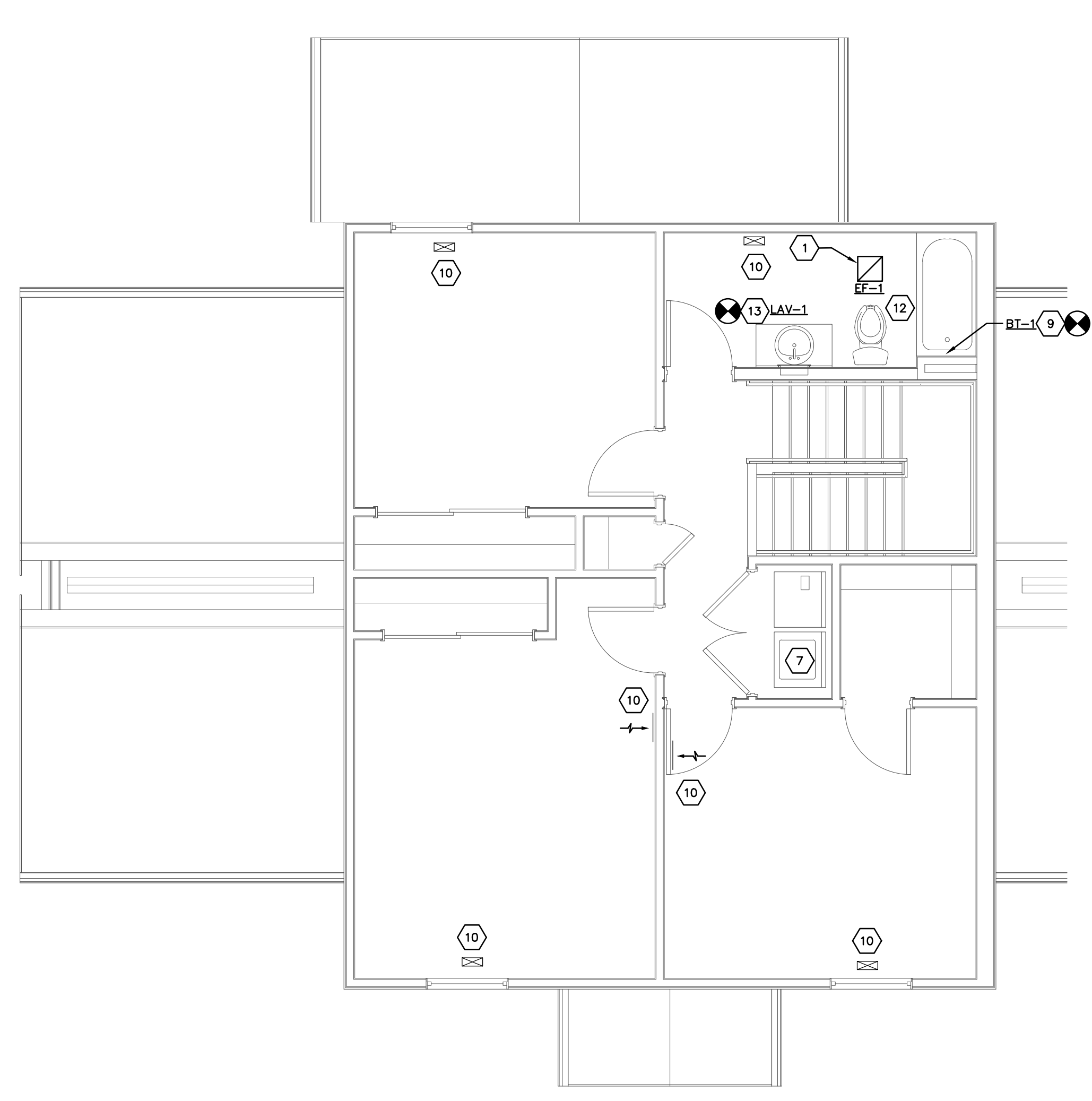
Moody Nolan
300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8861
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ENLARGED UNITS
HVAC PLANS

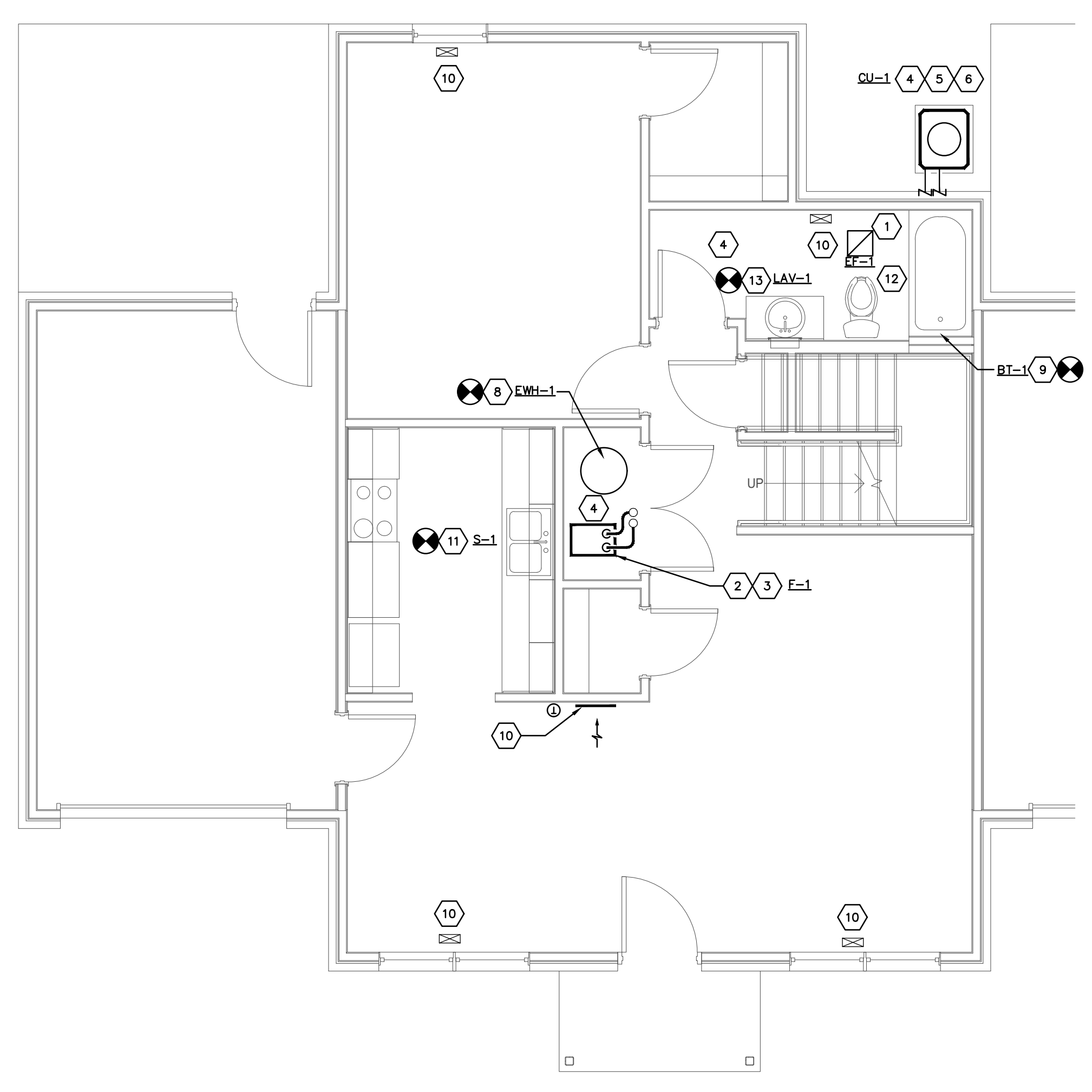
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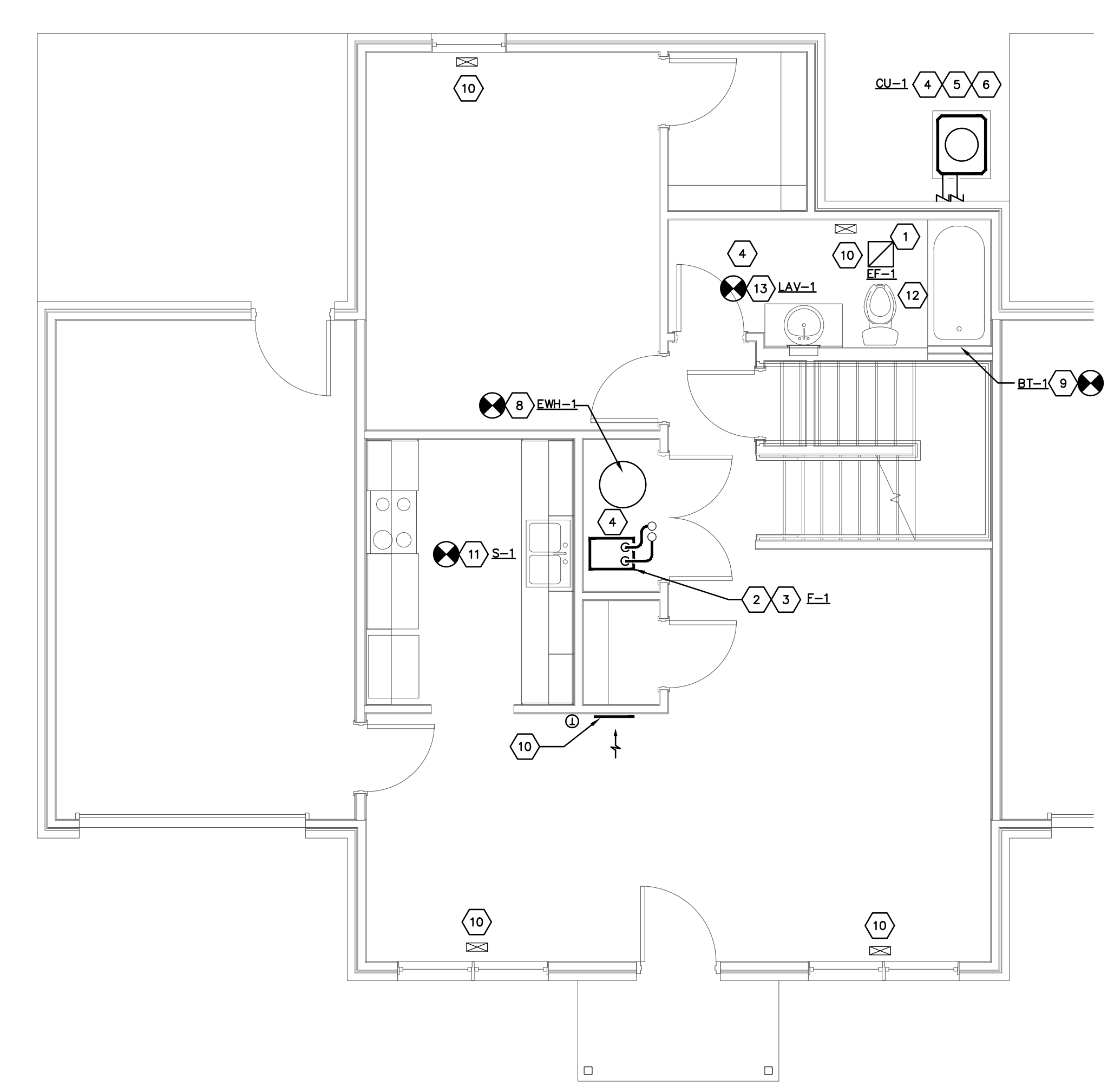
SECOND FLOOR UNIT 3-B
HVAC PLAN
SCALE: 1/4"=1'-0"



SECOND FLOOR UNIT 4-A
HVAC PLAN
SCALE: 1/4"=1'-0"



FIRST FLOOR UNIT 3-B
HVAC PLAN
SCALE: 1/4"=1'-0"



FIRST FLOOR UNIT 4-A
HVAC PLAN
SCALE: 1/4"=1'-0"

H202-18138-MEADOWS.DWG
PRATER
 Engineering Associates, Inc.
 6130 Wilcox Road (614) 766 4896
 Dublin, Ohio 43016 FAX: (614) 766 2334
 DESIGNED BY: M. EVANS, P.E. DRAWN BY: OML CHECKED BY: JOB NUM: 18138-MEADOWS

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IV	13,15,16,17	-	-	-	3	-
V	12,14	-	-	-	-	3
VI	19,20,21,22,23	1	1	2	-	-
UNIT TOTALS		30	5	42	12	6

BUILDING NUMBERS ARE COORDINATED WITH ARCHITECTURAL SITE PLAN.

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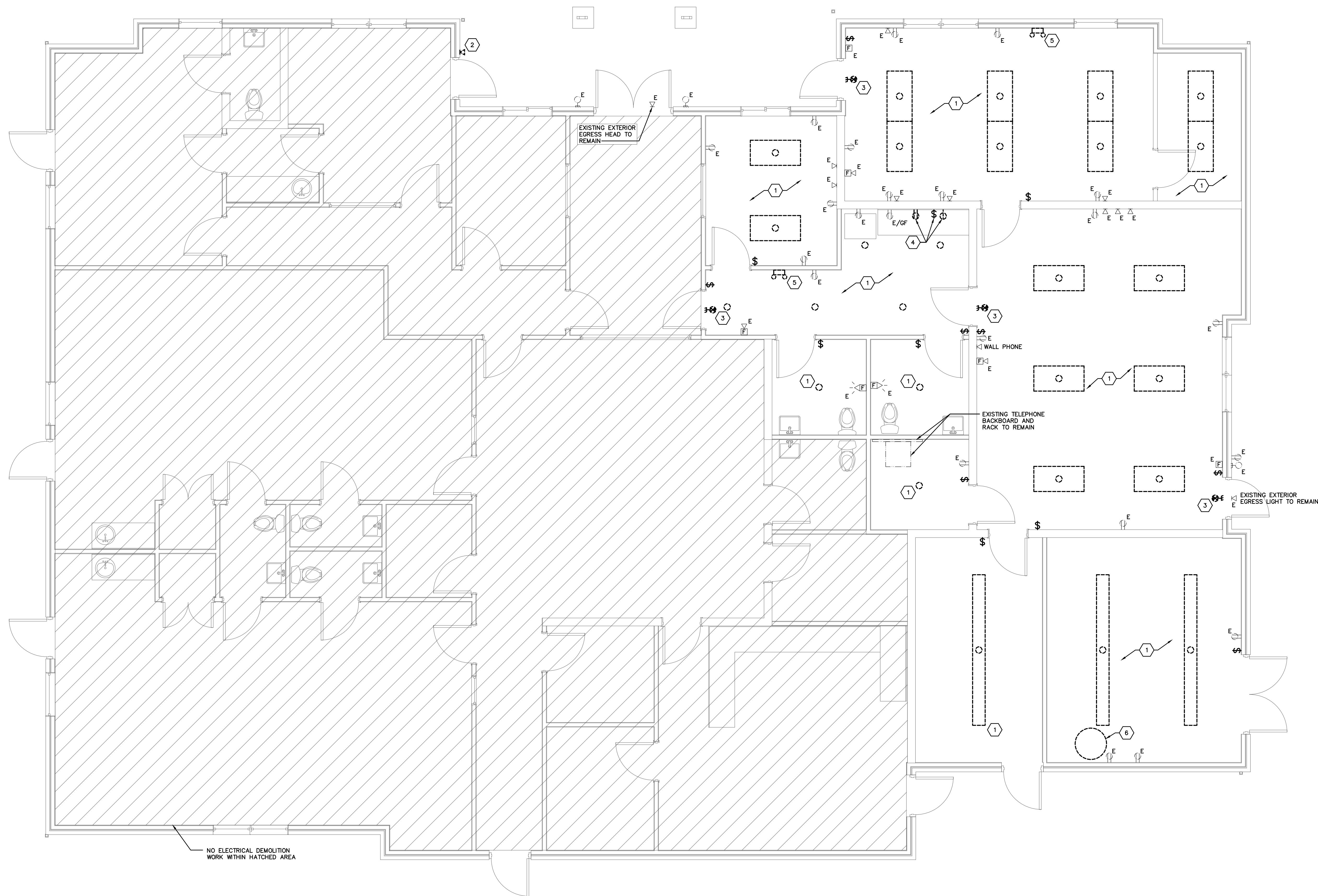
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 FOR: COLUMBUS METROPOLITAN HOUSING AUTHORITY

Moody Nolan
 300 SPRUCE STREET
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 PHONE: (614) 461-4664
 FAX: (614) 280-8861
 CERTIFICATE NO: FIRM 00197475

ENLARGED UNITS HVAC PLANS

H202

08/14/2025
 DRAWN BY: PEA CHECKED BY: PEA
 18076.04
 BID/PERMIT SET



COMMUNITY CENTER
ELECTRICAL DEMOLITION PLAN
SCALE: 1/4"=1'-0"

ED103-18138-MEADOWS.DWG
PRATER
Engineering Associates, Inc.
6130 Wilcox Road
Dublin, Ohio 43016 (614) 766 4896
FAX: (614) 766 2354
DESIGNED BY: N.ZORTMAN DRAWN BY: N.ZORTMAN CHECKED BY: D.POWELL, P.E. JOB NUM: 18138-MEADOWS

LINE TYPE LEGEND

- LINETYPE INDICATES EXISTING ELECTRICAL EQUIPMENT/DEVICE TO BE DEMOLISHED.
- LINETYPE INDICATES EXISTING ELECTRICAL EQUIPMENT/DEVICE TO REMAIN.

GENERAL NOTES

- A. ALL ELECTRICAL EQUIPMENT, WIRING DEVICES, LIGHTING FIXTURES, ETC. SHOWN ON THIS PLAN IN THIN LINES WITH A SUBSCRIPT "E" ARE EXISTING TO REMAIN AND SHOWN FOR REFERENCE ONLY.
- B. THE ELECTRICAL CONTRACTOR SHALL FIELD VERIFY EXISTING CONDUCTOR TYPES. IF EXISTING WIRING IS ALUMINUM CONDUCTOR, PROVIDE ALUMINUM TO COPPER SPADE CRIMP CONNECTORS AS NECESSARY.

CODED NOTES

1. MAINTAIN AND PROTECT EXISTING LIGHTING BRANCH CIRCUIT IN THIS AREA FOR REUSE IN NEW WORK PHASE.
2. DISCONNECT AND REMOVE EXISTING EXTERIOR EGRESS LIGHT - MAINTAIN AND PROTECT EXISTING OUTLET BOX AND BRANCH CIRCUIT FOR INSTALLATION OF NEW EXTERIOR EGRESS LIGHT.
3. DISCONNECT AND REMOVE EXISTING EXIT SIGN - MAINTAIN AND PROTECT EXISTING OUTLET BOX AND BRANCH CIRCUIT FOR INSTALLATION OF NEW EXIT SIGN.
4. DISCONNECT AND REMOVE EXISTING WIRING DEVICES FOR RELOCATION OF SINK; MAINTAIN AND PROTECT EXISTING CIRCUITRY FOR EXTENSION TO NEW WIRING DEVICE LOCATIONS.
5. DISCONNECT AND REMOVE EXISTING EMERGENCY EGRESS LIGHTING FIXTURE - MAINTAIN AND PROTECT EXISTING OUTLET BOX AND BRANCH CIRCUIT FOR INSTALLATION OF NEW EMERGENCY EGRESS LIGHTING FIXTURE.
6. EXISTING WATER HEATER TO BE DEMOLISHED AND REPLACED IN PLACE.

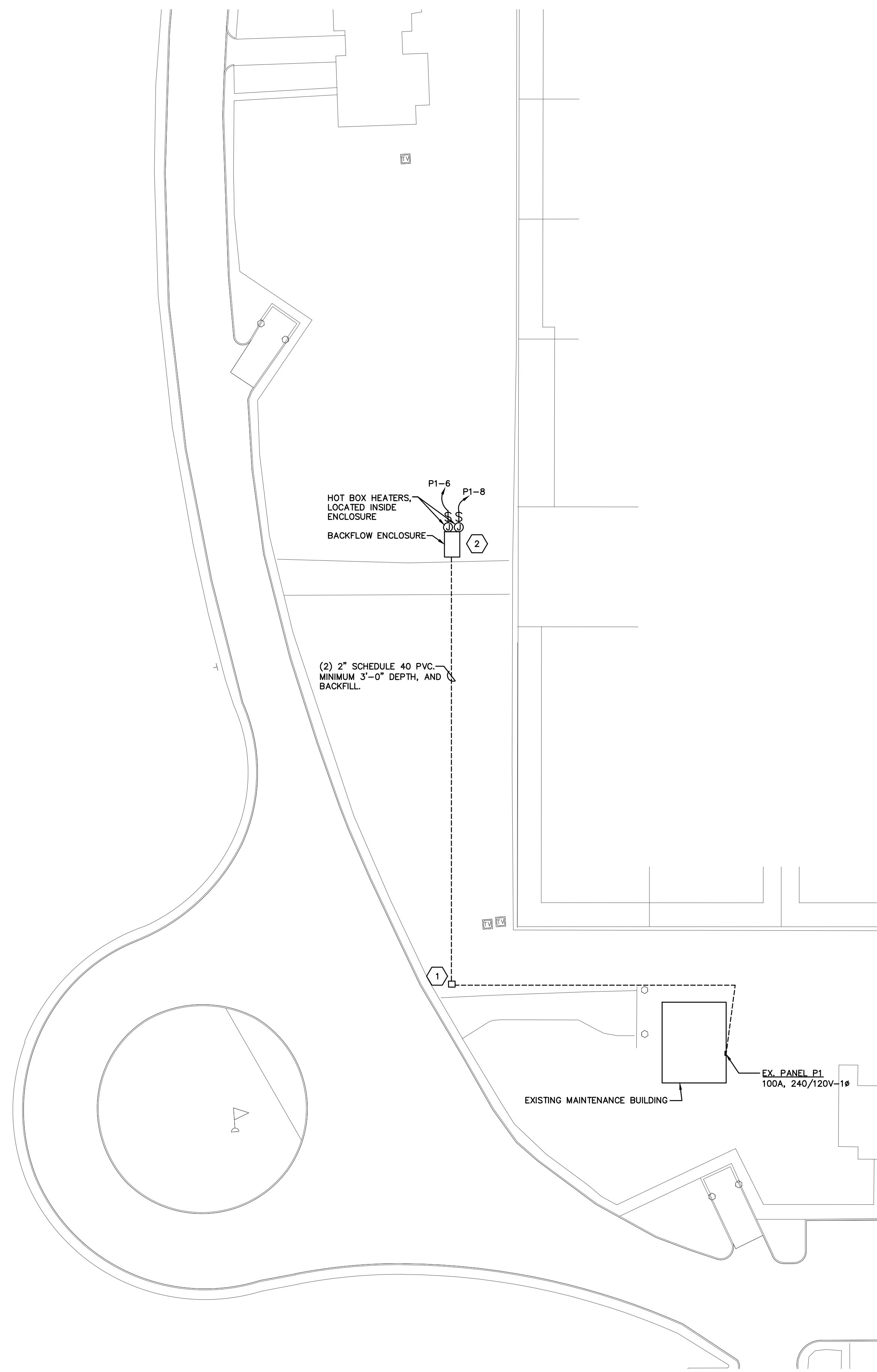
#	DATE	CHANGE DESCRIPTION

THE MEADOWS RAD RENOVATIONS
COLUMBUS METROPOLITAN HOUSING AUTHORITY
4855 PANTAL CREEK DRIVE
COLUMBUS, OH 43110
FOR
COLUMBUS METROPOLITAN HOUSING AUTHORITY

Moody Nolan
800 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881
CERTIFICATE NO: FIRM 00197475

COMMUNITY CENTER
ELECTRICAL PLANS

08/14/2025
DRAWN BY: PEA CHECKED BY: PEA
18076.04
ED103
BID / PERMIT SET



ELECTRICAL SITE PLAN
SCALE: 1"=30'-0"

Panel ID: P1		Voltage: 240 / 120		Panel Type: EXISTING								
Location: MAINT. BLDG		Phase: 1		Enclosure: EXISTING								
Mounting: SURFACE		Wire: 3										
Main Type: MCB		Main Size: 100 Amps										
<p>Note: Unless the CKT BKR OPTION is E (Existing to Remain), the existing circuit breaker shall be replaced with the new one that is shown.</p> <p>Minimum breaker AIC to match existing.</p> <p>All circuit breakers shall be standard bolt-on type, unless noted otherwise.</p> <p>** = Refer to one line diagram for wire sizes.</p>												
GND WIRE SIZE	BRANCH CIRCUIT DESCRIPTION	CKT BKR SIZE	CKT BKR OPTION	CONN. LOAD (KVA)	CKT NO.	PHASE	CONN. LOAD (KVA)	CKT BKR SIZE	CKT BKR OPTION	BRANCH CIRCUIT DESCRIPTION	WIRE SIZE	GND WIRE SIZE
E E	EX. REC	20/1	E.GF	0.360	1	A	2	0.200	E	EX. LTG	E	E
E E	EX. REC	20/1	E.GF	0.360	3	B	4	0.200	E	EX. LTG	E	E
E E	EX. REC	20/1	E.GF	0.180	5	A	6	1.900	E	HOTBOX HEATER	4	4
E E	EX. REC	20/1	E.GF	0.540	7	B	8	1.500	E	HOTBOX HEATER	4	4
E E	EX. UNIT HEATER	30/2	E	2.000	9	A	10	0.000	E	SPARE	-	-
-	-	-	-	2.000	11	B	12	0.000	E	SPARE	-	-
-	SPACE	-	-	0.000	13	A	14	0.000	-	SPACE	-	-
-	SPACE	-	-	0.000	15	B	16	0.000	-	SPACE	-	-
-	SPACE	-	-	0.000	17	A	18	0.000	-	SPACE	-	-
-	SPACE	-	-	0.000	19	B	20	0.000	-	SPACE	-	-
-	SPACE	-	-	0.000	21	A	22	0.000	-	SPACE	-	-
-	SPACE	-	-	0.000	23	B	24	0.000	-	SPACE	-	-
<p>Connected Load Panel Summary</p> <p>Phase A: 4.6 KVA 38.7 AMPS</p> <p>Phase B: 4.6 KVA 38.3 AMPS</p> <p>Total: 9.2 KVA 38.5 AMPS</p>						<p>Breaker Options (If Used):</p> <p>TC - Time Clock Control</p> <p>LO - Lock-On Device</p> <p>GF - GND Fault CKT Interrupter</p> <p>E - Existing to Remain</p> <p>SH - Shunt Trip Breaker</p>						

GENERAL NOTES

- A. COORDINATE WITH ALL UTILITY COMPANIES DURING THE BIDDING PHASE. THE ELECTRICAL SITE PLAN IS DIAGRAMATIC ONLY AND REPRESENTS GENERAL LOCATIONS OF EQUIPMENT AND UTILITY SPECIFICATIONS. COORDINATE WITH THE SEPARATE UTILITY COMPANIES TO REQUEST DETAILED SPECIFICATIONS AND EQUIPMENT SIZES.
- B. THE ELECTRICAL SITE PLAN DOES NOT SHOW ALL THE EXISTING UTILITIES OR EXISTING UNDERGROUND EQUIPMENT. THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH ALL TRADES, EXISTING CONDITIONS, LOCATE ALL UNDERGROUND SERVICES AND CLEARLY INDICATE LOCATIONS PRIOR TO THE START OF EXCAVATING. ELECTRICAL CONTRACTOR SHALL ROUTE NEW UNDERGROUND ABOVE OR BELOW EXISTING UTILITIES AND EQUIPMENT AS ALLOWED PER N.E.C. REQUIREMENTS.

CODED NOTES

1. PROVIDE IN GROUND ELECTRICAL PULLBOX EQUAL TO HUBBELL QUAZITE PG SERIES. SIZE PER NEC 314. PULLBOX SHALL HAVE HEAVY DUTY COVER WITH STAMPED LOGO "POWER". COORDINATE PULLBOX LOCATION WITH CIVIL PRIOR TO POUR-IN.
2. PROVIDE 120V CONNECTION TO (2) TAMPER SWITCHES INSIDE BACKFLOW ENCLOSURE. COORDINATE CONNECTION LOCATION WITH WATER SERVICE PLAN.

LINE TYPE LEGEND

- LINE TYPE INDICATES NEW ELECTRICAL EQUIPMENT/DEVICES TO BE PROVIDED.
- - - - - LINE TYPE INDICATES BELOW FLOOR ELECTRICAL WIRING

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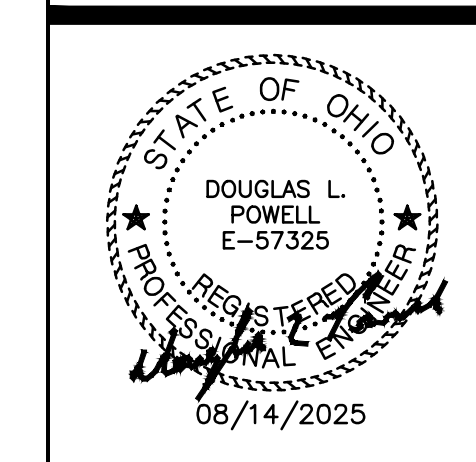
THE MEADOWS RAD RENOVATIONS
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 4855 PINECREEK DRIVE
 COLUMBUS, OH 43110
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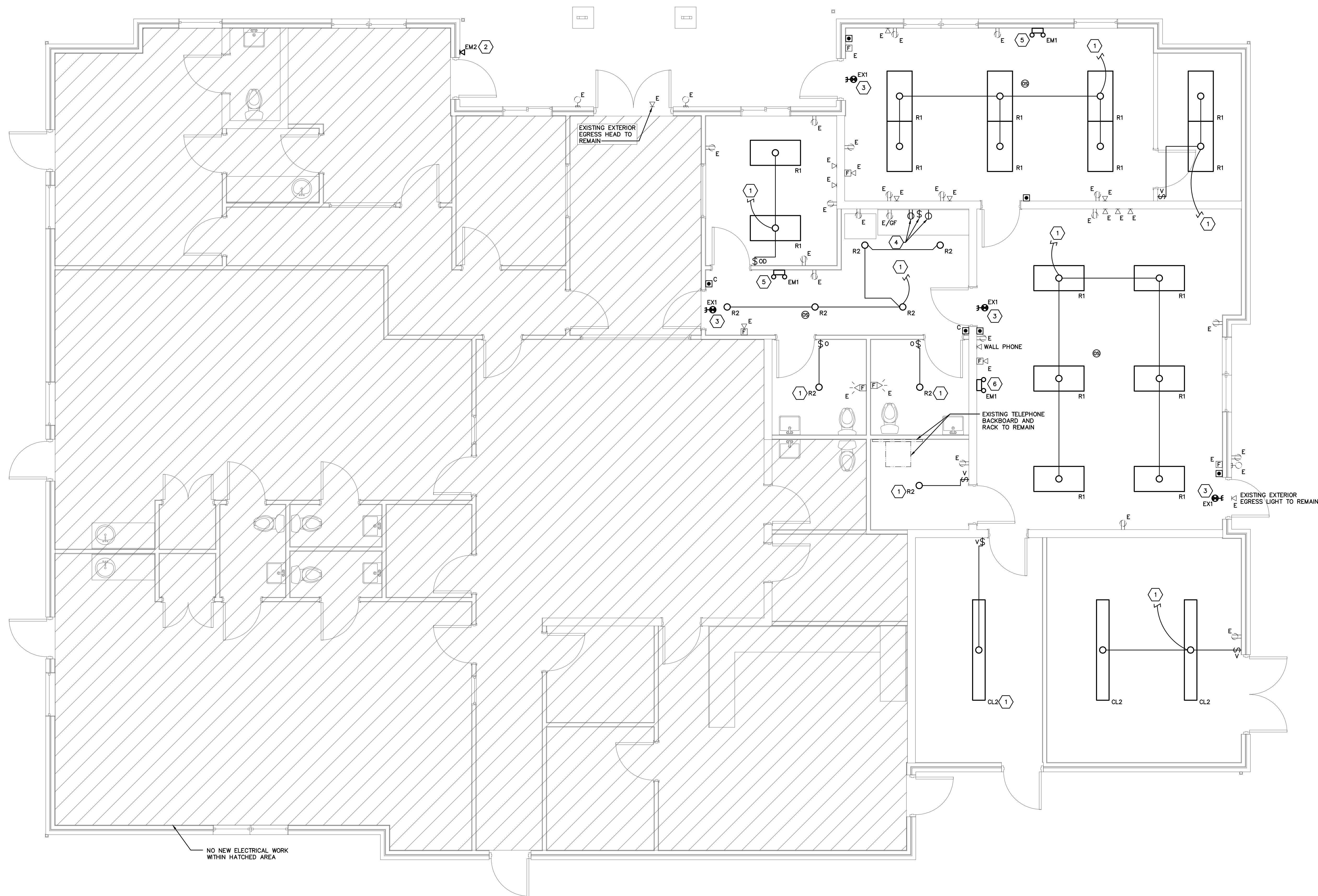
Moody Nolan
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 PHONE: (614) 461-4664
 FAX: (614) 280-8881
 CERTIFICATE NO: FIRM 00197475

DRAWING TITLE:
ELECTRICAL SITE PLAN

08/14/2025
 DRAWN BY: PEA CHECKED BY: PEA
 18076.04
E100
 BID / PERMIT SET

1100-18138-MEADOWS.DWG
PRATER Engineering Associates, Inc.
 6130 Wilcox Road
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 FAX: (614) 756 2354
 DESIGNED BY: N.ZORTMAN
 DRAWN BY: N.ZORTMAN
 CHECKED BY: D.POWELL, P.E.
 JOB NUM: 18138-MEADOWS





NO NEW ELECTRICAL WORK
WITHIN HATCHED AREA

COMMUNITY CENTER
ELECTRICAL PLAN
SCALE: 1/4"=1'-0"

LINE TYPE LEGEND

- LINETYPE INDICATES EXISTING ELECTRICAL EQUIPMENT/DEVICE TO BE DEMOLISHED.
- - - - - LINETYPE INDICATES EXISTING ELECTRICAL EQUIPMENT/DEVICE TO REMAIN.
- _____ LINETYPE INDICATES NEW DEVICE/ EQUIPMENT TO BE INSTALLED.

GENERAL NOTES

- A. ALL ELECTRICAL EQUIPMENT, WIRING DEVICES, LIGHTING FIXTURES, ETC. SHOWN ON THIS PLAN IN THIN LINES WITH A SUBSCRIPT "E" ARE EXISTING TO REMAIN AND SHOWN FOR REFERENCE ONLY.
- B. THE ELECTRICAL CONTRACTOR SHALL FIELD VERIFY EXISTING CONDUCTOR TYPES. IF EXISTING WIRING IS ALUMINUM CONDUCTOR, PROVIDE ALUMINUM TO COPPER SPADE CRIMP CONNECTORS AS NECESSARY.

CODED NOTES

1. EXTEND TO ROOM LIGHTING CIRCUIT MAINTAIN AND PROTECTED FROM DEMOLITION PHASE. MINIMUM WIRE SIZE SHALL BE 2-#12 AND 1-#12 GROUND IN 1/2" CONDUIT OR MC CABLE.
2. PROVIDE NEW EMERGENCY EGRESS LIGHTING FIXTURE WITHIN EXISTING OUTLET BOX - EXTEND EXISTING BRANCH CIRCUIT TO THE NEW DEVICE.
3. PROVIDE NEW EXIT SIGN WITHIN EXISTING OUTLET BOX - EXTEND EXISTING BRANCH CIRCUIT TO THE NEW DEVICE.
4. PROVIDE NEW GROUND FAULT RECEPTACLE, CONTROL SWITCH, AND DISPOSER GROUND FAULT RECEPTACLE - EXTEND EXISTING CIRCUITRY TO THE NEW LOCATION. COORDINATE FINAL LOCATION OF WIRING DEVICES WITH OWNER PRIOR TO ROUGH-IN.
5. PROVIDE NEW EMERGENCY EGRESS LIGHTING FIXTURE WITHIN EXISTING OUTLET BOX - EXTEND EXISTING BRANCH CIRCUIT TO THE NEW DEVICE.
6. WIRE EMERGENCY FIXTURE TO LOCAL LIGHTING CIRCUIT AHEAD OF LIGHTING CONTROL TO MONITOR LOCAL LIGHTING FOR LOSS OF UTILITY POWER. FIXTURE TO FULLY ILLUMINATE UPON THE LOSS OF UTILITY POWER.

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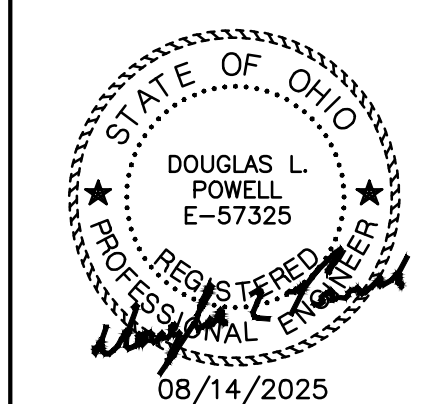
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COMMUNITY CENTER
ELECTRICAL PLANS

08/14/2025
 DRAWN BY: PEA CHECKED BY: PEA
 18076.04
E103
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E103-18138-MEADOWS.DWG
PRATER Engineering Associates, Inc.
 6130 Wilcox Road
 Dublin, Ohio 43015
 (614) 766 4896
 (614) 766 2354
 DESIGNED BY: N.ZORTMAN DRAWN BY: N.ZORTMAN CHECKED BY: D.POWELL, P.E. JOB NUM: 18138-MEADOWS



CODED NOTES

1. PROVIDE NEW COMBINATION SMOKE/CO DETECTOR. REFER TO SMOKE & CO DETECTION NOTES.
2. PROVIDE NEW SMOKE DETECTOR. REFER TO SMOKE & CO DETECTION NOTES.
3. EXISTING EXHAUST FAN TO BE REPLACED. DISCONNECT AND MAKE SAFE. EXTEND EXISTING WIRING AND MAKE FINAL CONNECTIONS TO REPLACEMENT UNIT AS REQUIRED. MAINTAIN EXISTING CIRCUIT AND CONTROLS.
4. EXISTING CERAMIC LAMPHOLDER TO REMAIN. PROVIDE LED RETROFIT LAMP PER GENERAL NOTE "D".
5. EXISTING WATER HEATER TO BE REPLACED. DISCONNECT AND MAKE SAFE. EXTEND EXISTING WIRING AND MAKE FINAL CONNECTIONS TO REPLACEMENT UNIT AS REQUIRED. MAINTAIN EXISTING CIRCUIT AND LOCAL DISCONNECT SWITCH.
6. EXISTING FURNACE TO BE REPLACED. DISCONNECT AND MAKE SAFE. EXTEND EXISTING WIRING AND MAKE FINAL CONNECTIONS TO REPLACEMENT UNIT AS REQUIRED. MAINTAIN EXISTING CIRCUIT AND LOCAL DISCONNECT SWITCH.
7. EXISTING CONDENSING UNIT TO BE REPLACED. DISCONNECT AND MAKE SAFE. PROVIDE NEW CIRCUIT BREAKER TO MATCH NEW CONDENSING UNIT MAXIMUM OVERCURRENT PROTECTION REQUIREMENTS. EXISTING WIRING MAY BE REUSED IF #12 AWG COPPER CONDUCTOR OR LARGER. EXTEND EXISTING CIRCUIT AND MAKE FINAL CONNECTIONS TO REPLACEMENT UNIT AS REQUIRED. MAINTAIN EXISTING CIRCUIT AND LOCAL DISCONNECT SWITCH. REFER TO MECHANICAL DRAWINGS FOR EXACT LOCATIONS AND QUANTITIES.
8. EXISTING KITCHEN RANGE HOOD TO BE REPLACED. DISCONNECT AND MAKE SAFE. EXTEND EXISTING CIRCUIT AND MAKE FINAL CONNECTIONS TO REPLACEMENT UNIT AS REQUIRED. MAINTAIN EXISTING CIRCUIT. FOR ADA UNITS ONLY, PROVIDE 120V CONNECTION TO HOOD AND REMOTE SWITCHING, MOUNTED IN THE ADJACENT BASE CABINET FOR LIGHTING AND LOW/HIGH/OFF FAN CONTROL OF RANGE HOOD. COORDINATE FINAL LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN.
9. PROVIDE NEW GFCI RECEPTACLE AND COVERPLATE AT EXISTING DEVICE LOCATION. MAINTAIN EXISTING CIRCUIT.
10. ELECTRICAL CONTRACTOR TO INSTALL NEW LIGHT FIXTURE IN EXISTING LIGHT FIXTURE LOCATION - WIRE COMPLETE.
11. DISCONNECT AND REMOVE EXISTING OUTLET AND OUTLET COVER - PROVIDE NEW OUTLET WITH WEATHERPROOF IN-USE COVER.
12. DISCONNECT AND REMOVE EXISTING OUTLET AND OUTLET COVER - PROVIDE NEW WHITE OUTLET AND WHITE COVER PLATE.
13. PROVIDE 20A GFCI RECEPTACLE IN BASE CABINET FOR GARBAGE DISPOSAL. EXTEND EXISTING SWITCHED CIRCUIT FROM DEMOLISHED HARD-WIRED DISPOSAL.
14. DISCONNECT AND REMOVE EXISTING CEILING MOUNTED CO DETECTOR. PATCH CEILING AS REQUIRED.
15. PROVIDE NEW WHITE COVER PLATE FOR EXISTING WIRING DEVICE.

LINE TYPE LEGEND

- LINETYPE INDICATES EXISTING ELECTRICAL EQUIPMENT/DEVICE TO BE DEMOLISHED.
- LINETYPE INDICATES EXISTING ELECTRICAL EQUIPMENT/DEVICE TO REMAIN.
- LINETYPE INDICATES NEW DEVICE/ EQUIPMENT TO BE INSTALLED.

GENERAL NOTES

- A. ALL UNITS ARE TYPICAL TO THE UNITS THAT ARE SHOWN, UNLESS OTHERWISE NOTED. PROVIDE ALL EQUIPMENT AND WORK AS NOTED IN THE TYPICAL APARTMENT ON THIS PAGE. SEE ARCHITECTURAL BUILDING TYPE SUMMARY FOR QUANTITY OF UNITS AND BUILDINGS.
- B. ALL ELECTRICAL EQUIPMENT, WIRING DEVICES, LIGHTING FIXTURES, ETC. SHOWN ON THIS PLAN IN THIN LINES WITH A SUBSCRIPT "E" ARE EXISTING TO REMAIN AND SHOWN FOR REFERENCE ONLY.
- C. EXISTING LIGHTING FIXTURES SHALL BE REPLACED UNLESS NOTED OTHERWISE. REFER TO LIGHTING FIXTURE SCHEDULE, SHEET #800, FOR REPLACEMENT FIXTURE REQUIREMENTS.
- D. EXISTING INCANDESCENT LIGHTING FIXTURES TO REMAIN SHALL BE CLEANED AND PROVIDED WITH 60 WATT EQUIVALENT LED LAMPS. FIELD VERIFY LOCATIONS AND QUANTITIES.
- F. WHERE EXISTING LIGHTING SWITCHING IS REPLACED OR MODIFIED THE CONTRACTOR SHALL VERIFY THAT EXISTING WIRING IS COMPATIBLE WITH SWITCHING REQUIREMENTS. PROVIDE UNIT PRICING TO CORRECT EXISTING WIRING AND ENABLE THREE WAY SWITCHING AS REQUIRED.
- G. WHERE BATHROOMS ARE PROVIDED WITH TWO LIGHT SWITCHES, THE FIRST SWITCH SHALL CONTROL THE VANITY FIXTURE AND THE SECOND SWITCH SHALL CONTROL THE COMBINATION FAN/LIGHT UNIT. WHERE BATHROOMS ARE PROVIDED WITH A SINGLE SWITCH, THE SWITCH SHALL CONTROL BOTH THE VANITY FIXTURE AND COMBINATION FAN/LIGHT UNIT.
- H. COORDINATE ALL NEW RECEPTACLE LOCATIONS IN AND ABOVE CABINETS WITH OWNER/ARCHITECT PRIOR TO ROUGH-IN.
- I. ALL NEW OR REPLACED 120 VOLT, 15 AND 20 AMP RECEPTACLES SHALL BE TAMPER-RESISTANT TYPE.
- J. PROVIDE GFCI PROTECTION FOR ALL 120 VOLT, 15 AND 20 AMP RECEPTACLES IN BATHROOMS, KITCHENS, LAUNDRY AREAS, OUTDOORS OR WHERE LOCATED WITHIN 6'-0" OF THE TOP INSIDE EDGE OF THE BOWL OF A SINK. WHERE RECEPTACLES ARE LOCATED IN AN ACCESSIBLE LOCATION PROVIDE NEW GFCI RECEPTACLE AND COVER PLATE. WHERE RECEPTACLES ARE LOCATED BEHIND APPLIANCES OR IN AN OTHERWISE INACCESSIBLE LOCATION REPLACE THE EXISTING CIRCUIT BREAKER WITH A NEW GFCI CIRCUIT BREAKER.
- K. WHERE EXISTING RECEPTACLES ARE REPLACED, 20 AMP CIRCUITS WITH MORE THAN ONE DEVICE MAY HAVE RECEPTACLES RATED FOR 15 OR 20 AMPS IN ACCORDANCE WITH NEC 210.21; 20 AMP CIRCUITS WITH A SINGLE DEVICE SHALL HAVE RECEPTACLES RATED 20 AMPS.
- L. THE ELECTRICAL CONTRACTOR SHALL FIELD VERIFY EXISTING CONDUCTOR TYPES. IF EXISTING WIRING IS ALUMINUM CONDUCTOR, PROVIDE ALUMINUM TO COPPER SPADE CRIMP CONNECTORS AS NECESSARY.

HEARING IMPAIRED UNITS

- A. REFER TO ARCHITECTURAL BUILDING TYPE SUMMARY FOR ADDRESSES AND QUANTITIES OF HEARING IMPAIRED UNITS.
- B. PROVIDE PUSH-BUTTON, TRANSFORMER AND LINE VOLTAGE/LOW VOLTAGE WIRING FOR HEARING IMPAIRED DOORBELL, EDWARDS #7005-GS. MOUNT TRANSFORMER IN FLUSH MOUNTED JUNCTION BOX. COORDINATE LOCATION IN FIELD PRIOR TO ROUGH-IN.
- C. PROVIDE EDWARDS #6536-GS DOORBELL HORN/STROBE MOUNTED IN THE LIVING AREA. COORDINATE LOCATION IN FIELD PRIOR TO ROUGH-IN.
- D. PROVIDE LED STROBE LIGHT IN EACH BEDROOM, BATHROOM AND COMMON AREA. STROBES SHALL BE SIMILAR TO BRK ELECTRONICS #SLED177, 120 VOLT W/ BATTERY BACK-UP. STROBES SHALL BE INTERCONNECTED AND SIMULTANEOUS WITH UNIT SMOKE & CO ALARMS.

SMOKE & CO DETECTION

- A. ELECTRICAL CONTRACTOR TO LOCATE AND REMOVE ALL EXISTING SMOKE DETECTORS IN ALL UNITS.
- B. MAINTAIN EXISTING 120 VOLT CIRCUIT. WHERE AN EXISTING CIRCUIT IS UNAVAILABLE, EXTEND THE NEAREST LIGHTING AND RECEPTACLE CIRCUIT TO THE NEW DETECTOR LOCATIONS AHEAD OF ANY SWITCHING OR CONTROL.
- C. PROVIDE NEW COMBINATION SMOKE/CO DETECTORS IN THE IMMEDIATE VICINITY OUTSIDE OF A BEDROOM. COMBINATION SMOKE/CO DETECTORS SHALL BE SIMILAR TO BRK ELECTRONICS #SC7010B, 120 VOLT W/ BATTERY BACK-UP.
- D. PROVIDE NEW SMOKE DETECTORS ON EACH LEVEL OF THE UNIT AND IN EACH BEDROOM. SMOKE DETECTORS SHALL BE SIMILAR TO BRK ELECTRONICS #7010B, 120 VOLT W/ BATTERY BACK-UP.
- E. COMBINATION SMOKE/CO DETECTORS AND SMOKE DETECTORS SHALL BE INTER-CONNECTED WITHIN EACH UNIT FOR SIMULTANEOUS ALARMING.
- F. FOR HEARING IMPAIRED UNITS:
 - F.A. PROVIDE COMBINATION SMOKE/CO ALARMS IN THE IMMEDIATE VICINITY OUTSIDE OF BEDROOMS. COMBINATION SMOKE/CO ALARMS SHALL BE SIMILAR TO BRK ELECTRONICS #7030BSL-WITH STROBE, 120 VOLT W/ BATTERY BACK-UP.
 - F.B. PROVIDE SMOKE DETECTORS IN EACH BEDROOM. SMOKE ALARMS SHALL BE SIMILAR TO BRK ELECTRONICS #7020BSL-WITH STROBE, 120 VOLT W/ BATTERY BACK-UP.
 - F.C. STROBES WITHIN RESTROOM SHALL BE INTO THE SMOKE AND COMBINATION SMOKE/CO DETECTORS FOR SIMULTANEOUS ALARMING.

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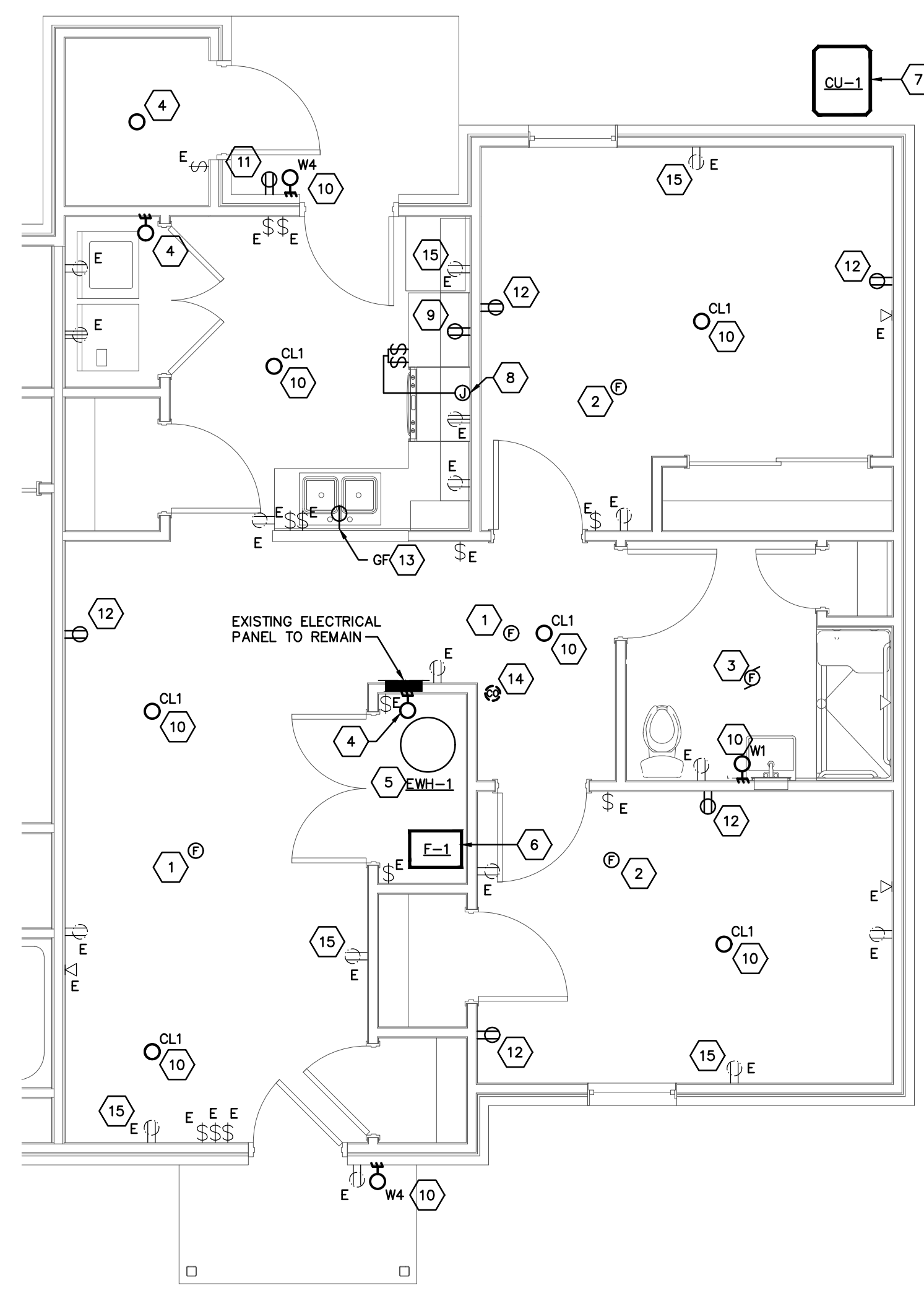
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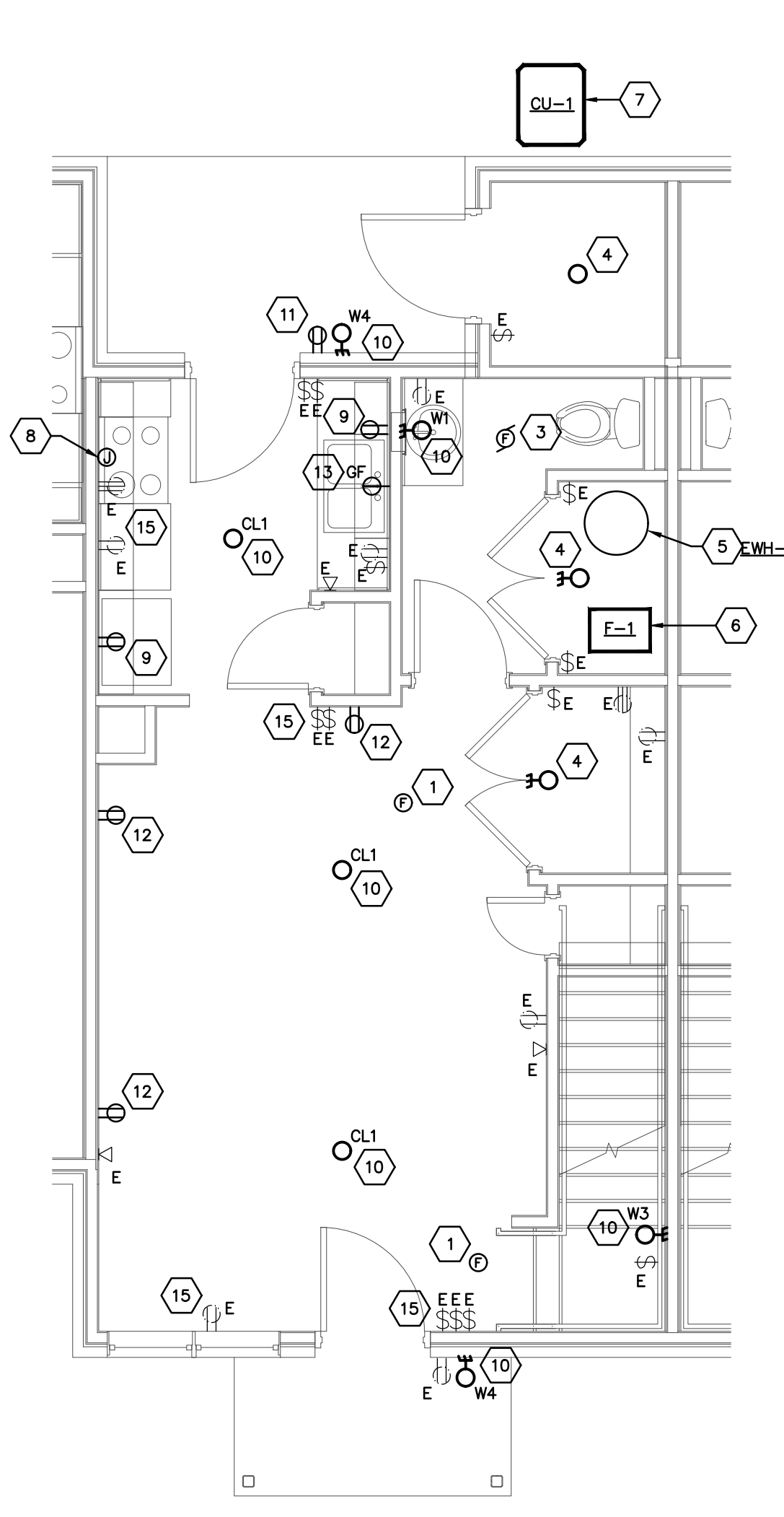
ENLARGED UNITS ELECTRICAL PLANS

08/14/2025
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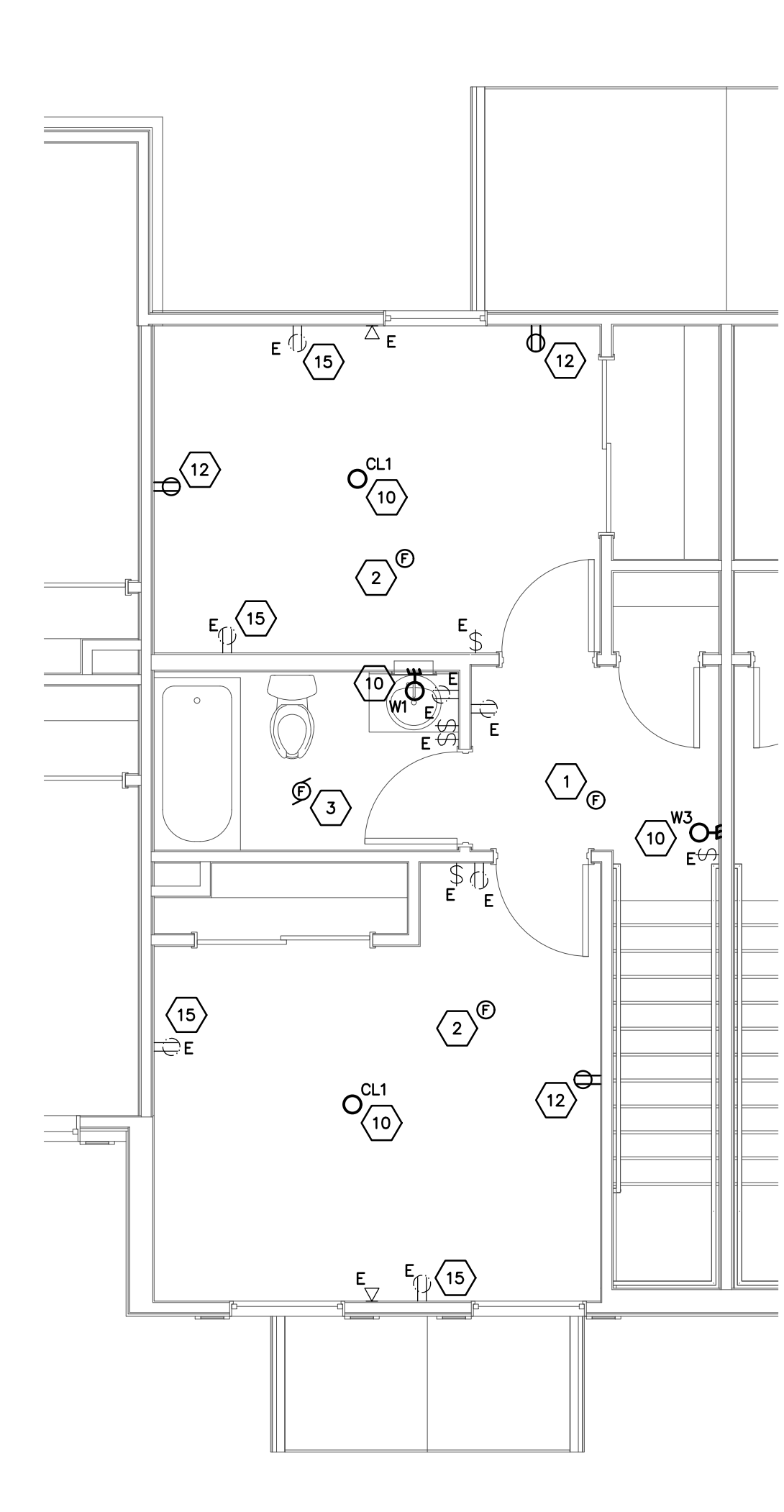
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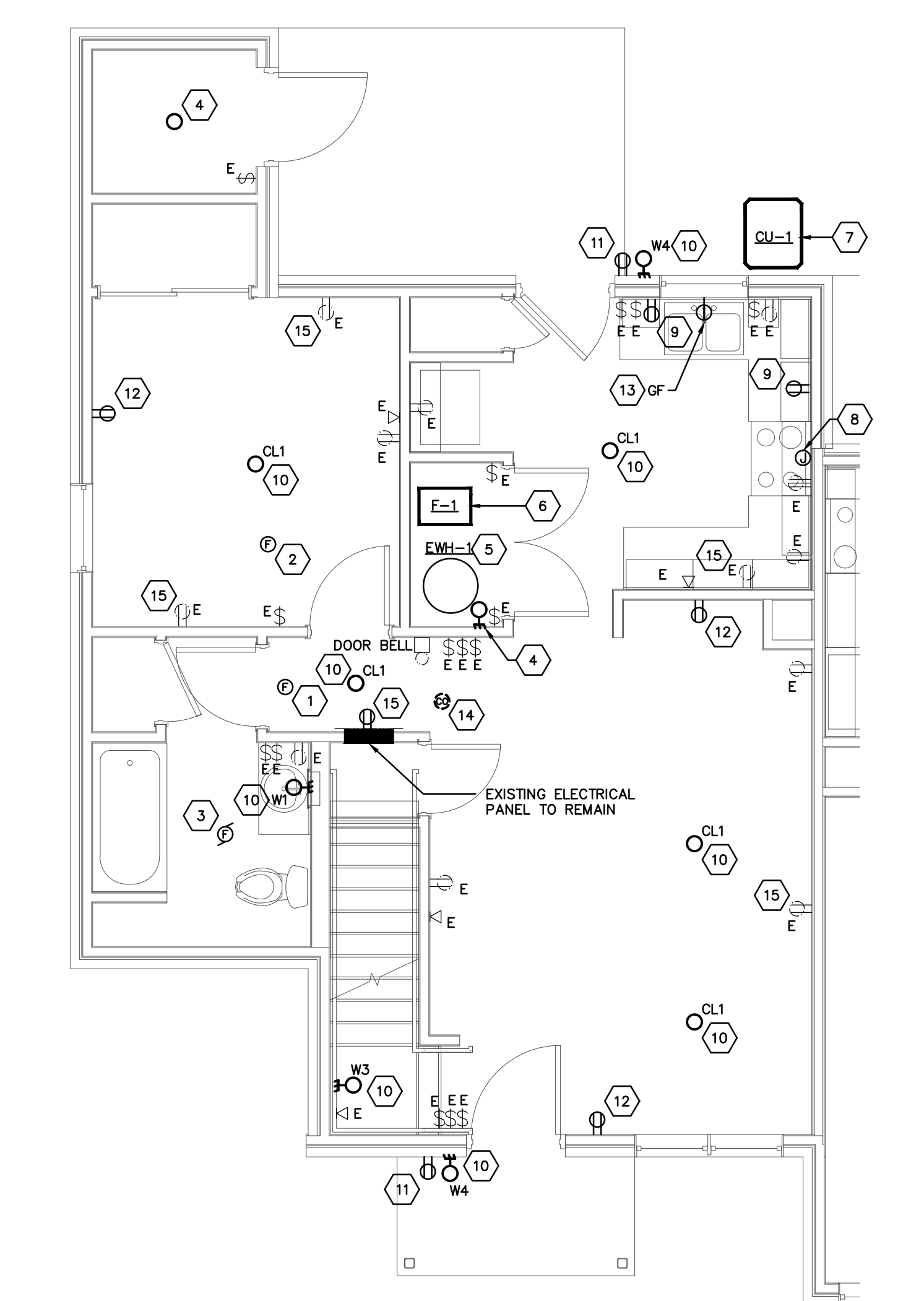
FIRST FLOOR UNIT 2-B (ANSI TYPE A UNIT) ELECTRICAL PLAN
 SCALE: 1/4"=1'-0"
 NOTE: - REFER TO ARCHITECTURAL BUILDING TYPE SUMMARY FOR ADDRESSES AND QUANTITIES OF ANSI TYPE A UNITS
 - ANSI TYPE A UNITS ARE EXISTING



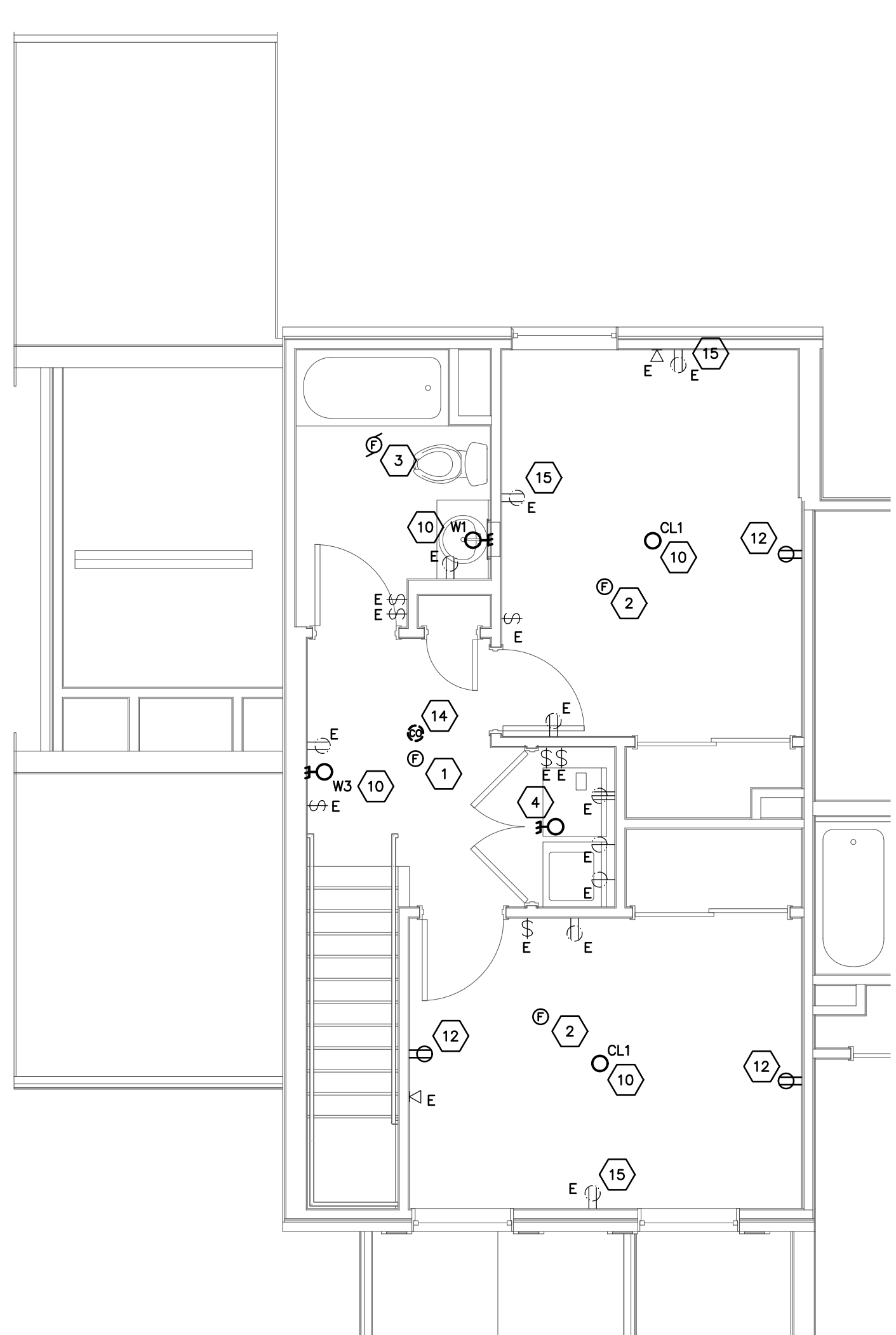
FIRST FLOOR UNIT 2-A ELECTRICAL PLAN
 SCALE: 1/4"=1'-0"



SECOND FLOOR UNIT 2-A ELECTRICAL PLAN
 SCALE: 1/4"=1'-0"



FIRST FLOOR UNIT 3-A ELECTRICAL PLAN
 SCALE: 1/4"=1'-0"



SECOND FLOOR UNIT 3-A ELECTRICAL PLAN
 SCALE: 1/4"=1'-0"

CODED NOTES

1. PROVIDE NEW COMBINATION SMOKE/CO DETECTOR. REFER TO SMOKE & CO DETECTION NOTES.
2. PROVIDE NEW SMOKE DETECTOR. REFER TO SMOKE & CO DETECTION NOTES.
3. EXISTING EXHAUST FAN TO BE REPLACED, DISCONNECT AND MAKE SAFE. EXTEND EXISTING WIRING AND MAKE FINAL CONNECTIONS TO REPLACEMENT UNIT AS REQUIRED. MAINTAIN EXISTING CIRCUIT AND CONTROLS.
4. EXISTING CERAMIC LAMPHOLDER TO REMAIN. PROVIDE LED RETROFIT LAMP PER GENERAL NOTE "D".
5. EXISTING WATER HEATER TO BE REPLACED, DISCONNECT AND MAKE SAFE. EXTEND EXISTING WIRING AND MAKE FINAL CONNECTIONS TO REPLACEMENT UNIT AS REQUIRED. MAINTAIN EXISTING CIRCUIT AND LOCAL DISCONNECT SWITCH.
6. EXISTING FURNACE TO BE REPLACED, DISCONNECT AND MAKE SAFE. EXTEND EXISTING WIRING AND MAKE FINAL CONNECTIONS TO REPLACEMENT UNIT AS REQUIRED. MAINTAIN EXISTING CIRCUIT AND LOCAL DISCONNECT SWITCH.
7. EXISTING CONDENSING UNIT TO BE REPLACED, DISCONNECT AND MAKE SAFE. PROVIDE NEW CIRCUIT BREAKER TO MATCH NEW CONDENSING UNIT MAXIMUM OVERCURRENT PROTECTION REQUIREMENTS. EXISTING WIRING MAY BE REUSED IF #12 AWG COPPER CONDUCTOR OR LARGER. EXTEND EXISTING CIRCUIT AND MAKE FINAL CONNECTIONS TO REPLACEMENT UNIT AS REQUIRED. MAINTAIN EXISTING CIRCUIT AND LOCAL DISCONNECT SWITCH. REFER TO MECHANICAL DRAWINGS FOR EXACT LOCATIONS AND QUANTITIES.
8. EXISTING KITCHEN RANGE HOOD TO BE REPLACED, DISCONNECT AND MAKE SAFE. EXTEND EXISTING CIRCUIT AND MAKE FINAL CONNECTIONS TO REPLACEMENT UNIT AS REQUIRED. MAINTAIN EXISTING CIRCUIT.
9. PROVIDE NEW GFCI RECEPTACLE AND COVERPLATE AT EXISTING DEVICE LOCATION. MAINTAIN EXISTING CIRCUIT.
10. ELECTRICAL CONTRACTOR TO INSTALL NEW LIGHT FIXTURE IN EXISTING LIGHT FIXTURE LOCATION - WIRE COMPLETE.
11. DISCONNECT AND REMOVE EXISTING OUTLET AND OUTLET COVER - PROVIDE NEW OUTLET WITH WEATHERPROOF IN-USE COVER.
12. DISCONNECT AND REMOVE EXISTING OUTLET AND OUTLET COVER - PROVIDE NEW WHITE OUTLET AND WHITE COVER PLATE.
13. PROVIDE 20A GFCI RECEPTACLE IN BASE CABINET FOR GARBAGE DISPOSAL. EXTEND EXISTING SWITCHED CIRCUITRY FROM DEMOLISHED HARD-WIRED DISPOSAL.
14. EXTEND EXISTING BEDROOM CIRCUIT TO THE NEW CLOSET LIGHTING - MINIMUM 2-#12 AND 1-#12 GROUND IN NON-METALLIC CABLING.
15. DISCONNECT AND REMOVE EXISTING CEILING MOUNTED CO DETECTOR. PATCH CEILING AS REQUIRED.
16. PROVIDE NEW WHITE COVER PLATE FOR EXISTING WIRING DEVICE.

LINE TYPE LEGEND

- LINETYPE INDICATES EXISTING ELECTRICAL EQUIPMENT/DEVICE TO BE DEMOLISHED.
- LINETYPE INDICATES EXISTING ELECTRICAL EQUIPMENT/DEVICE TO REMAIN.
- LINETYPE INDICATES NEW DEVICE/ EQUIPMENT TO BE INSTALLED.

GENERAL NOTES

- A. ALL UNITS ARE TYPICAL TO THE UNITS THAT ARE SHOWN, UNLESS OTHERWISE NOTED. PROVIDE ALL EQUIPMENT AND WORK AS NOTED IN THE TYPICAL APARTMENT ON THIS PAGE. SEE ARCHITECTURAL BUILDING TYPE SUMMARY FOR QUANTITY OF UNITS AND BUILDINGS.
- B. ALL ELECTRICAL EQUIPMENT, WIRING DEVICES, LIGHTING FIXTURES, ETC. SHOWN ON THIS PLAN IN THIN LINES WITH A SUBSCRIPT "E" ARE EXISTING TO REMAIN AND SHOWN FOR REFERENCE ONLY.
- C. EXISTING LIGHTING FIXTURES SHALL BE REPLACED UNLESS NOTED OTHERWISE. REFER TO LIGHTING FIXTURE SCHEDULE, SHEET #R00, FOR REPLACEMENT FIXTURE REQUIREMENTS.
- D. EXISTING INCANDESCENT LIGHTING FIXTURES TO REMAIN SHALL BE CLEANED AND PROVIDED WITH 60 WATT EQUIVALENT LED LAMPS. FIELD VERIFY LOCATIONS AND QUANTITIES.
- F. WHERE EXISTING LIGHTING SWITCHING IS REPLACED OR MODIFIED THE CONTRACTOR SHALL VERIFY THAT EXISTING WIRING IS COMPATIBLE WITH SWITCHING REQUIREMENTS. PROVIDE UNIT PRICING TO CORRECT EXISTING WIRING AND ENABLE THREE WAY SWITCHING AS REQUIRED.
- G. WHERE BATHROOMS ARE PROVIDED WITH TWO LIGHT SWITCHES, THE FIRST SWITCH SHALL CONTROL THE VANITY FIXTURE AND THE SECOND SWITCH SHALL CONTROL THE COMBINATION FAN/LIGHT UNIT. WHERE BATHROOMS ARE PROVIDED WITH A SINGLE SWITCH, THE SWITCH SHALL CONTROL BOTH THE VANITY FIXTURE AND COMBINATION FAN/LIGHT UNIT.
- H. COORDINATE ALL NEW RECEPTACLE LOCATIONS IN AND ABOVE CABINETRY WITH OWNER/ARCHITECT PRIOR TO ROUGH-IN.
- I. ALL NEW OR REPLACED 120 VOLT, 15 AND 20 AMP RECEPTACLES SHALL BE TAMPER-RESISTANT TYPE.
- J. PROVIDE GFCI PROTECTION FOR ALL 120 VOLT, 15 AND 20 AMP RECEPTACLES IN BATHROOMS, KITCHENS, LAUNDRY AREAS, OUTDOORS OR WHERE LOCATED WITHIN 6'-0" OF THE TOP INSIDE EDGE OF THE BOWL OF A SINK. WHERE RECEPTACLES ARE LOCATED IN AN ACCESSIBLE LOCATION PROVIDE NEW GFCI RECEPTACLE AND COVER PLATE. WHERE RECEPTACLES ARE LOCATED BEHIND APPLIANCES OR IN AN OTHERWISE INACCESSIBLE LOCATION REPLACE THE EXISTING CIRCUIT BREAKER WITH A NEW GFCI CIRCUIT BREAKER.
- K. WHERE EXISTING RECEPTACLES ARE REPLACED, 20 AMP CIRCUITS WITH MORE THAN ONE DEVICE MAY HAVE RECEPTACLES RATED FOR 15 OR 20 AMPS IN ACCORDANCE WITH NEC 210.21; 20 AMP CIRCUITS WITH A SINGLE DEVICE SHALL HAVE RECEPTACLES RATED 20 AMPS.
- L. THE ELECTRICAL CONTRACTOR SHALL FIELD VERIFY EXISTING CONDUCTOR TYPES. IF EXISTING WIRING IS ALUMINUM CONDUCTOR, PROVIDE ALUMINUM TO COPPER SPADE CRIMP CONNECTORS AS NECESSARY.

HEARING IMPAIRED UNITS

- A. REFER TO ARCHITECTURAL BUILDING TYPE SUMMARY FOR ADDRESSES AND QUANTITIES OF HEARING IMPAIRED UNITS.
- B. PROVIDE PUSH-BUTTON, TRANSFORMER AND LINE VOLTAGE/LOW VOLTAGE WIRING FOR HEARING IMPAIRED DOORBELL, EDWARDS #7005-GS. MOUNT TRANSFORMER IN FLUSH MOUNTED JUNCTION BOX. COORDINATE LOCATION IN FIELD PRIOR TO ROUGH-IN.
- C. PROVIDE EDWARDS #6536-GS DOORBELL HORN/STROBE MOUNTED IN THE LIVING AREA. COORDINATE LOCATION IN FIELD PRIOR TO ROUGH-IN.
- D. PROVIDE LED STROBE LIGHT IN EACH BEDROOM, BATHROOM AND COMMON AREA. STROBES SHALL BE SIMILAR TO BRK ELECTRONICS #SLED177, 120 VOLT W/ BATTERY BACK-UP. STROBES SHALL BE INTERCONNECTED AND SIMULTANEOUS WITH UNIT SMOKE & CO ALARMS.

SMOKE & CO DETECTION

- A. ELECTRICAL CONTRACTOR TO LOCATE AND REMOVE ALL EXISTING SMOKE DETECTORS IN ALL UNITS.
- B. MAINTAIN EXISTING 120 VOLT CIRCUIT. WHERE AN EXISTING CIRCUIT IS UNAVAILABLE, EXTEND THE NEAREST LIGHTING AND RECEPTACLE CIRCUIT TO THE NEW DETECTOR LOCATIONS AHEAD OF ANY SWITCHING OR CONTROL.
- C. PROVIDE NEW COMBINATION SMOKE/CO DETECTORS IN THE IMMEDIATE VICINITY OUTSIDE OF A BEDROOM. COMBINATION SMOKE/CO DETECTORS SHALL BE SIMILAR TO BRK ELECTRONICS #SC7010B, 120 VOLT W/ BATTERY BACK-UP.
- D. PROVIDE NEW SMOKE DETECTORS ON EACH LEVEL OF THE UNIT AND IN EACH BEDROOM. SMOKE DETECTORS SHALL BE SIMILAR TO BRK ELECTRONICS #7010B, 120 VOLT W/ BATTERY BACK-UP.
- E. COMBINATION SMOKE/CO DETECTORS AND SMOKE DETECTORS SHALL BE INTER-CONNECTED WITHIN EACH UNIT FOR SIMULTANEOUS ALARMING.
- F. FOR HEARING IMPAIRED UNITS:
 - F.A. PROVIDE COMBINATION SMOKE/CO ALARMS IN THE IMMEDIATE VICINITY OUTSIDE OF BEDROOMS. COMBINATION SMOKE/CO ALARMS SHALL BE SIMILAR TO BRK ELECTRONICS #7030BSL-WITH STROBE, 120 VOLT W/ BATTERY BACK-UP.
 - F.B. PROVIDE SMOKE DETECTORS IN EACH BEDROOM. SMOKE ALARMS SHALL BE SIMILAR TO BRK ELECTRONICS #7020BSL-WITH STROBE, 120 VOLT W/ BATTERY BACK-UP.
 - F.C. STROBES WITHIN RESTROOM SHALL TIE INTO THE SMOKE AND COMBINATION SMOKE/CO DETECTORS FOR SIMULTANEOUS ALARMING.

#	DATE	CHANGE DESCRIPTION

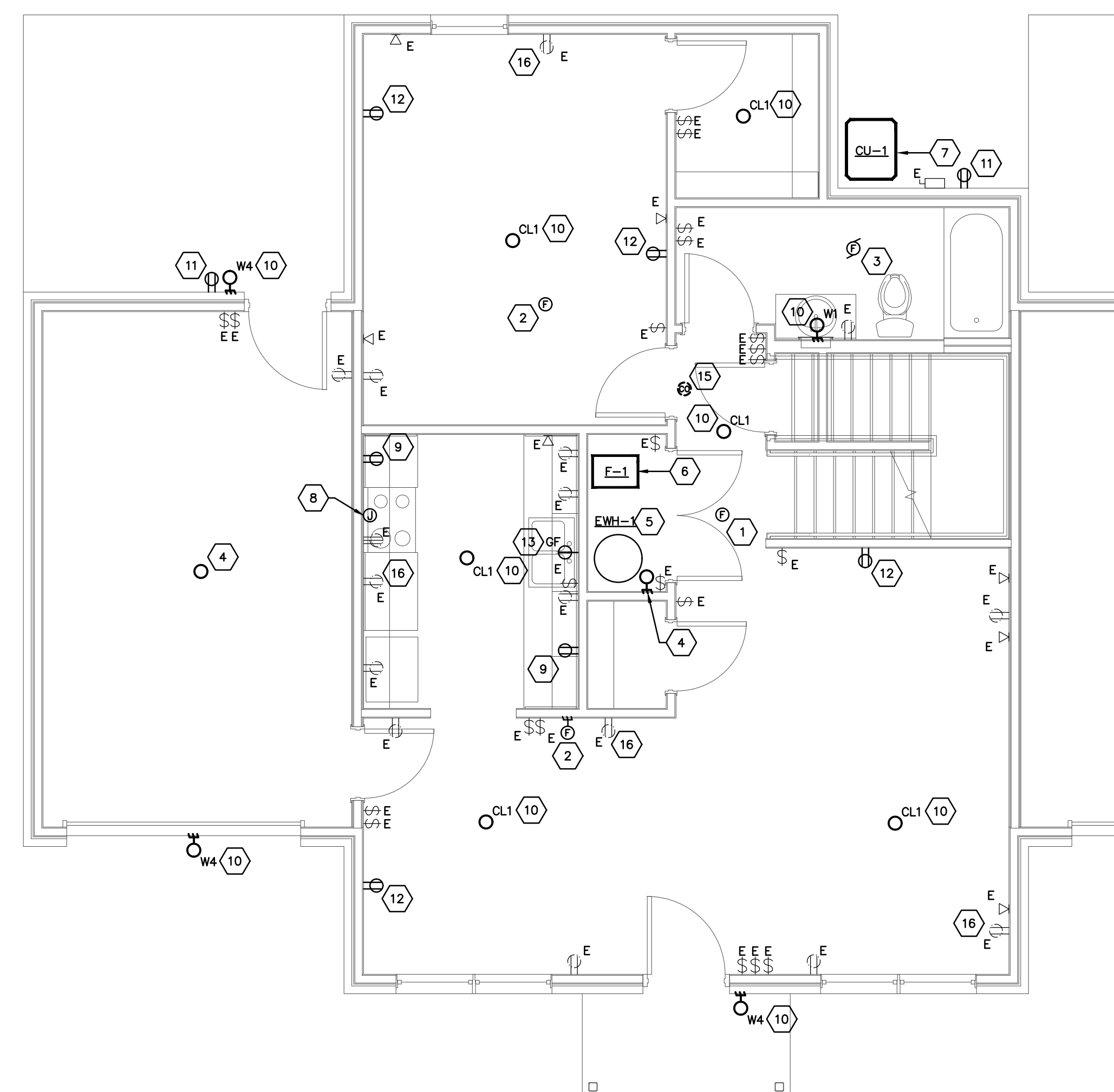
THE MEADOWS RAD RENOVATIONS
 4855 PANTAL CREEK DRIVE
 COLUMBUS, OH 43110
 FOR
COLUMBUS METROPOLITAN HOUSING AUTHORITY

Moody Nolan
 800 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881
 CERTIFICATE NO: FIRM 00197475

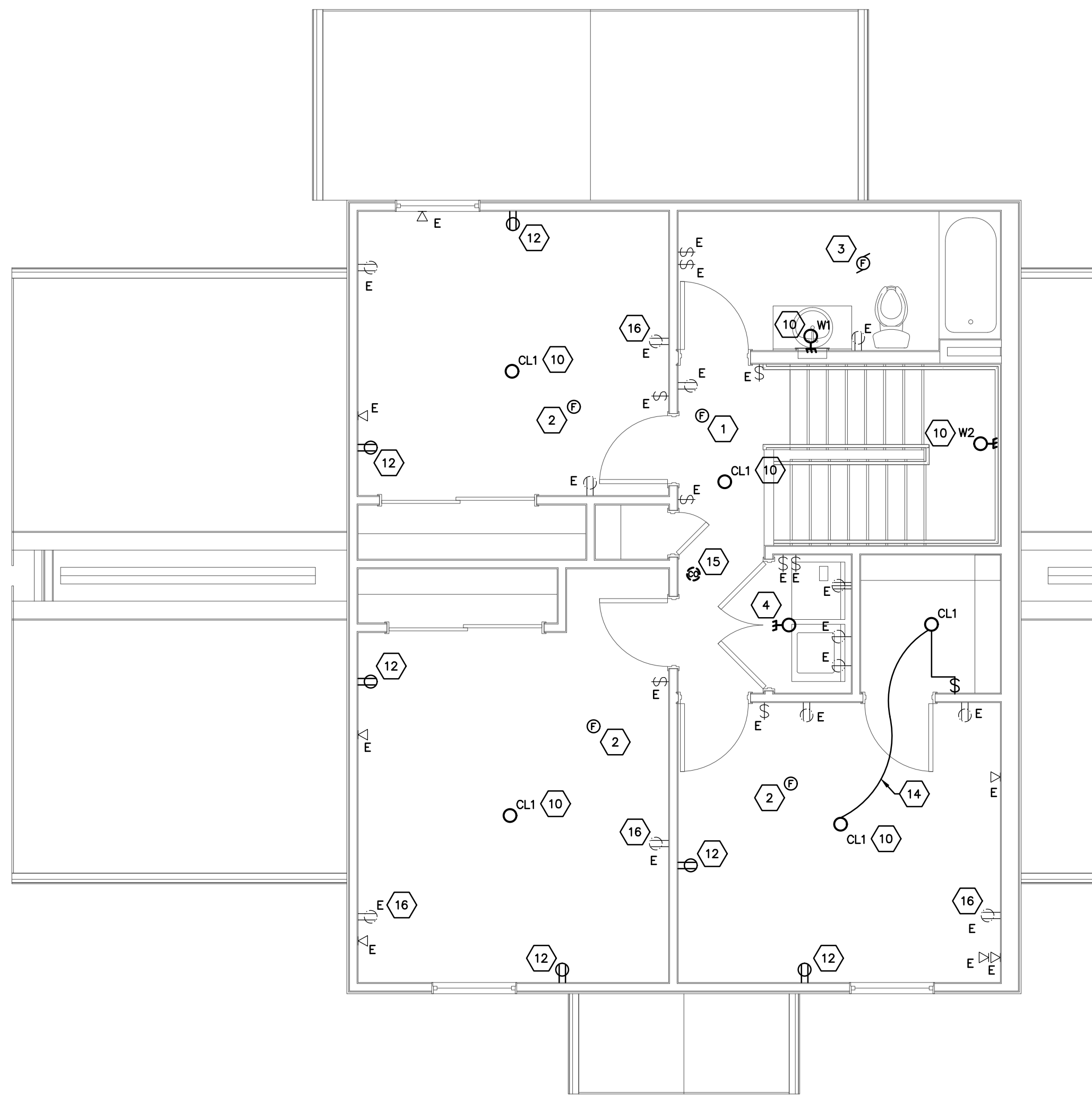
ENLARGED UNITS ELECTRICAL PLANS

08/14/2025
 DRAWN BY: PEA CHECKED BY: PEA
 18076.04
E811
 BID / PERMIT SET

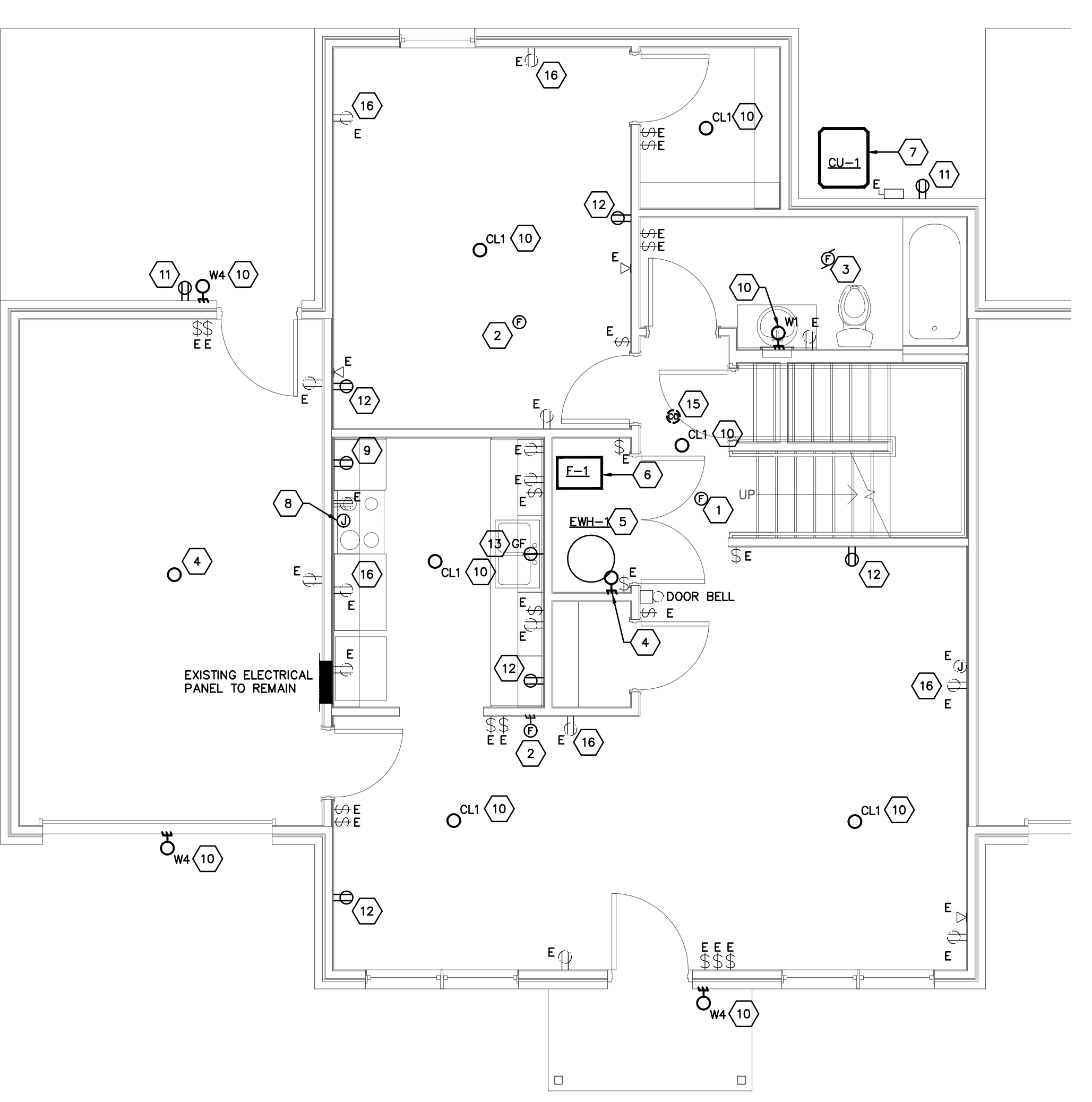
811-18138-MEADOWS-DWG
PRATER Engineering Associates, Inc.
 6130 Wilcox Road
 Dublin, Ohio 43015
 (614) 766 4896
 (614) 766 2354
 DESIGNED BY: N.ZORNIAN
 DRAWN BY: N.ZORNIAN
 CHECKED BY: D.POWELL, P.E.
 JOB NUM: 18138-MEADOWS



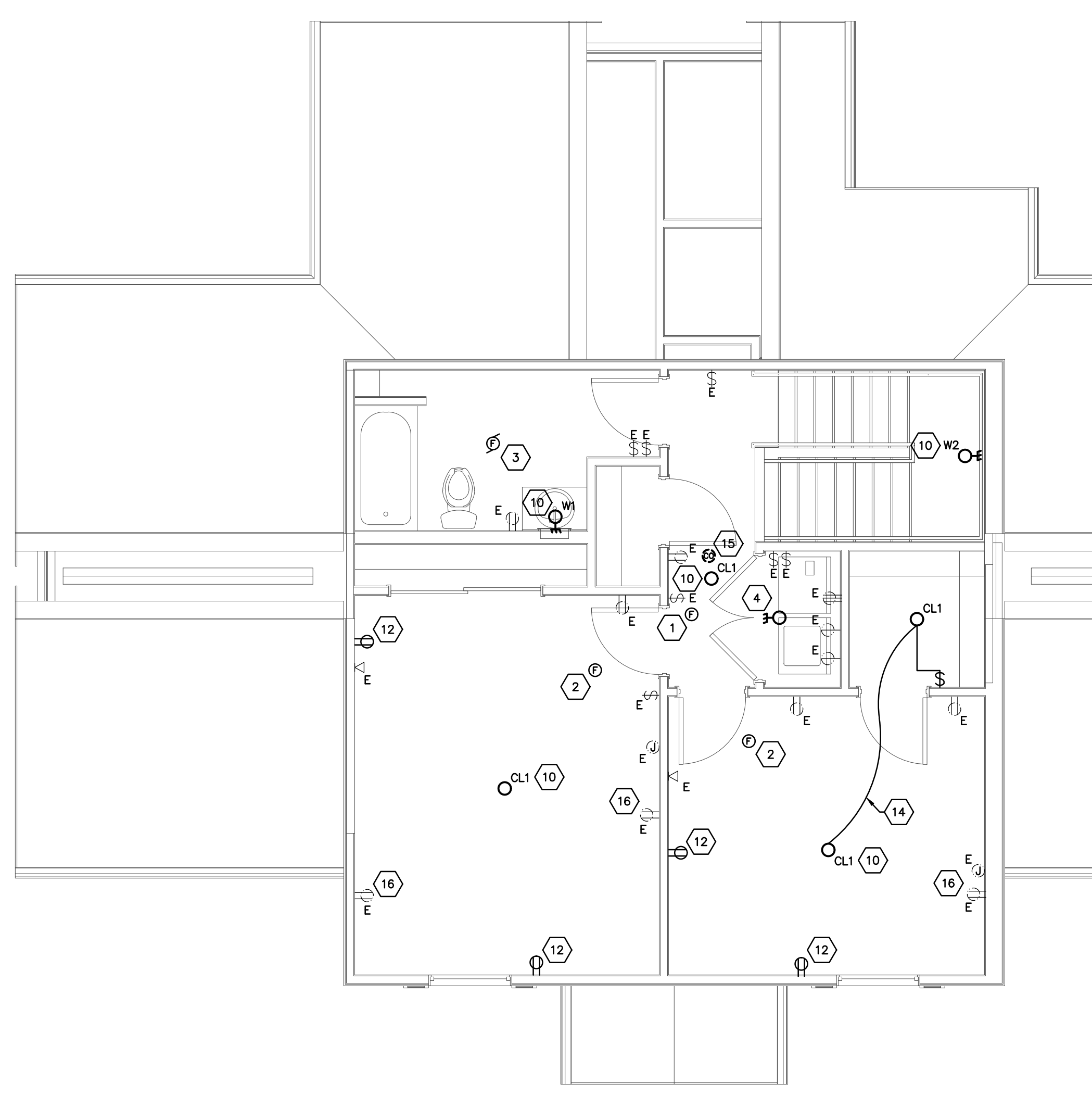
FIRST FLOOR UNIT 4-A
 ELECTRICAL PLAN
 SCALE: 1/4"=1'-0"



SECOND FLOOR UNIT 4-A
 ELECTRICAL PLAN
 SCALE: 1/4"=1'-0"



FIRST FLOOR UNIT 3-B
 ELECTRICAL PLAN
 SCALE: 1/4"=1'-0"



SECOND FLOOR UNIT 3-B
 ELECTRICAL PLAN
 SCALE: 1/4"=1'-0"

LIGHTING CONTROL LEGEND

LINE VOLTAGE CONTROL

Ⓓ WALL MOUNTED SELF-ADJUSTING 2400 SQ. FT. SINGLE-CIRCUIT DUAL TECHNOLOGY (ULTRA/PIR) SENSOR WITH 180° FIELD OF VIEW AND DIMMING - ACUITY CONTROLS MODEL#WSX-PDT-D. EXTEND 0-10V DIMMING WIRING TO ALL FIXTURES WITHIN THE ROOM FOR FULL RANGE DIMMING CONTROL. SWITCH SHALL BE PROGRAMMED FOR AUTO OFF AND MANUAL ON.

Ⓔ WALL MOUNTED SELF-ADJUSTING 2400 SQ. FT. SINGLE-CIRCUIT DUAL TECHNOLOGY (ULTRA/PIR) SENSOR WITH 180° FIELD OF VIEW - ACUITY CONTROLS MODEL#WSX-PDT. SWITCH SHALL BE PROGRAMMED FOR AUTO OFF AND AUTO ON.

Ⓕ WALL MOUNTED SELF-ADJUSTING 2400 SQ. FT. SINGLE-CIRCUIT DUAL TECHNOLOGY (ULTRA/PIR) SENSOR WITH 180° FIELD OF VIEW - ACUITY CONTROLS MODEL#WSX-PDT. SWITCH SHALL BE PROGRAMMED FOR AUTO OFF AND MANUAL ON.

LOW VOLTAGE CONTROL

Ⓖ WALL MOUNTED LOW VOLTAGE (LV) MANUAL ON/OFF AND RAISE LOWER - ACUITY CONTROLS MODEL#PDDM-DX. EXTEND 0-10V DIMMING WIRING TO ALL FIXTURES WITHIN THE ROOM FOR FULL RANGE DIMMING CONTROL. SWITCH SHALL BE PROGRAMMED FOR AUTO OFF AND MANUAL ON. REFER TO WIRING DIAGRAM.

Ⓖ WALL MOUNTED LOW VOLTAGE (LV) MANUAL ON/OFF - ACUITY CONTROLS MODEL#PDDM. SWITCH SHALL BE PROGRAMMED FOR AUTO ON AND AUTO OFF. REFER TO WIRING DIAGRAM.

Ⓒ LOW VOLTAGE CEILING / WALL MOUNTED SELF-ADJUSTING 2000 SQ. FT. DUAL TECH. MOTION SENSOR WITH 360° FIELD OF VIEW. ACUITY CONTROLS #LIGHT #NPHS D. 120/277 VOLT INPUT, 16A LOAD RATING, 15VDC, 40 mA OUTPUT, INSTALL ABOVE ACCESSIBLE CEILING. REFER TO WIRING DIAGRAM.

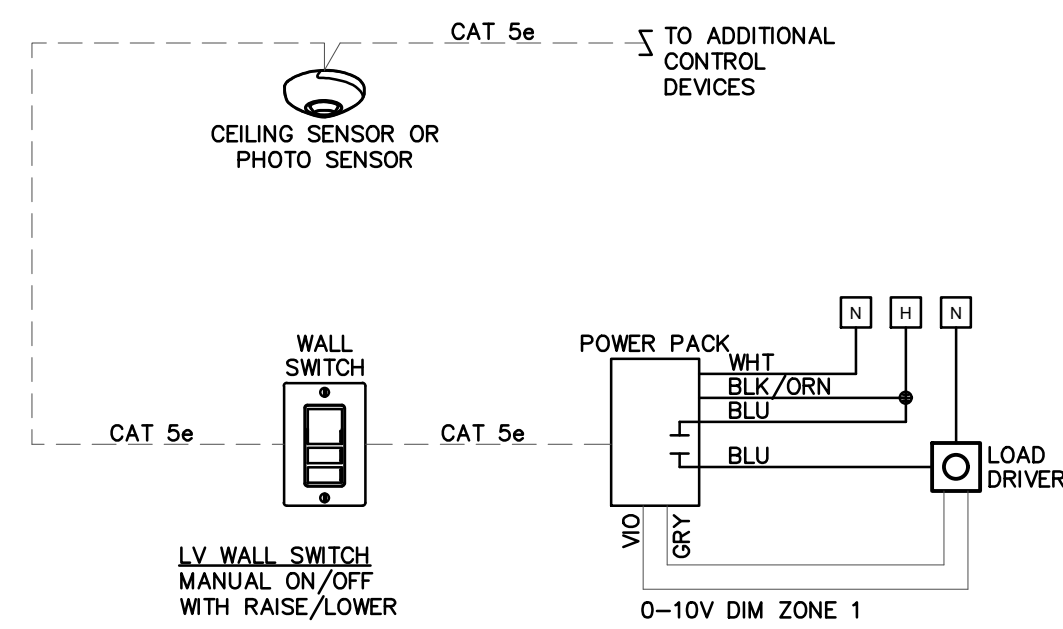
NOTES: ALL OCCUPANCY SENSOR SHALL BE PROGRAMMED TO AUTOMATIC CONTROL LIGHTING FIXTURES TO "OFF" ONLY.

THIS CONTRACTOR SHALL INCLUDE FACTORY SET UP, TESTING AND COMMISSIONING OF ALL THE LIGHTING CONTROL. THE FINAL LOCATION OF SENSORS SHALL BE DESIGNED BY THE MANUFACTURER TO REDUCE FALSE ON'S AND OFF'S FROM HVAC SYSTEMS OR ADJACENT AREAS. UNLESS OTHERWISE DIRECTED, SET OCCUPANCY SENSOR TIME DELAY FUNCTION TO 30 MINUTES.

LIGHTING CONTROLS SHALL BE FIELD TESTED, DOCUMENTED SHOWING FUNCTION OF THE SYSTEM AND COMMISSIONING REPORTS SHALL BE SUBMITTED. COMMISSIONING DOCUMENTATION SHALL DETAIL THE SYSTEM AND ALL COMPONENTS ARE CALIBRATED, ADJUSTED, AND OPERATE IN ACCORDANCE WITH APPROVED PLANS AND SPECIFICATIONS. FIELD TESTING SHALL OCCUR WHEN FURNITURE, HVAC EQUIPMENT IS OPERATIONAL AND OWNER EQUIPMENT IS INSTALLED.

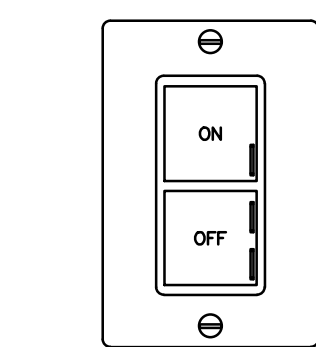
ALL SENSOR COMPONENTS AND CONNECTIONS SHALL BE INSTALLED WITHIN A 4" SQUARE JUNCTION BOX.

ACCEPTABLE EQUIVALENT PRODUCTS SHALL BE BY WATSTOPPER, LUTRON, HUBBELL, OR COOPER LIGHTING CONTROLS.

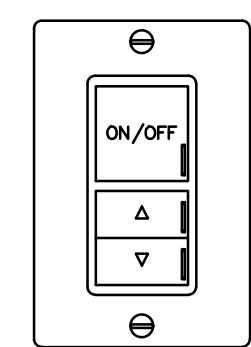


CEILING MOTION SENSOR

CAT 5e NON-BOOTED PLENUM CABLES, 2 CAT 5e PORTS PER DEVICE
APPROX. 16 DEVICES MAX PER POWER PACK
ADDITIONAL SWITCHES & SENSORS DAISSY CHAINED



SINGLE ZONE "C" LV WALL STATION
MANUAL ON/OFF



SINGLE ZONE LV WALL STATION
MANUAL ON/OFF
WITH RAISE/LOWER

LIGHTING FIXTURE SCHEDULE

FIXTURE NUMBER	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	LAMPS	REMARKS
CL1	NOMINAL 11" DIAMETER SURFACE MOUNTED LED FIXTURE, OPAL/SCENT GLASS, BRUSHED NICKEL TRIM	PROJECT SOURCE JESCO LIGHTING	JPXB011LS CM402 SERIES	18W LED 1200 LUMENS 2700K	.
CL2	1'X4' RECESSED FLAT PANEL LED LIGHT	METALUX (DAYBRITE, LITHONIA, COLUMBIA)	14CGT4035C	40W LED 4000 LUMENS 3500K	PROVIDE WITH SURFACE MOUNT KIT CGTSURF14
R1	2'X4' RECESSED FLAT PANEL LED LIGHT	METALUX (DAYBRITE, LITHONIA, COLUMBIA)	24CGT4535C	38W LED 4500 LUMENS 3500K	.
R2	6" DIAMETER RECESSED LED DOWNLIGHT WITH 3500K COLOR TEMPERATURE, 1500 LUMENS	HALO (PRESQUITE, LITHONIA)	HC56R-15-D010-HM6R-0525-835	14.5W LED 1500 LUMENS 3500K	.
W1	NOMINAL 2'-0" WIDE THREE LIGHT VANITY FIXTURE, CHROME FINISH, ETCHED ACRYLIC LENS	SEASONS HASWELL	326424	18W LED 1000+ LUMENS 3000K	.
W2	14.5" X 8.75" INDIRECT/DIRECT WALL SCONCE, WHITE FROSTED GLASS, AND CHROME ACCENTS	LUCID LIGHTING	PL-MDN-843	PROVIDE WITH (2) 60W LED EQUIVALENT LAMPS	.
W3	NOMINAL 11.5" DIAMETER, 5.7" TALL BY 3.5" DEEP SEMICIRCULAR LED SCONCE, BRUSHED NICKEL TRIM	PROJECT SOURCE	40628	LED	.
W4	VANDAL RESISTANT BRICK FIXTURE VERTICAL MOUNTING	FAIL-SAFE	B95-PP-**-LD4-16W-30-OPL-UNV-EDC1	16W LED 625 LUMENS 3000K	.
EX1	THERMOPLASTIC EXIT SIGN SINGLE FACE	SURE LITE (DAYBRITE, LITHONIA)	APX-7-R	LED (INCLUDED)	REFER TO DRAWINGS FOR ARROWS, WALL MOUNT ABOVE DOOR / CEILING MOUNT
EM1	EMERGENCY LIGHT	SURE LITE (DAYBRITE, LITHONIA)	AP-25Q-LED	LED (INCLUDED)	WALL MOUNT AT 8'-0" AFF UNLESS OTHERWISE NOTED
EM2	EXTERIOR WEATHERPROOF EMERGENCY EGRESS FIXTURE	LITHONIA (DUAL LITE, SURE LITE, EXTRONIX)	ELA-QWP-L0309	LED (INCLUDED)	EXTEND TO EXISTING INDOOR BATTERY UNIT - LIGHTING FIXTURE SHALL ILLUMINATE UPON THE LOSS OF UTILITY POWER

ADDITIONAL SPECIFICATIONS:

- FIXTURE NUMBER, LETTER PREFIX INDICATES TYPE OF MOUNTING AS FOLLOWS: CL-CEILING MOUNTED; S-AC CABLE SUSPENDED; W-WALL MOUNTED; R-CEILING RECESSED; WR-WALL RECESSED; CV-COVE MOUNTED; UC-UNDER CABINET; RF-ROOF MOUNTED; PL-POLE; GR-GROUND; H-MOUNTED IN HOOD; CH-CHAIN MOUNTED.
- THE MANUFACTURER LISTED ON TOP WITH THE COMPLETED MODEL NUMBER SHALL BE THE BASIS-OF-DESIGN FIXTURE. MANUFACTURERS LISTED BELOW THE BASIS-OF-DESIGN SHALL BE CONSIDERED "EQUALS" AND SHALL MEET ALL REQUIREMENTS DESCRIBED IN THE FIXTURE DESCRIPTION, NOTES, SPECIFICATIONS, AND BE OF SIMILAR CONSTRUCTION, QUALITY AND PHOTOMETRIC PERFORMANCE.
- THE ARCHITECT AND ENGINEER RESERVE THE RIGHT TO REJECT SUBSTITUTION REQUESTS AND "EQUAL" FIXTURES BASED ON AESTHETICS, QUALITY AND PERFORMANCE DURING THE REVIEW OF LIGHTING FIXTURE SHOP DRAWING SUBMITTALS. MANUFACTURERS AND FIXTURES LISTED AS "EQUALS" ARE NOT GUARANTEED TO BE APPROVED DURING SHOP DRAWING REVIEW.
- THE ARCHITECT SHALL VERIFY FIXTURE FINISHES DURING SHOP DRAWING REVIEW AND SELECT FROM FACTORY STANDARD OPTIONS WHERE ADDITIONAL FINISH INFORMATION IS REQUIRED.

ELECTRICAL LEGEND

SYMBOL	DESCRIPTION	MOUNTING HGT. TO CENTER UNLESS OTHERWISE NOTED
Ⓡ _{1,0}	LIGHT FIXTURE, TYPE "R1" SEE LIGHTING FIXTURE SCHEDULE, WIRED TO SWITCH "0"	
Ⓡ _{1,0}	WALL OR CEILING MOUNTED LIGHTING FIXTURE; SEE LIGHTING FIXTURE SCHEDULE	SEE DRAWINGS
Ⓡ _{2,3,4,KP}	SPECIAL SWITCH: 2-WAY; 3-WAY; 4-WAY; KEY OPERATED; SWITCH WITH PILOT LIGHT	42"
Ⓡ	DUPLEX RECEPTACLE; 3 WIRE GROUND TYPE	18"
Ⓡ ^{WP}	DUPLEX RECEPTACLE WEATHERPROOF	18"
Ⓡ ^{GF}	DUPLEX RECEPTACLE W/ GROUND FAULT INTERRUPTER	18"
Ⓡ ^{GF/A}	DUPLEX RECEPTACLE W/ GROUND FAULT INTERRUPTER ABOVE COUNTER	AS REQUIRED
Ⓡ	SINGLE RECEPTACLE	18"
Ⓡ	DOUBLE DUPLEX RECEPTACLE	18"
Ⓡ	220 VOLT RECEPTACLE	18"
Ⓡ _{1,0}	JUNCTION BOX; WALL / CEILING MOUNTED; FLOOR MOUNTED	SEE DRAWINGS
Ⓡ	COMBINATION TELEPHONE / DATA OUTLET	18"
Ⓡ	BATHROOM EXHAUST FAN BY OTHERS	AS REQUIRED
Ⓡ	ELECTRICAL PANEL - SURFACE MOUNT, FLUSH MOUNT	SEE DRAWINGS
Ⓡ	SPECIAL OUTLET AS REQUIRED	AS REQUIRED
Ⓡ	SAFETY SWITCH	AS REQUIRED
+	SINGLE POLE TOGGLE TYPE DISCONNECT	48"
Ⓡ	SMOKE DETECTOR - CEILING	
Ⓡ	JUNCTION BOX WITH BLANK COVER PLATE	

#	DATE	CHANGE DESCRIPTION

THE MEADOWS RAD RENOVATIONS
COLUMBUS METROPOLITAN HOUSING AUTHORITY
4855 PONTIAC CREEK DRIVE
COLUMBUS, OH 43110
FOR
COLUMBUS METROPOLITAN HOUSING AUTHORITY

Moody Nolan
800 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881
CERTIFICATE NO: FIRM 00197475

ELECTRICAL SCHEDULES AND DETAILS

08/14/2025
DRAWN BY: PEA CHECKED BY: PEA
18076.04
E900
BID / PERMIT SET

E900-18138-MEADOWS.DWG
PRATER Engineering Associates, Inc.
6130 Wilcox Road
Dublin, Ohio 43016
(614) 766 4896
FAX: (614) 756 2354
DESIGNED BY: N.ZORTMAN
DRAWN BY: N.ZORTMAN
CHECKED BY: D.POWELL, P.E.
JOB NUM: 18138-MEADOWS

